

BASEMENT PLAN - ELEV. 1

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

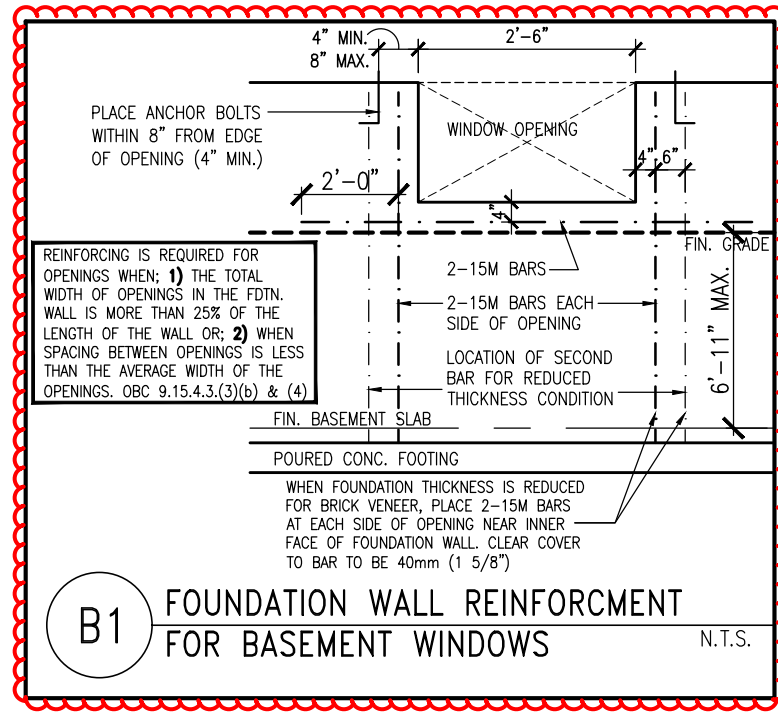
COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

IVY 5
ENERGY STAR/ PANEL



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 5 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 5
BUILDING DIVISION

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
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4	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
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2	REPLACED PATIO DR. w/ DOOR/ WINDOW.	AUG 25/16	GW
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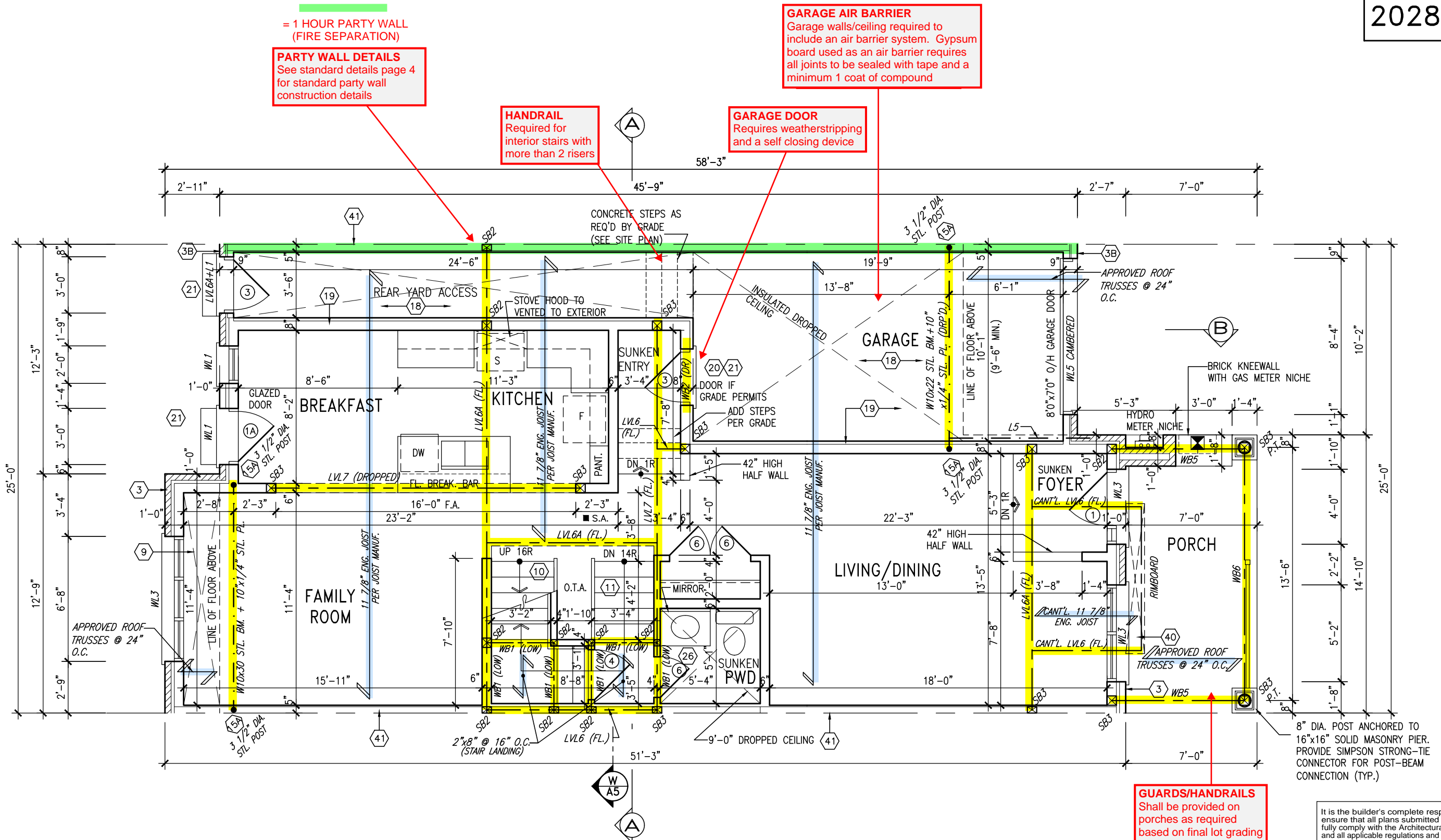
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qualification information
Richard Vink 24488 BCIN
name registration information
VA3 Design Inc. 42658
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON
date
2016-07
drawn by
AF
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-5
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY 5\16015-IVY-5.dwg - Tue - Apr 11 2017 - 1:46 PM

IVY 5
project no.
16015
drawing no.
A1
BASEMENT PLAN - ELEV. 1

2028 SF.



GROUND FLOOR PLAN - ELEV. 1

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

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IVY 5
ENERGY STAR/ PANEL

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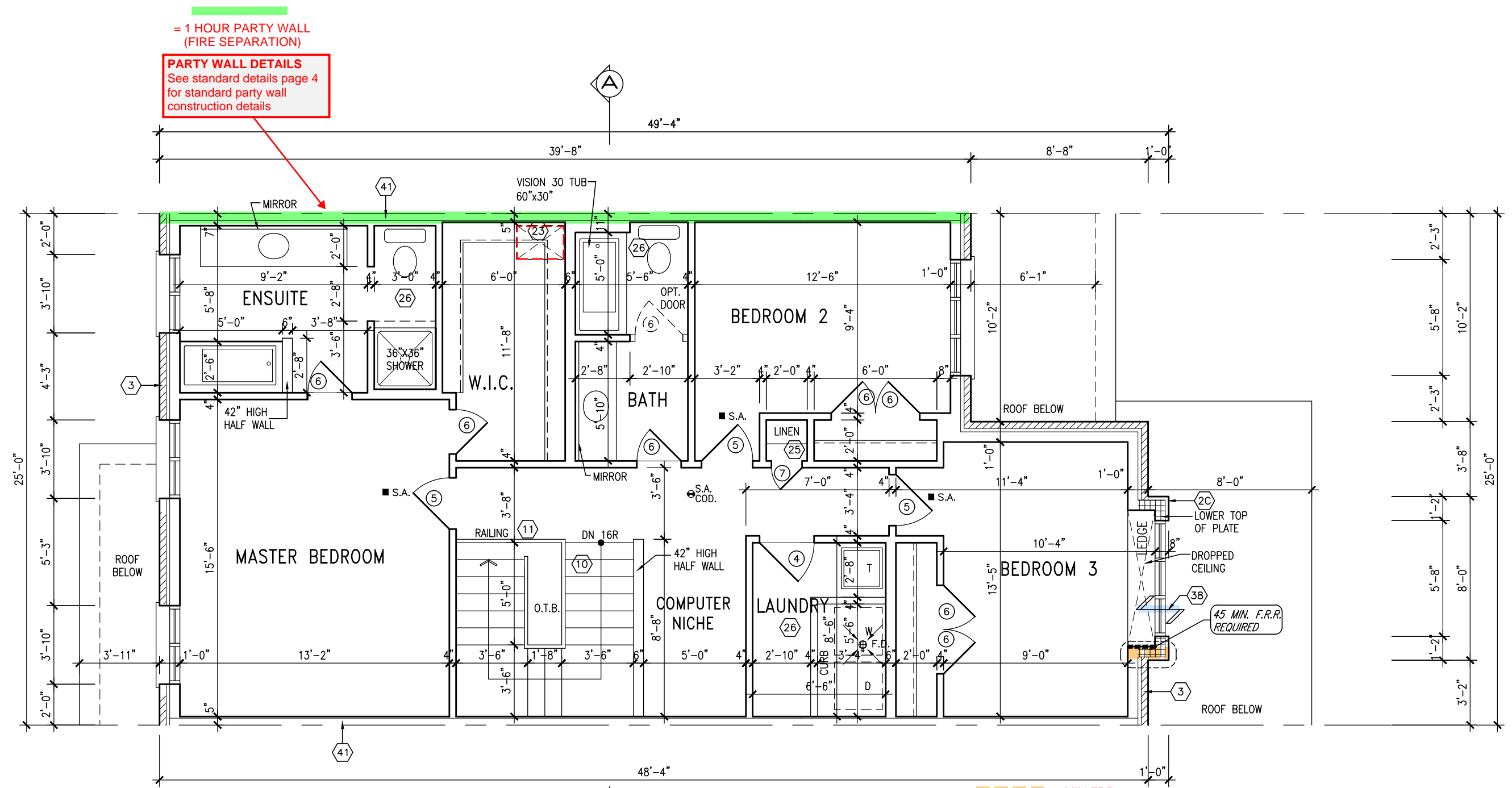
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IVY 5
project no.
16015

township
TOWN OF MILTON

drawing no.
A2

GROUND FLOOR PLAN - ELEV. 1



SECOND FLOOR PLAN - ELEV. 1

45 MINUTE FIRE RATED WALL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE/PARTY WALL)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION for BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)
PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING (REFER TO OBC. DIV. B-9.10.14.5.(2) OR 9.10.15.5.(3))

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

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NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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IVY 5 MODEL

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Greenpark.

project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON

date
2016-07
drawn by
AF
checked by
scale
3/16" = 1'-0"

SECOND FLOOR PLAN - ELEV. 1
file name
16015-IVY-5
drawing no.
A3

project no.
16015

IVY 5
ENERGY STAR/ PANEL

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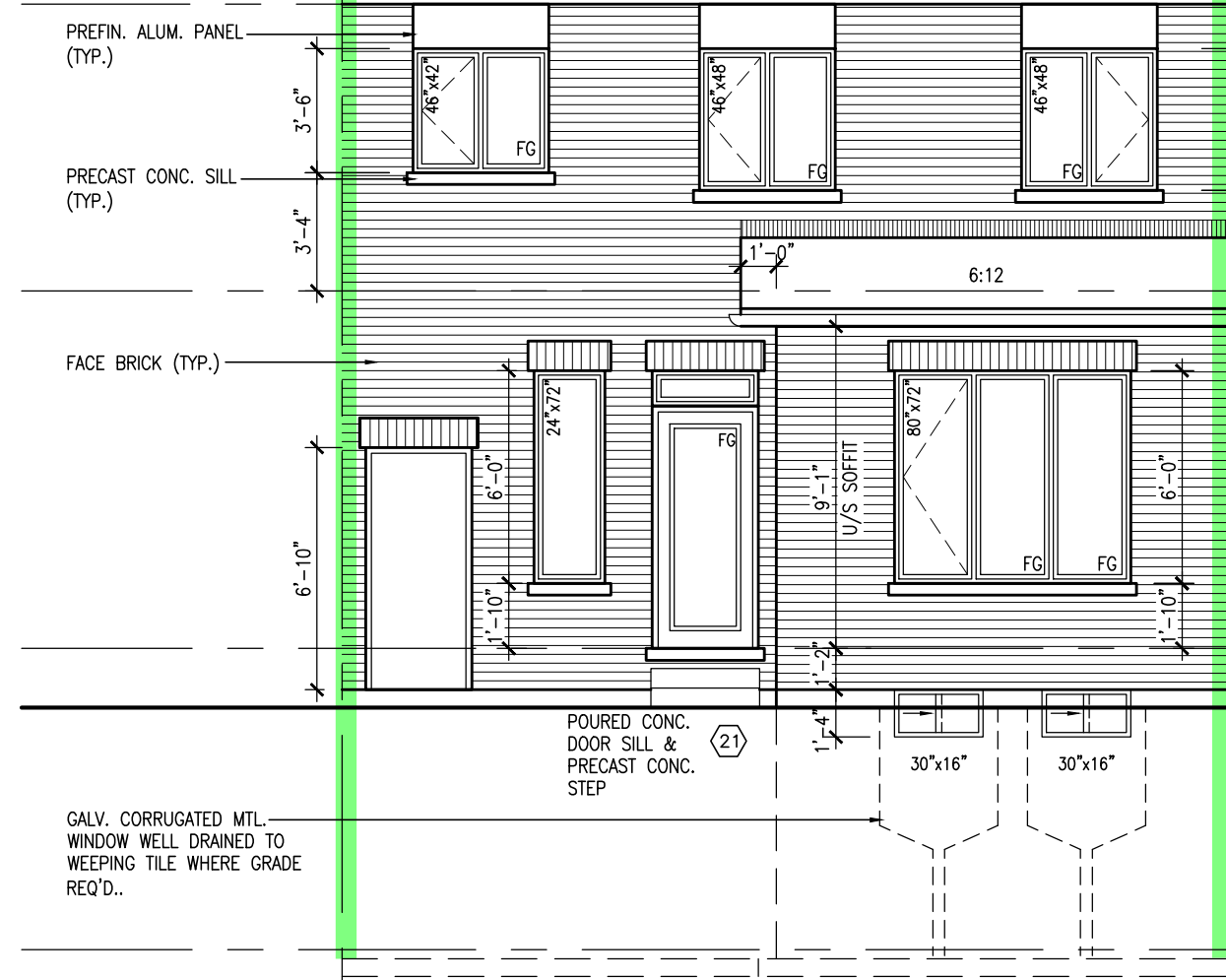
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= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

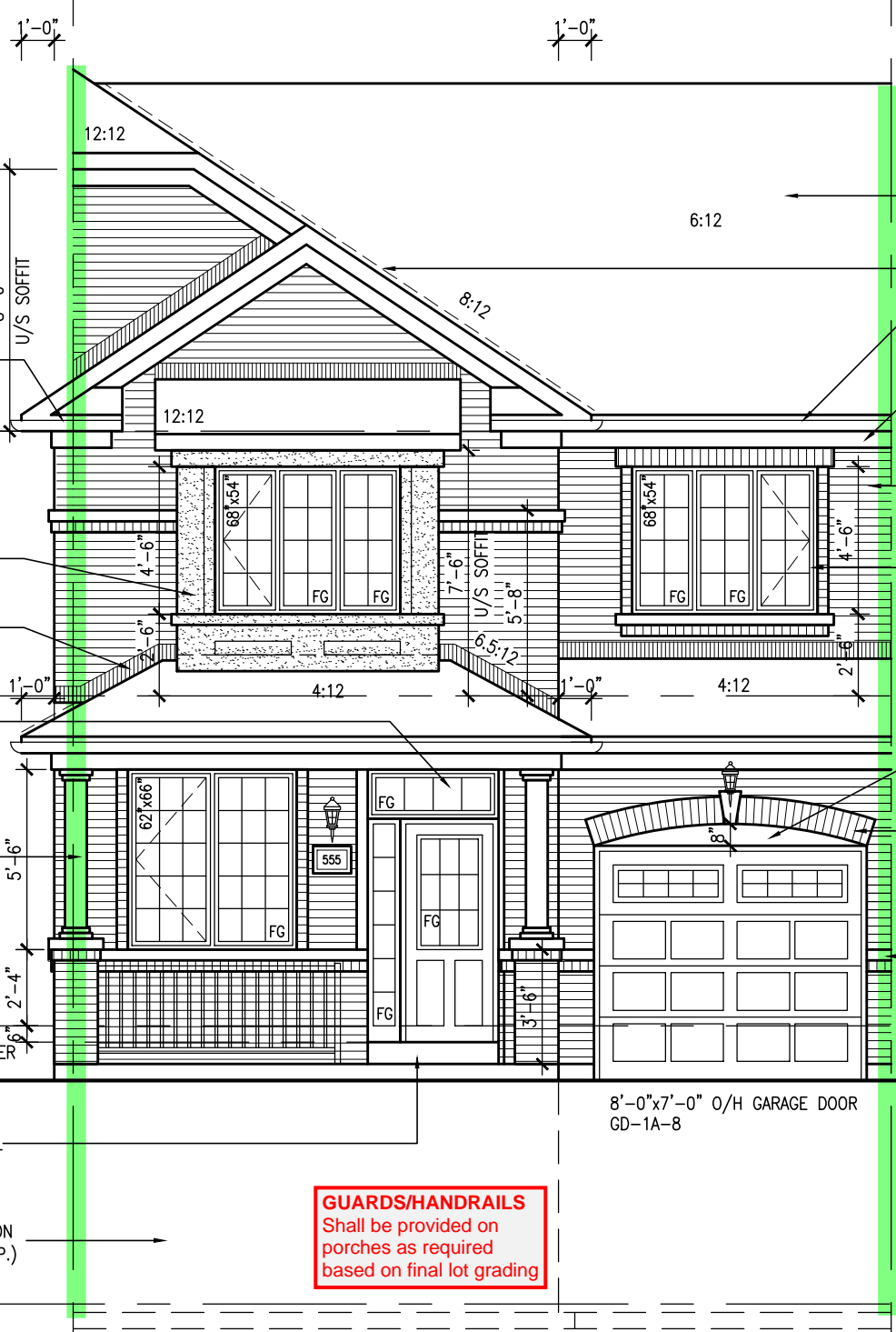
ROOF PLAN
ELEV. 1



REAR ELEVATION
ELEV. 1

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)
APPLIED STUCCO (TYP.)
PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)
18" HIGH TRANSOM (FG)
8" DIA. POST ANCHORED
TO 16"x16" SOLID
MASONRY PIER (TYP.)
FIN. SUNKEN FOYER
POURED CONC. DOOR SILL
POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

FRONT ELEVATION
ELEV. 1



ASPHALT SHINGLES
(TYP.)
VALLEY FLASHING (TYP.)
PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)
1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)
TOP OF PLATE
TOP OF WINDOW
BRICK VENEER (TYP.)
BRICK SOLDIER OVER BRICK
ROWLOCK STACK ON
PRECAST CONC. SILL OVER
BRICK ROWLOCK (TYP.)
FIN. SECOND FLOOR
PREMANUF. PANEL TOP OF WINDOW/TRANSOM
BY WINDOW MANUF.
BRICK SOLDIER ARCH.
WITH KEY STONE (TYP.)
CONT. 4" PRECAST CONC.
SILL ON BRICK ROWLOCK
BAND (TYP.)
FIN. GROUND FLOOR
FIN. GRADE
8'-0"x7'-0" O/H GARAGE DOOR
GD-1A-8
TOP OF SLAB

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

IVY 5
ENERGY STAR/ PANEL

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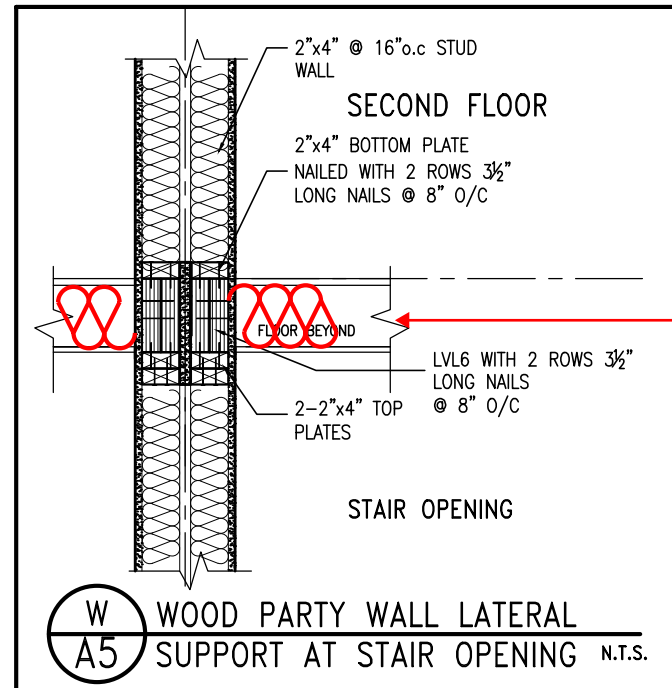
VA3
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Greenpark.		IVY 5	
project name LECCO RIDGE DEV. INC.		project no. 16015	
municipality TOWN OF MILTON		drawing no. A4	
date 2016-07		FRONT & REAR ELEVATION-1	
drawn by AF		file name 16015-IVY-5	
checked by 3/16" = 1'-0"		date Apr 11 2017 - 1:46 PM	

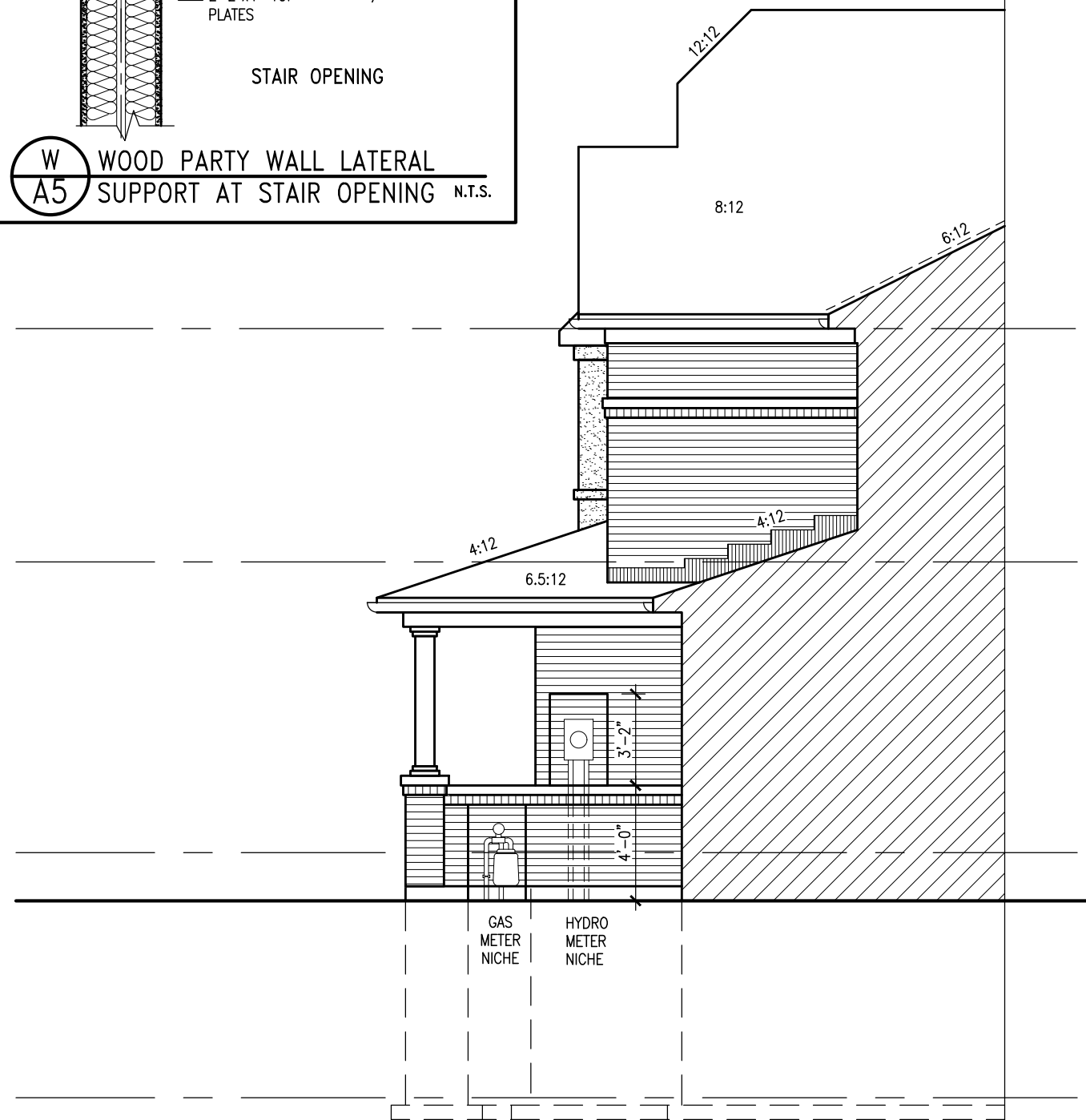
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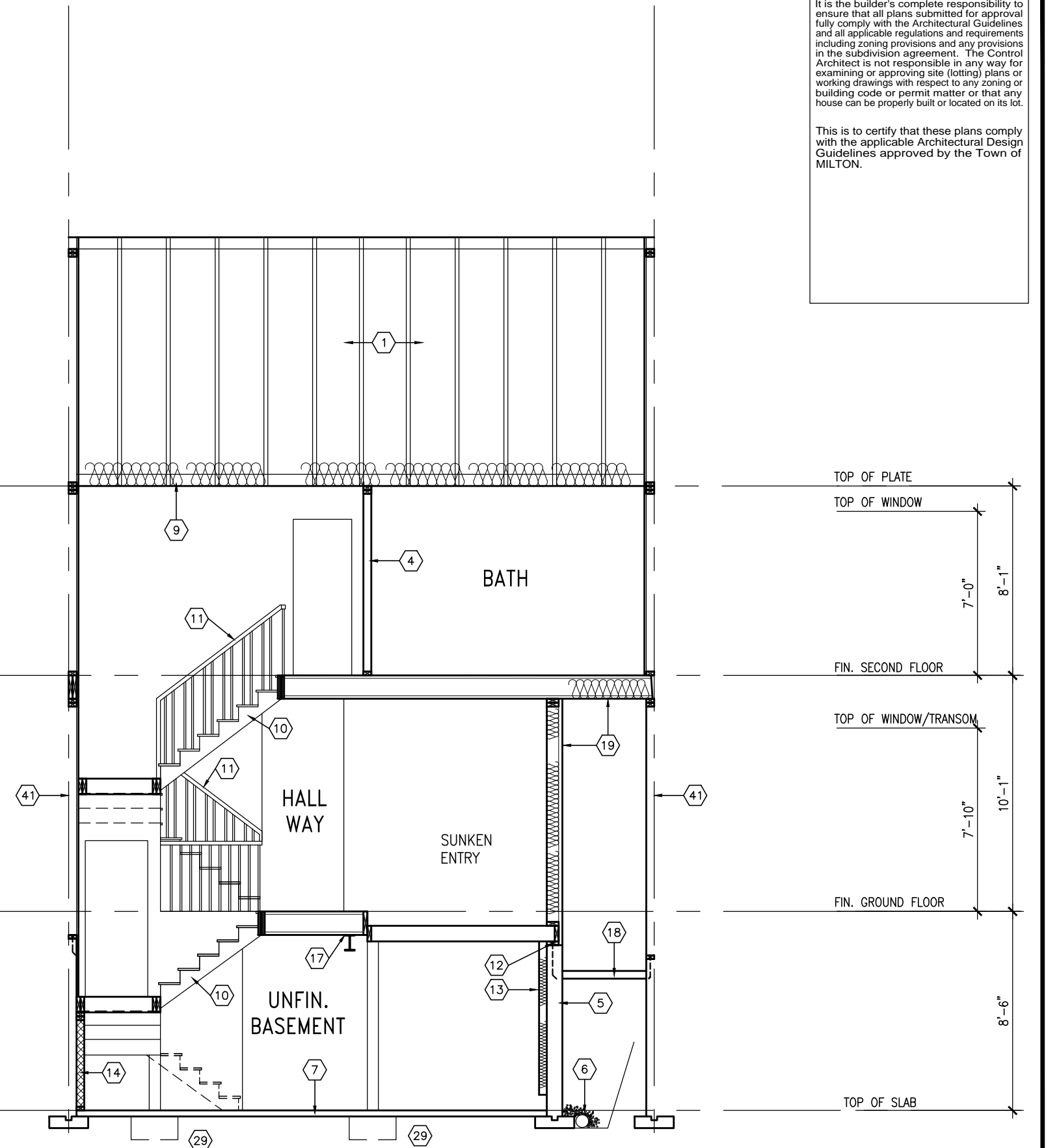
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PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



SECTION B



SECTION A-A ELEV. 1

IVY 5
ENERGY STAR/ PANEL

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TOWN OF MILTON
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IVY 5 MODEL
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SECTION A-A ELEV. 1

16015

2028 SF.

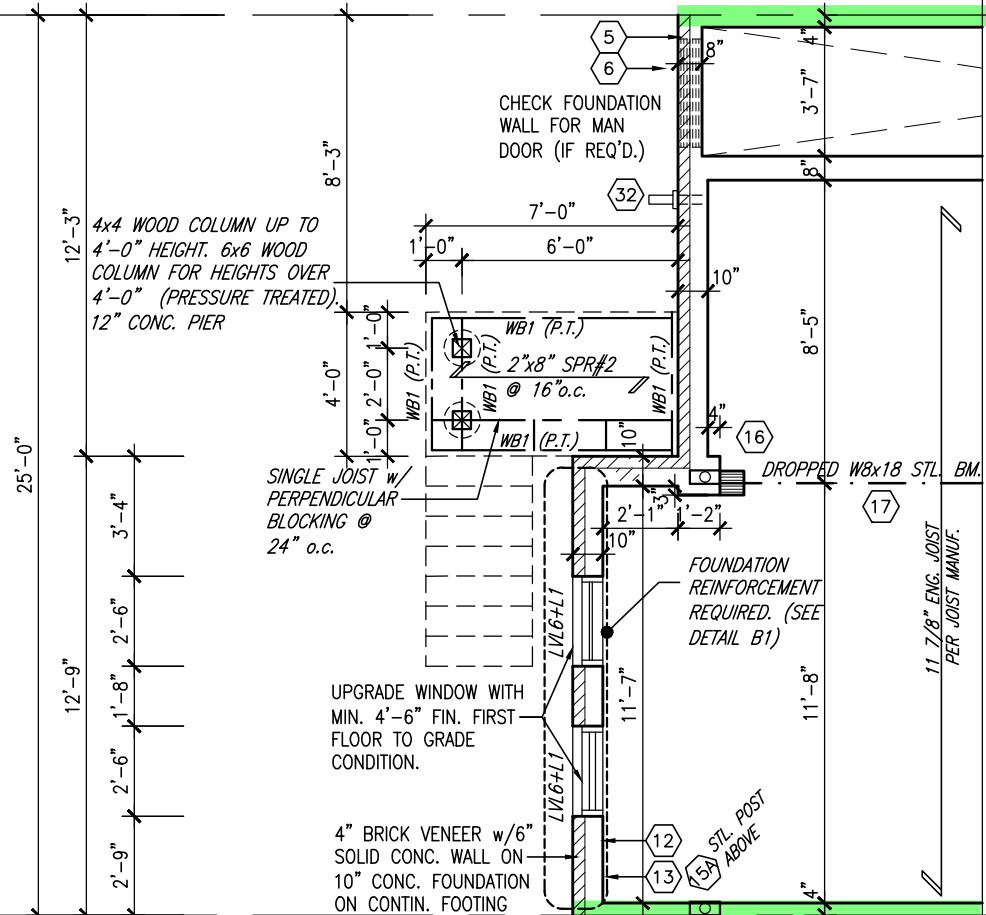
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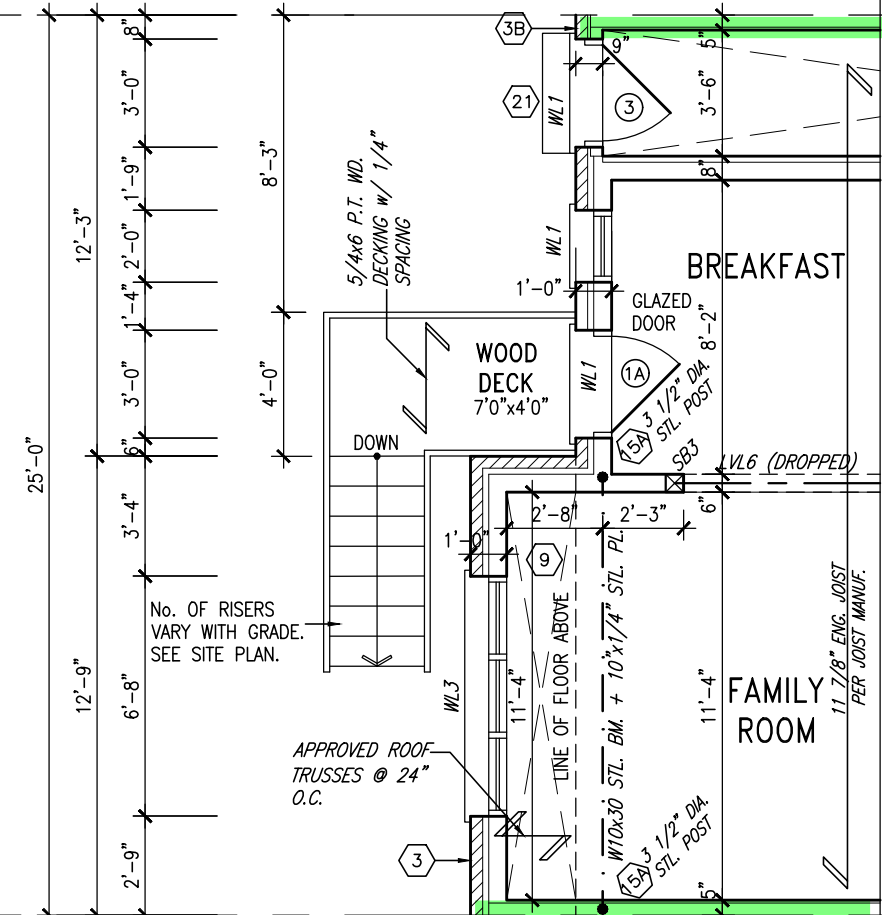
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= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
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construction details

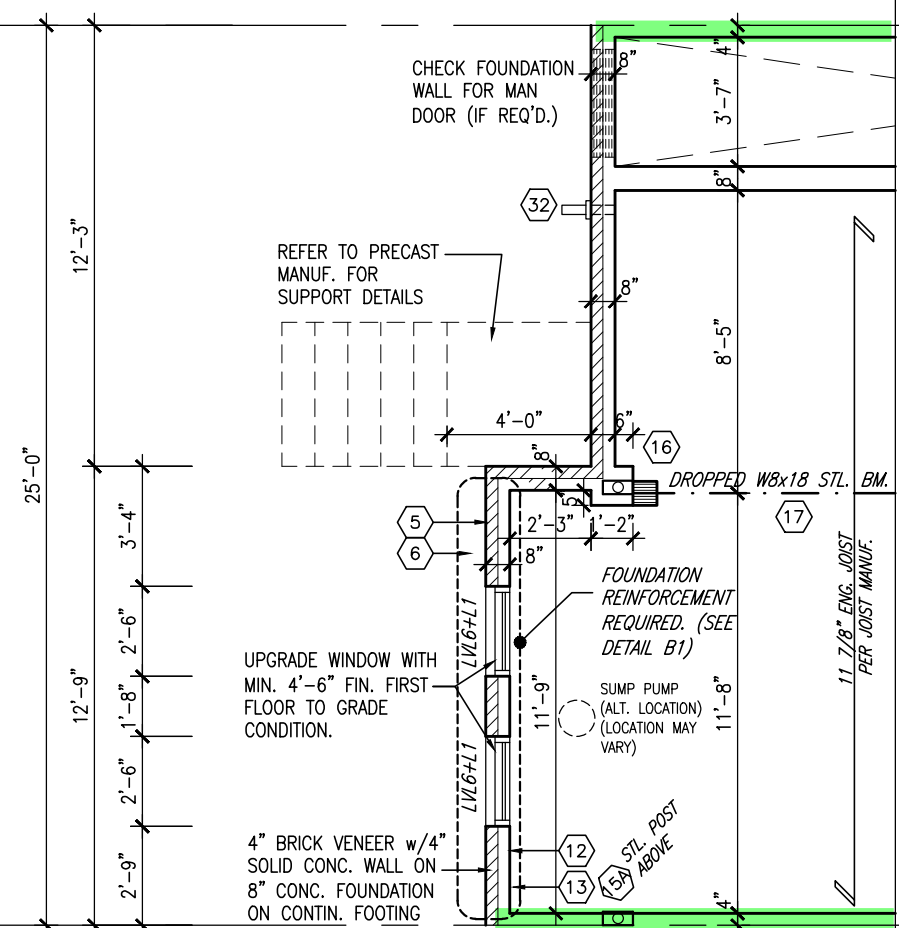


PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)



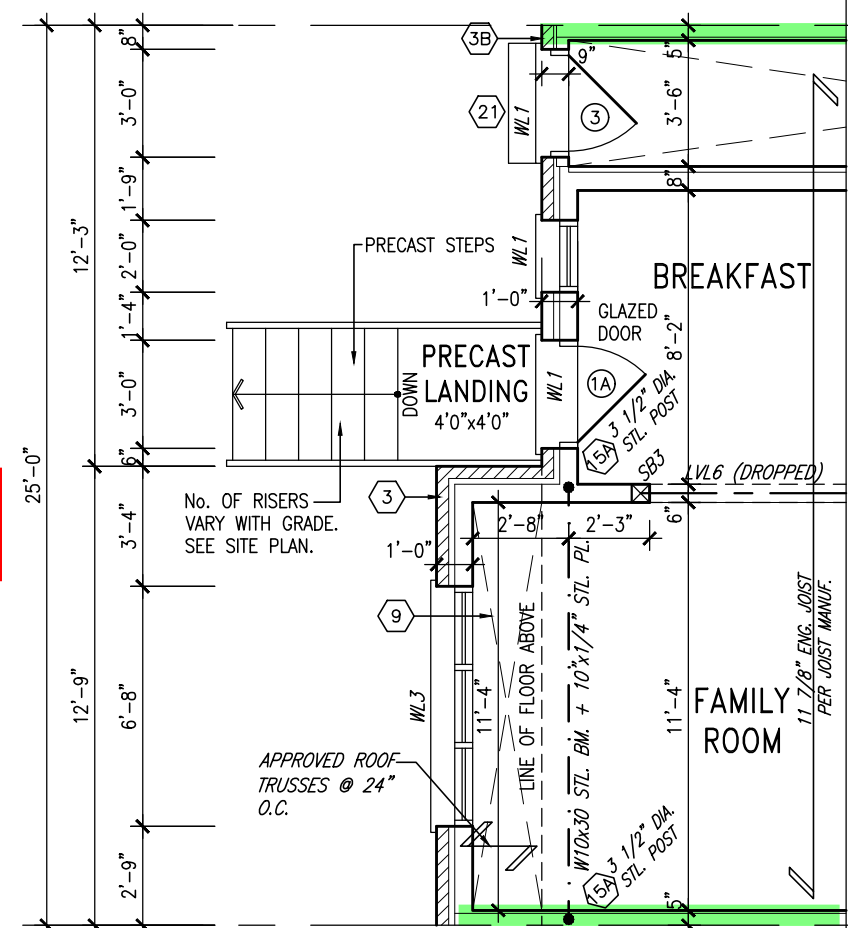
PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



PART. BASEMENT PLAN W.O.D
CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing



PART. GROUND FLOOR PLAN
W.O.D CONDITION (7R MAX.)

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VENUEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

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file name
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PART. PLANS - DECK CONDITION

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REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

DECK DETAILS
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construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



REAR ELEVATION ELEV. 1
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

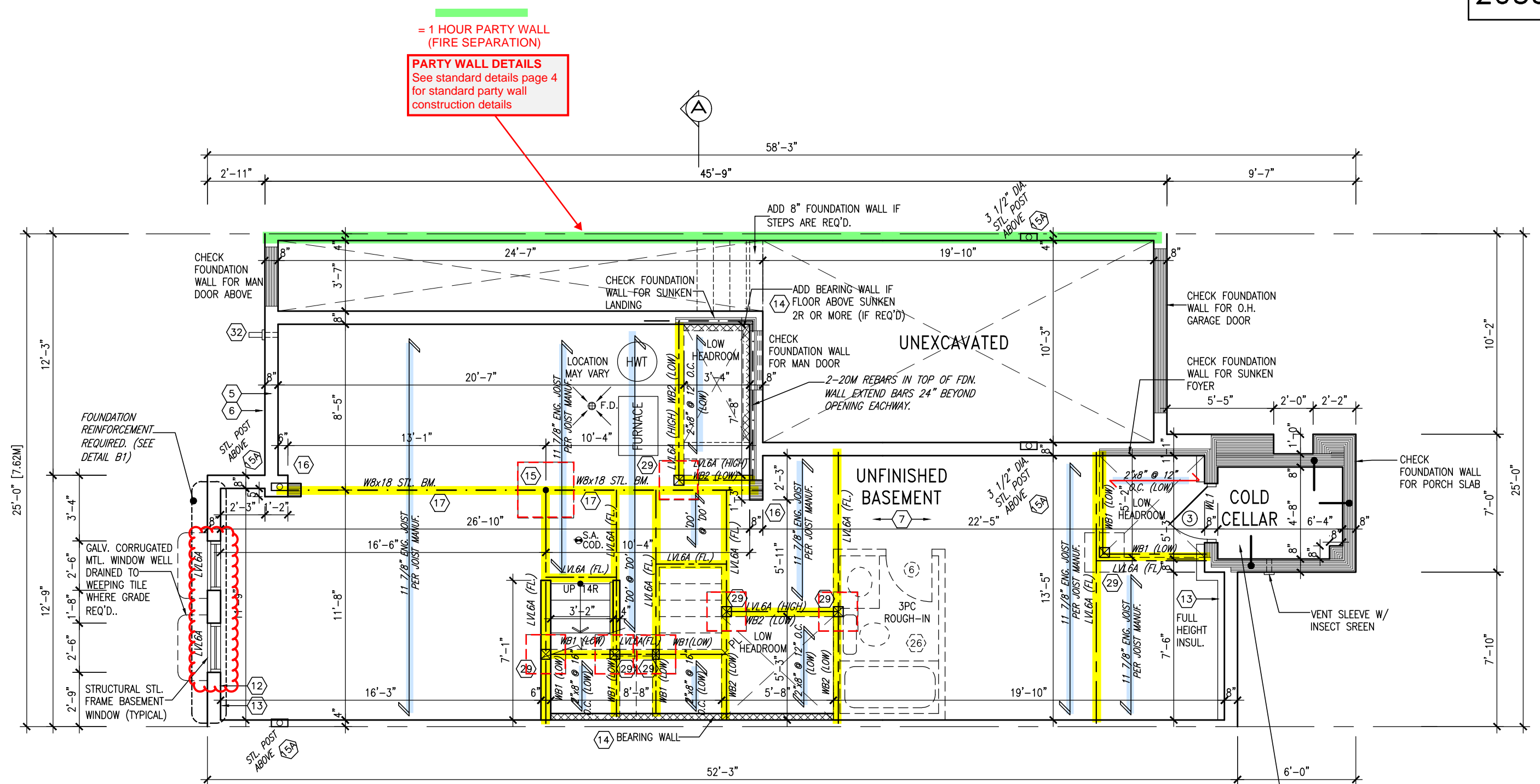
IVY 5
ENERGY STAR/ PANEL

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2	REPLACED PATIO DR. w/ DOOR/ WINDOW.	AUG 25/16	GW
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no.	description	date	by

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Richard Vink
signature
24488
BCIN
VA3 Design Inc.
42658
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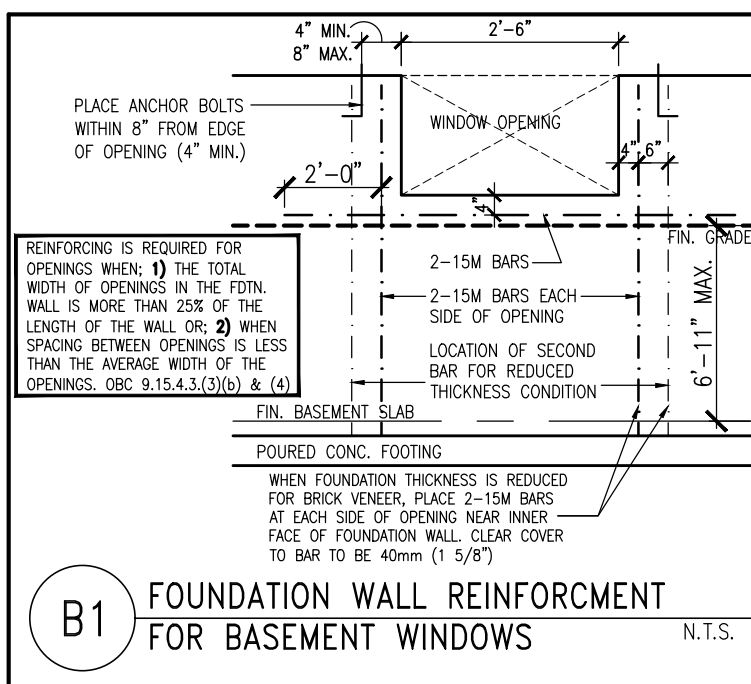
VA3
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		project name LECCO RIDGE DEV. INC.		municipality TOWN OF MILTON		project no. 16015	
date 2016-07		drawn by AF		checked by 3/16" = 1'-0"		file name 16015-IVY-5	
drawing no. A7		drawing title REAR ELEVATION ELEV. 1 - DECK CONDITION					
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY 5\16015-IVY-5.dwg - Tue - Apr 11 2017 - 1:47 PM							



BASEMENT PLAN - ELEV. 2

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 5 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

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RECEIVED TOWN OF MILTON
MAR 29, 2017
IVY 5
BUILDING DIVISION

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Greenpark.
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LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
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2016-07
drawn by
AF
checked by
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scale
16015-IVY-5
file name
B1

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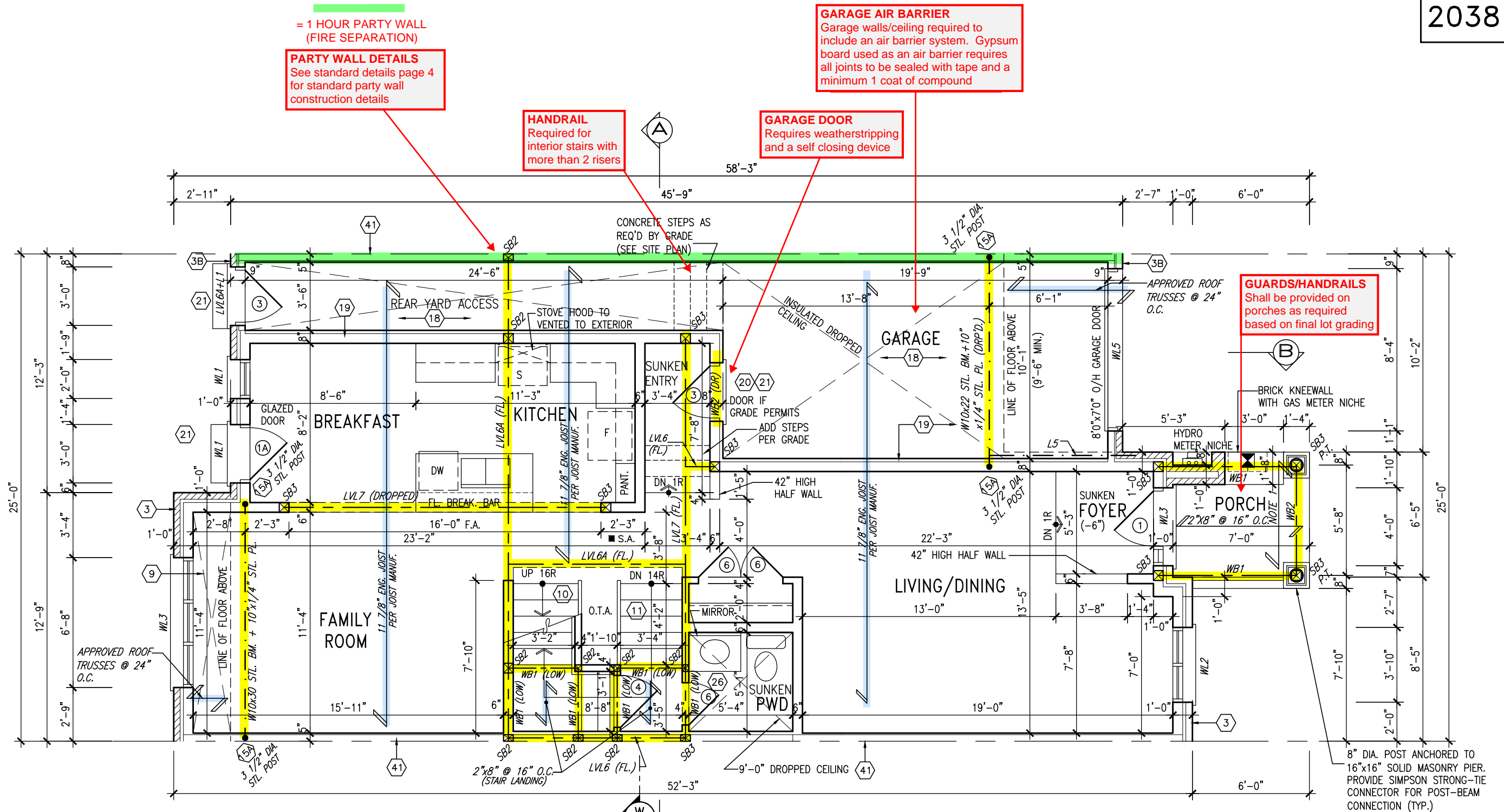
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

IVY 5
ENERGY STAR/ PANEL

IVY 5
project no.
16015
drawing no.
A1a

2038 SF.



GROUND FLOOR PLAN - ELEV. 2

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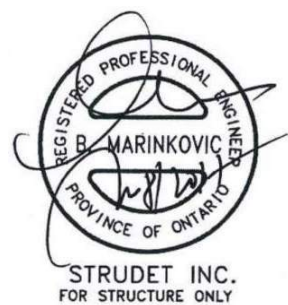
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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IVY 5
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 5 MODEL

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VA3 Design Inc. 42658
name registration information

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Greenpark.
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municipality
TOWN OF MILTON
date
2016-07
drawn by
AF
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-5
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\5\16015-IVY-5.dwg - Tue - Apr 11 2017 - 1:47 PM

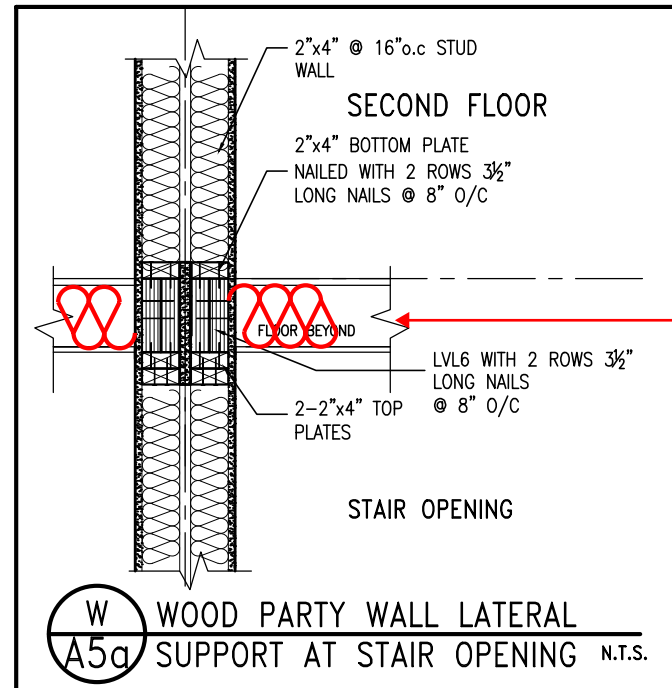
IVY 5
project no.
16015
drawing no.
A2a

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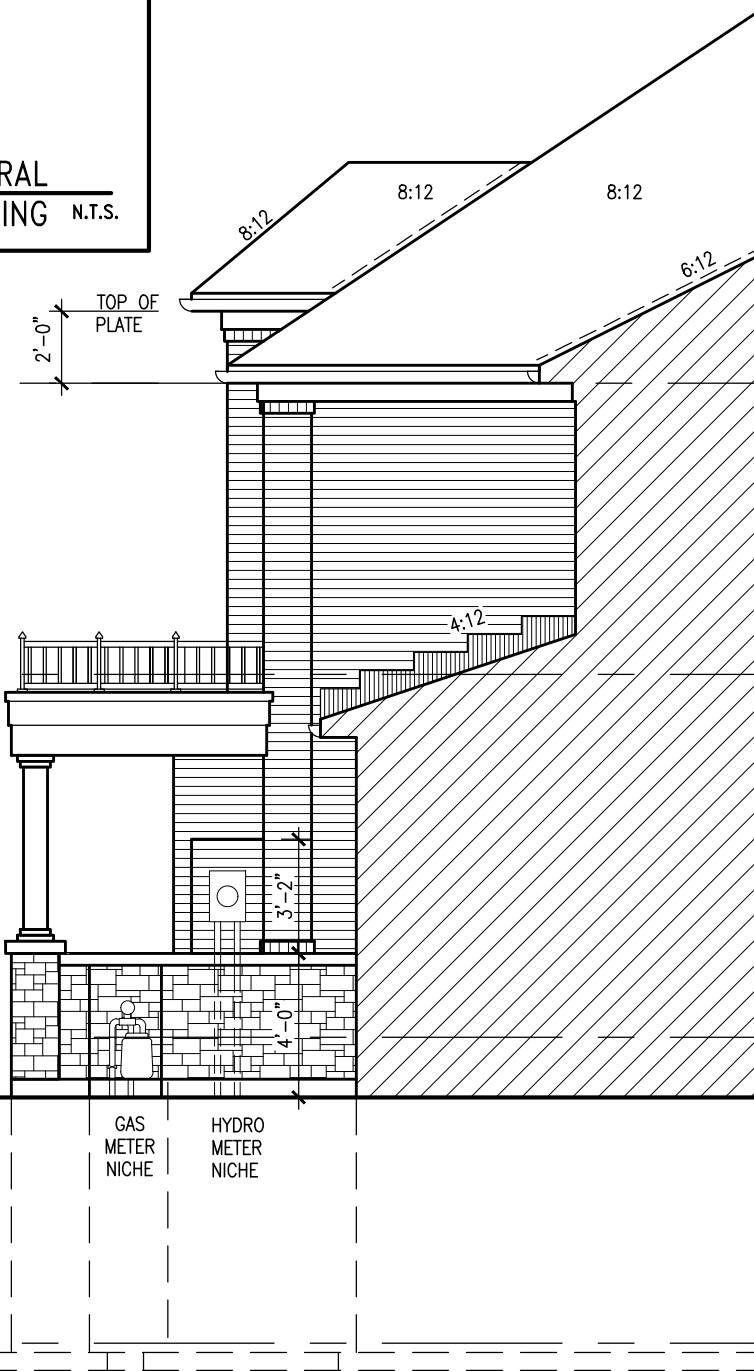
2028 SF.

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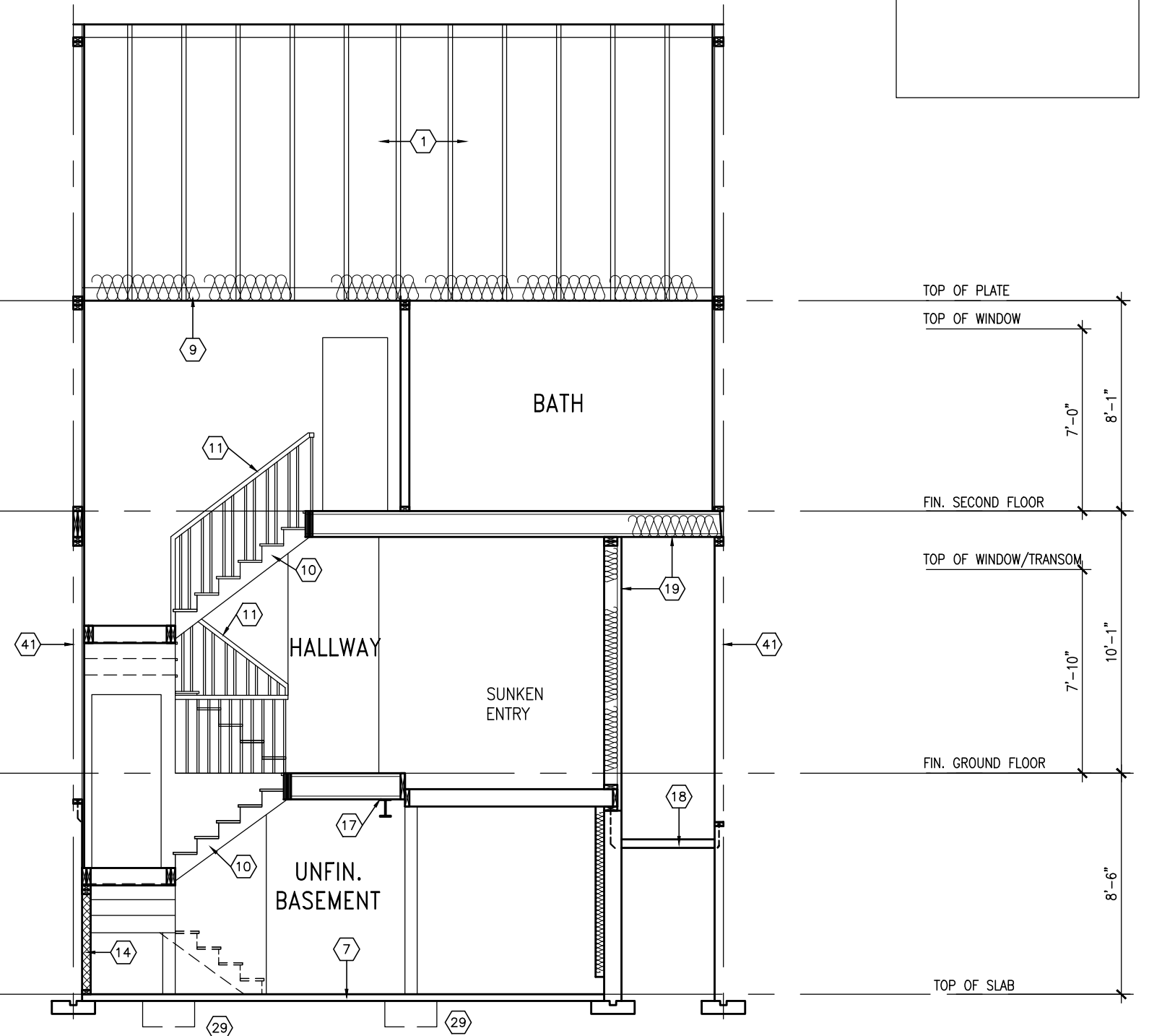
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PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



SECTION B



SECTION A-A ELEV. 2

IVY 5
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 5 MODEL

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SCOTT SHERRIFFS APR 18, 2017
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VA3 Design Inc. 42658

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va3design.com

Greenpark
project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON

date
2016-07
drawn by
AF

checked by
scale
3/16" = 1'-0"

SECTION A-A ELEV. 2
file name
16015-IVY-5

IVY 5
project no.
16015

drawing no.
A5a

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TOWN OF MILTON
MAR 29, 2017
IVY 5
BUILDING DIVISION

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TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 5 MODEL
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

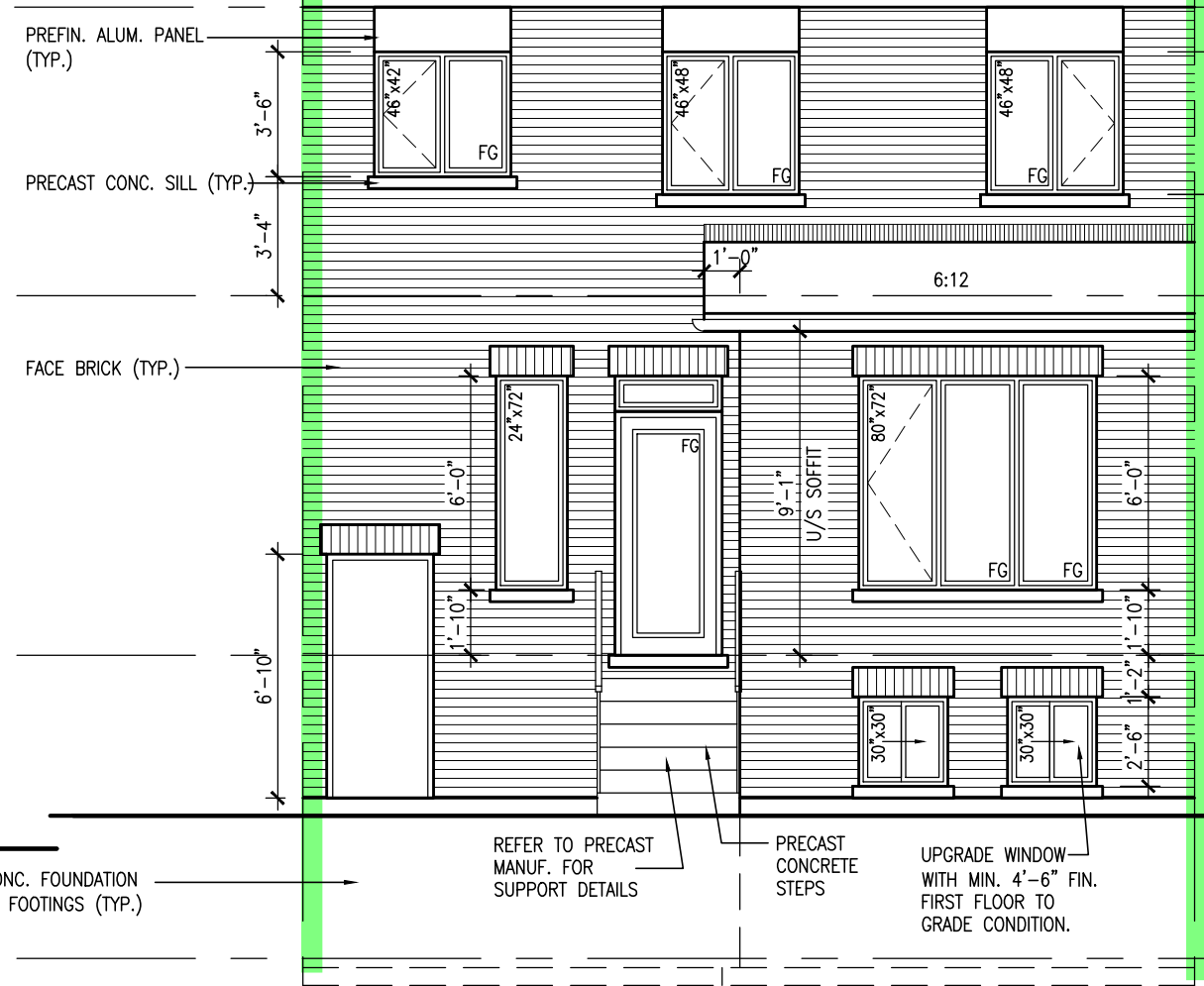
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 2
DECK CONDITION (8R OR MORE)

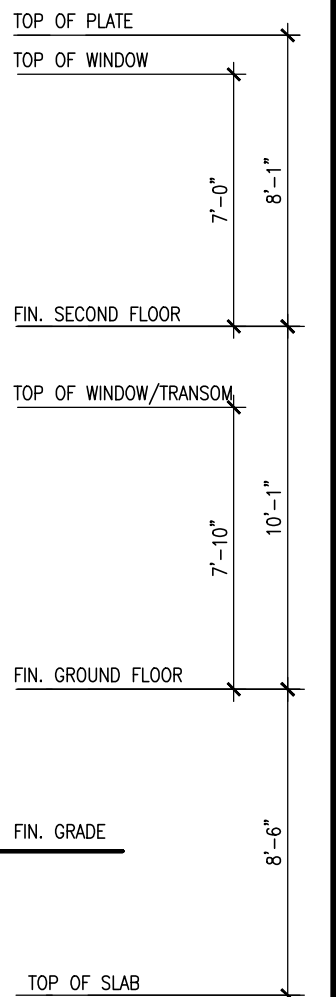
DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



REAR ELEVATION ELEV. 2
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

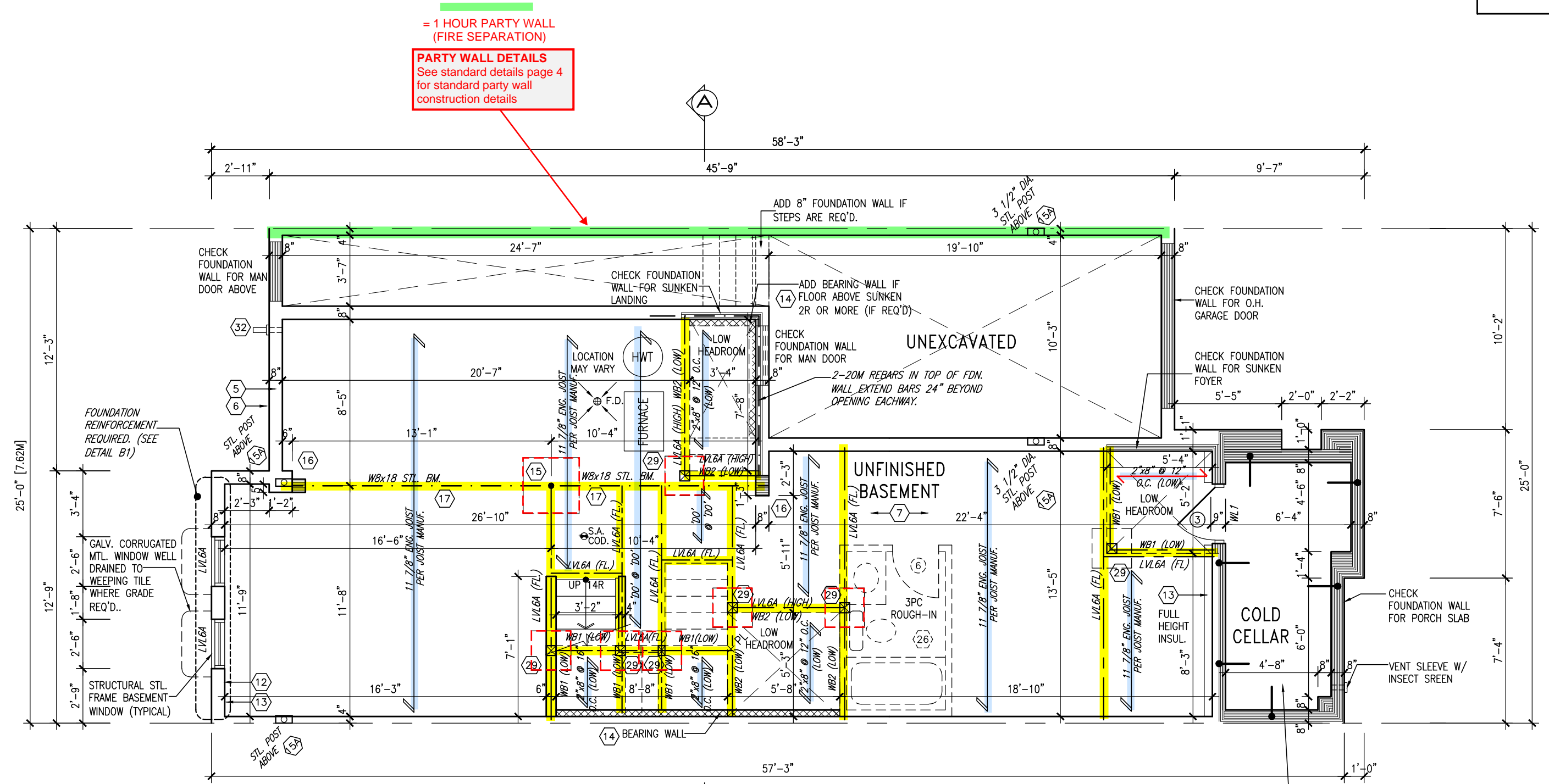


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va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
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3/16" = 1'-0"
file name
16015-IVY-5
drawing no.
A7a

IVY 5
ENERGY STAR/ PANEL



BASEMENT PLAN - ELEV. 3

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

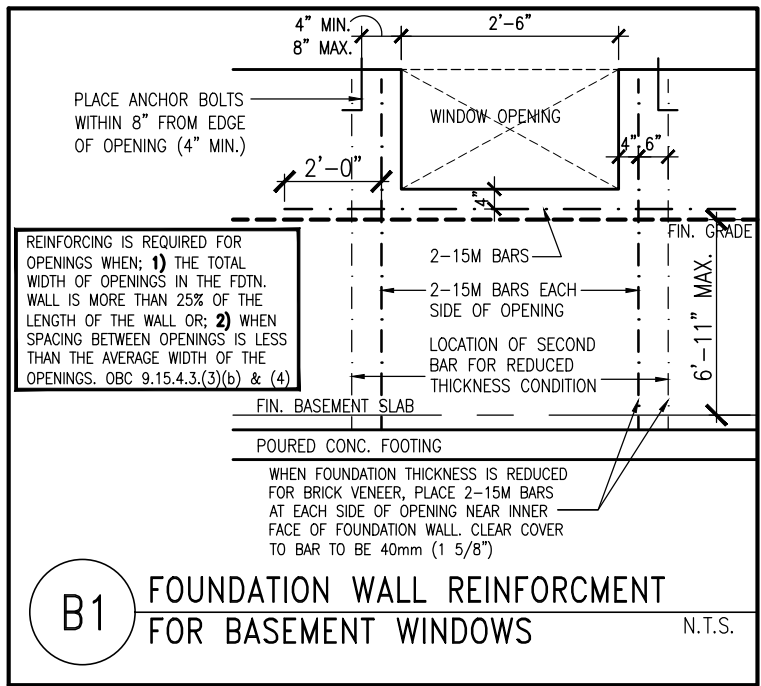
COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

IVY 5
ENERGY STAR/ PANEL



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 5 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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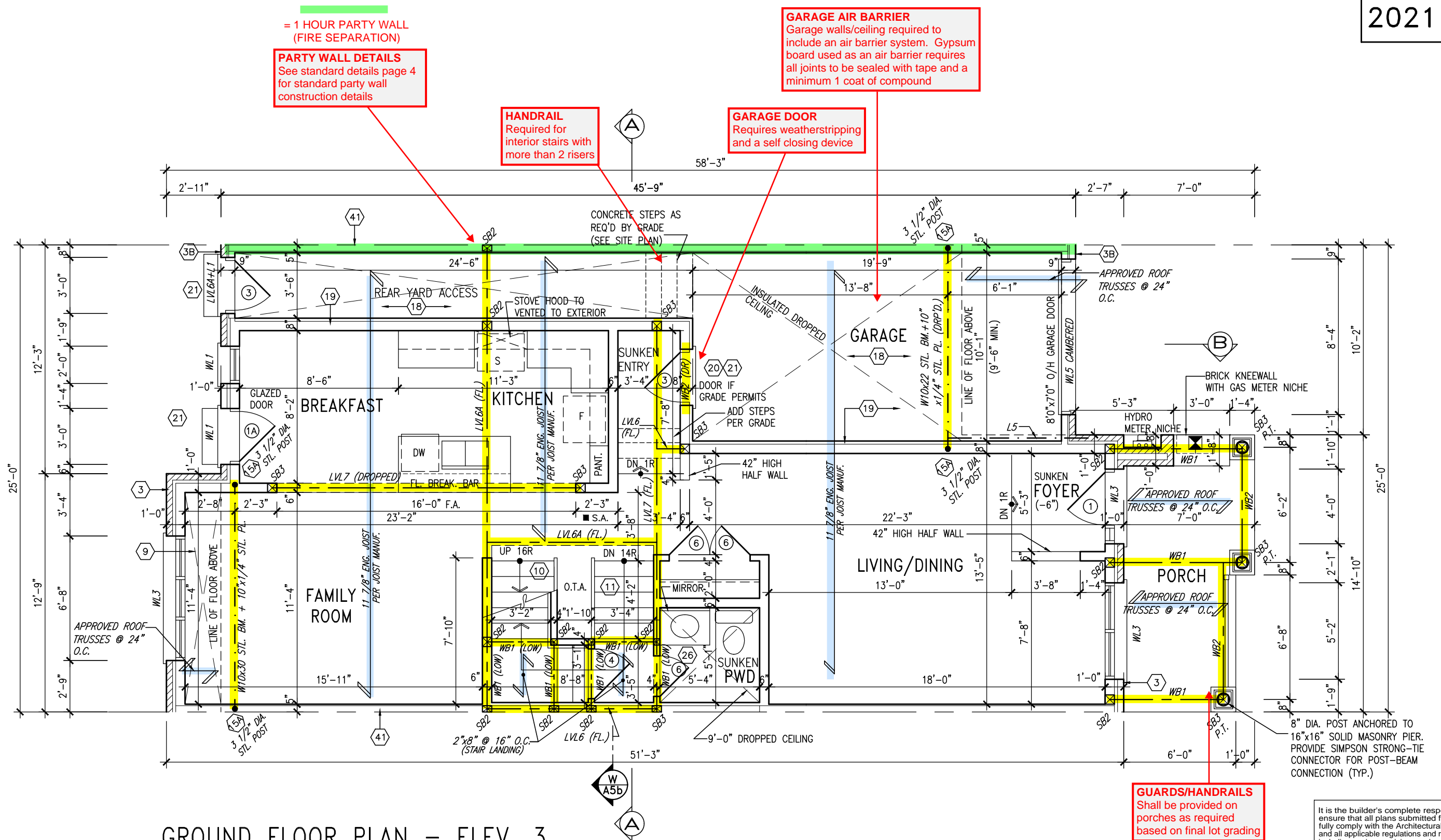
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IVY 5
project no.
16015
drawing no.
A1b



ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

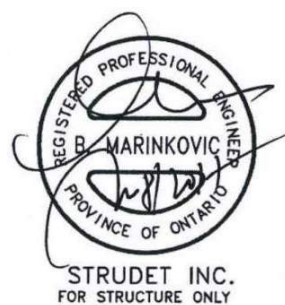
NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
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TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 5 MODEL

BUILDING: REVIEWED
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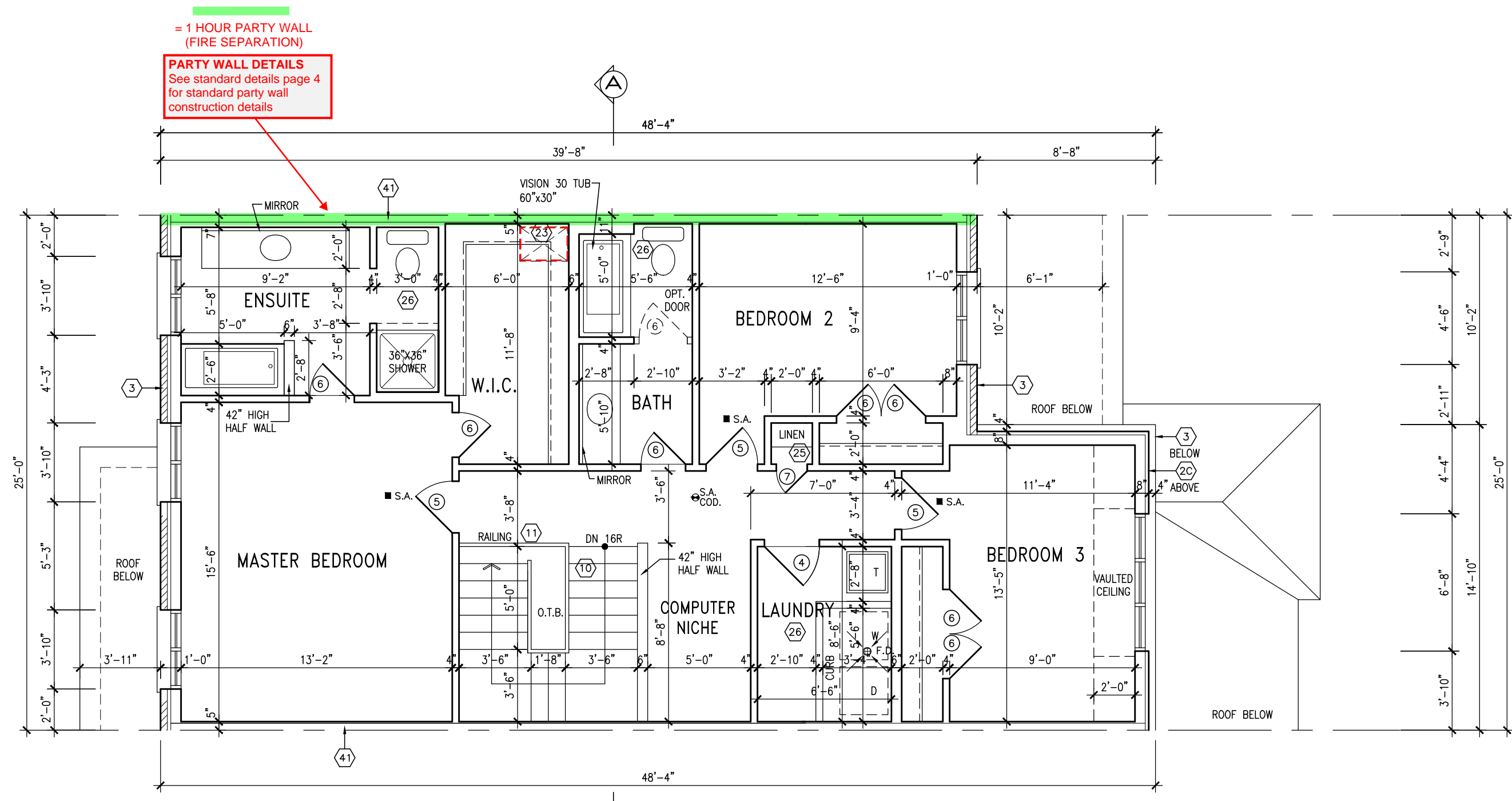
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IVY 5
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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SECOND FLOOR PLAN – ELEV. 3

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MAR 20 2017
John G. Williams, Architect

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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TOWN OF MILTON
MAR 29, 2017
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BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 5 MODEL

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Greenpark.

project name **LECCO RIDGE DEV. INC.** municipality **TOWN OF MILTON** project no. **16015**

date **2016-07** drawn by **AF** checked by **3/16" = 1'-0"** scale **16015-IVY-5** file name **16015-IVY-5** drawing no. **A3b**

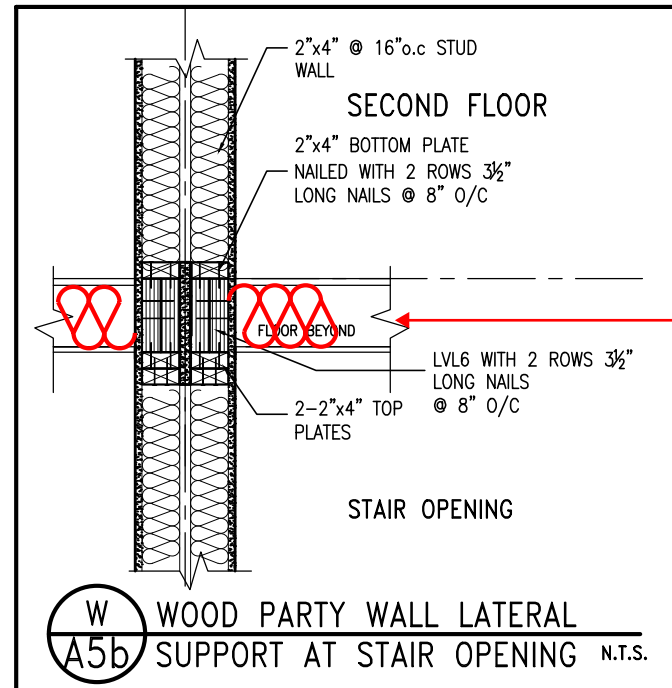
IVY 5
ENERGY STAR/ PANEL

SECOND FLOOR PLAN – ELEV. 3

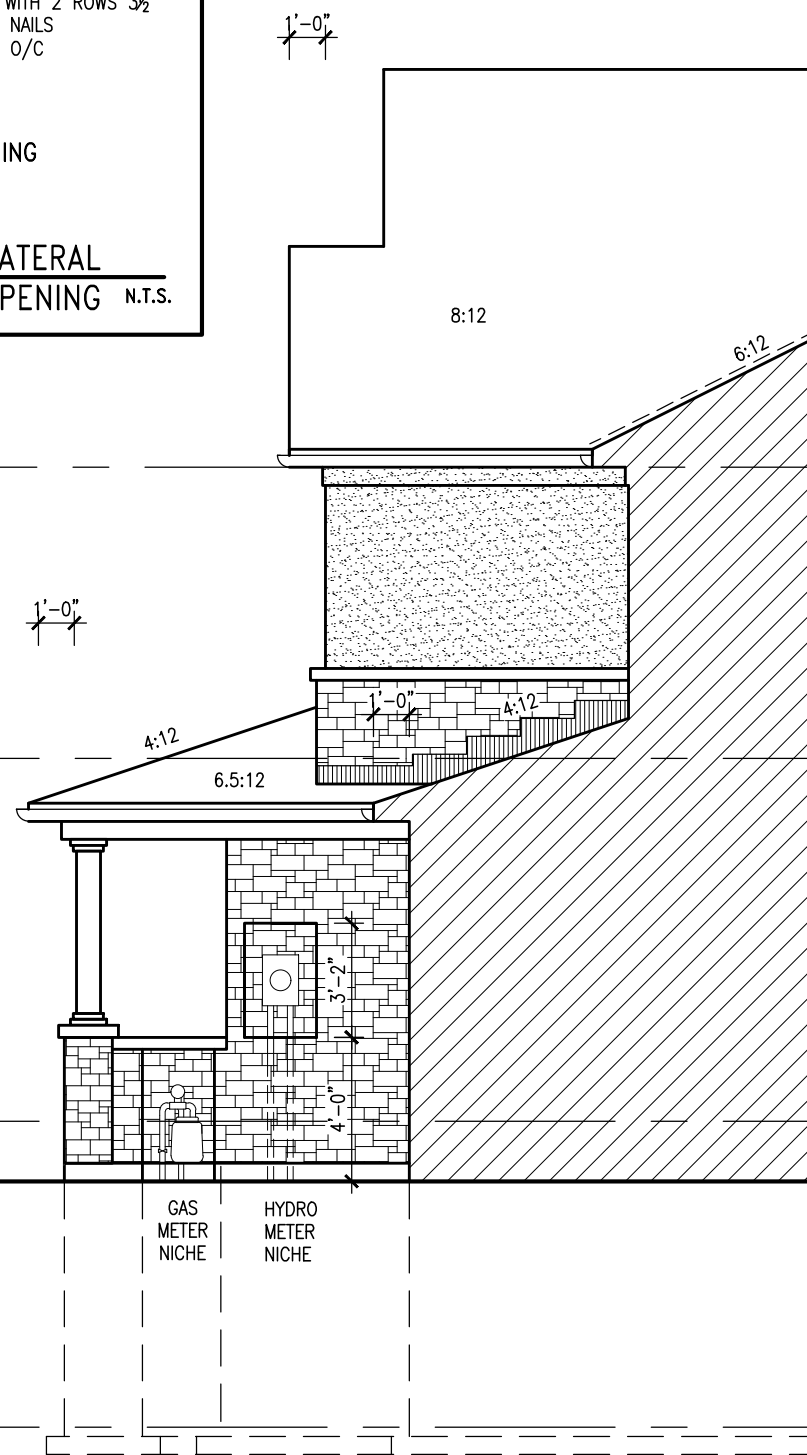
2028 SF.

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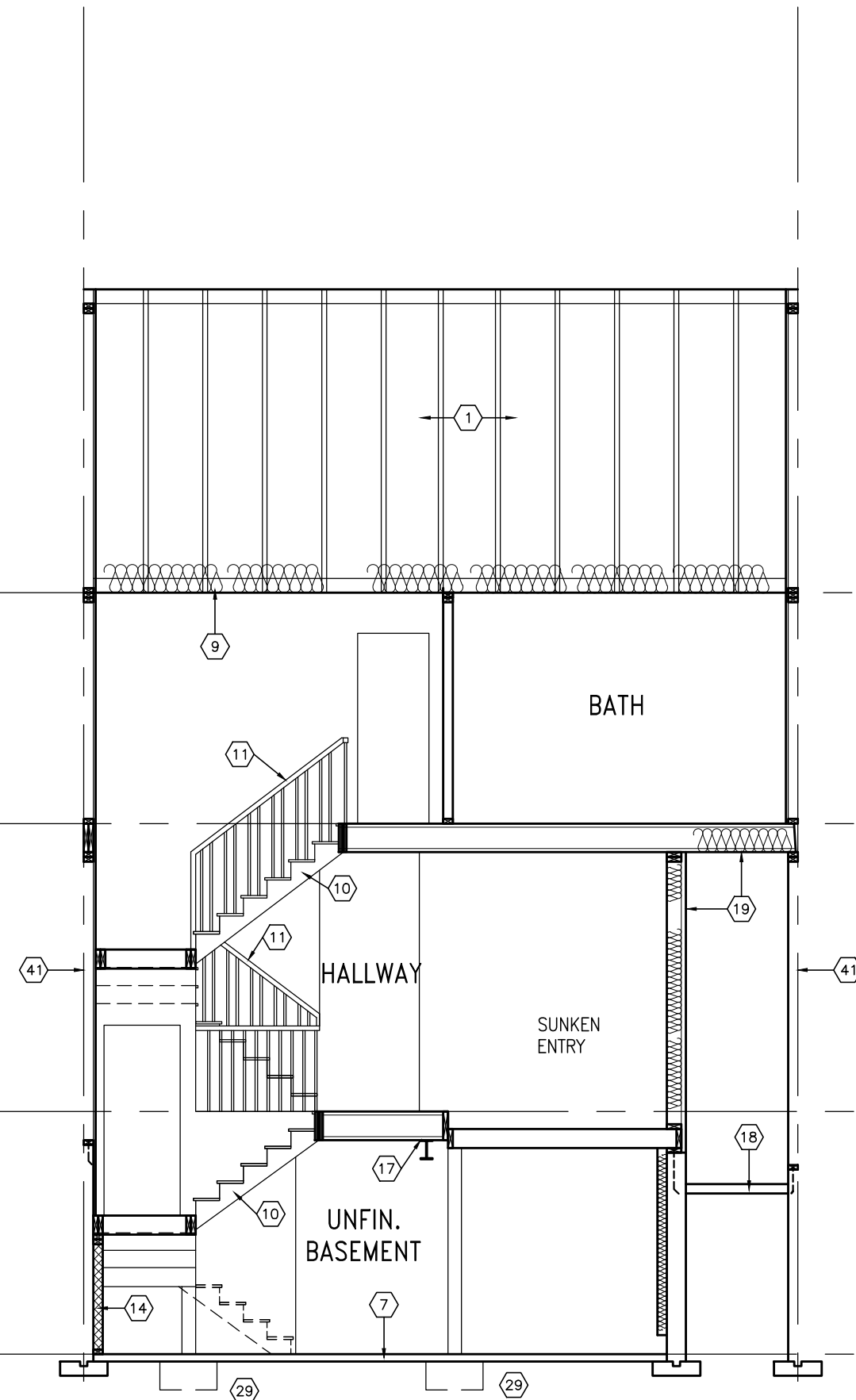
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PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



SECTION B



TOP OF PLATE

TOP OF WINDOW

7'-0"

8'-1"

FIN. SECOND FLOOR

TOP OF WINDOW/TRANSOM

7'-10"

10'-1"

FIN. GROUND FLOOR

8'-6"

TOP OF SLAB

SECTION A-A ELEV. 3

IVY 5
ENERGY STAR/ PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 5 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
7	ISSUED FOR PERMIT.	MAR. 01/17	GW
6	ISSUED FOR PRICING.	DEC. 21/16	GW
5	MASTER ENSUITE REVISED.	OCT 05/16	GW
4	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
3	2nd FL WINDOW PANELS ADDED.	SEP 06/16	GW
2	REPLACED PATIO DR. w/ DOOR/ WINDOW.	AUG 25/16	GW
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name
LECCO RIDGE DEV. INC.

checked by
scale
3/16" = 1'-0"

date
2016-07

drawn by
AF

file name
16015-IVY-5

project no.
16015

SECTION A-A ELEV. 3

drawing no.
A5b

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 5
BUILDING DIVISION

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 5
BUILDING DIVISION

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 3
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



REAR ELEVATION ELEV. 3
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

IVY 5
ENERGY STAR/ PANEL

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