

1846 SF

PAD FOOTINGS

120 KPa. NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa. ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 7/16" L (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 7/16" L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L)
L2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L)
L3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L)
L4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L)
L5 = 6" x 4" x 7/16" L (152x102x11.0L)
L6 = 7" x 4" x 7/16" L (178x102x11.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8" TO 9" CEILING	HEIGHT 10" OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

GENERAL NOTES/CONSTRUCTION DETAILS

Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWNHOUSE MODELS

Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

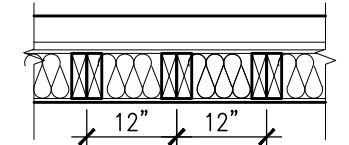
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT
WALL DETAIL

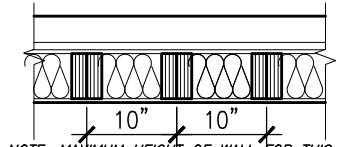
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT
WALL DETAIL

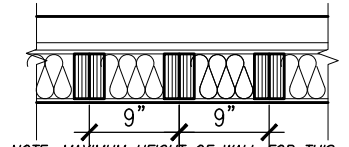
2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT
WALL DETAIL

2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))			
IVY 4 AND ELEVATION 1 & 1A	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	475.98 S.F.	96.59 S.F.	20.29 %
LEFT SIDE	897.10 S.F.	0.0 S.F.	0.00 %
RIGHT SIDE	897.10 S.F.	0.0 S.F.	0.00 %
REAR	453.73 S.F.	136.24 S.F.	30.03 %
TOTAL SQ. FT.	2723.91 S.F.	232.83 S.F.	8.55 %
TOTAL SQ. M.	253.06 S.M.	21.63 S.M.	8.55 %

AREA CALCULATIONS	ELEV '1' & '1A'
GROUND FLOOR AREA	864 SF
SECOND FLOOR AREA	982 SF
TOTAL FLOOR AREA	1846 SF (171.50 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	0 SF
ADD TOTAL OPEN AREAS	+0 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	1846 SF (171.50 m2)
GROUND FLOOR COVERAGE	864 SF
GARAGE COVERAGE/AREA	288 SF
PORCH COVERAGE/AREA	96 SF
COVERAGE W/ PORCH	1248 SF (115.94 m2)
COVERAGE W/O PORCH	1152 SF (107.02 m2)

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))			
IVY 4 AND ELEVATION 2	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	471.40 S.F.	80.83 S.F.	17.15 %
LEFT SIDE	897.10 S.F.	0.0 S.F.	0.00 %
RIGHT SIDE	897.10 S.F.	0.0 S.F.	0.00 %
REAR	453.73 S.F.	136.24 S.F.	30.03 %
TOTAL SQ. FT.	2719.33 S.F.	217.07 S.F.	7.98 %
TOTAL SQ. M.	252.63 S.M.	20.17 S.M.	7.98 %

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	873 SF
SECOND FLOOR AREA	991 SF
TOTAL FLOOR AREA	1864 SF (173.17 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	0 SF
ADD TOTAL OPEN AREAS	+0 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	1864 SF (173.17 m2)
GROUND FLOOR COVERAGE	873 SF
GARAGE COVERAGE/AREA	288 SF
PORCH COVERAGE/AREA	51 SF
COVERAGE W/ PORCH	1212 SF (112.60 m2)
COVERAGE W/O PORCH	1161 SF (107.86 m2)

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))			
IVY 4 AND ELEVATION 3	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	471.73 S.F.	96.90 S.F.	20.54 %
LEFT SIDE	897.10 S.F.	0.0 S.F.	0.00 %
RIGHT SIDE	897.10 S.F.	0.0 S.F.	0.00 %
REAR	453.73 S.F.	136.24 S.F.	30.03 %
TOTAL SQ. FT.	2719.66 S.F.	233.14 S.F.	8.57 %
TOTAL SQ. M.	252.66 S.M.	21.66 S.M.	8.57 %

AREA CALCULATIONS	ELEV '3'
GROUND FLOOR AREA	864 SF
SECOND FLOOR AREA	982 SF
TOTAL FLOOR AREA	1846 SF (171.50 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	0 SF
ADD TOTAL OPEN AREAS	+0 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	1846 SF (171.50 m2)
GROUND FLOOR COVERAGE	864 SF
GARAGE COVERAGE/AREA	288 SF
PORCH COVERAGE/AREA	96 SF
COVERAGE W/ PORCH	1248 SF (115.94 m2)
COVERAGE W/O PORCH	1152 SF (107.02 m2)



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL

BUILDING: REVIEWED

SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

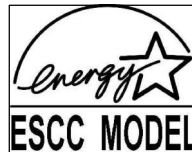
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON

MAR 29, 2017

IVY 4

BUILDING DIVISION



ENERGY STAR- V 12.7

IVY-4
ENERGY STAR/PANEL

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	signature
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink 24488 BCIN
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name registration information
4	ISSUED FOR PRICING.	DEC. 21/16	GW	VA3 Design Inc. 42658
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC.

municipality
TOWN OF MILTON

IVY 4

project no.
16015

date
2016-07

drawn by
AF

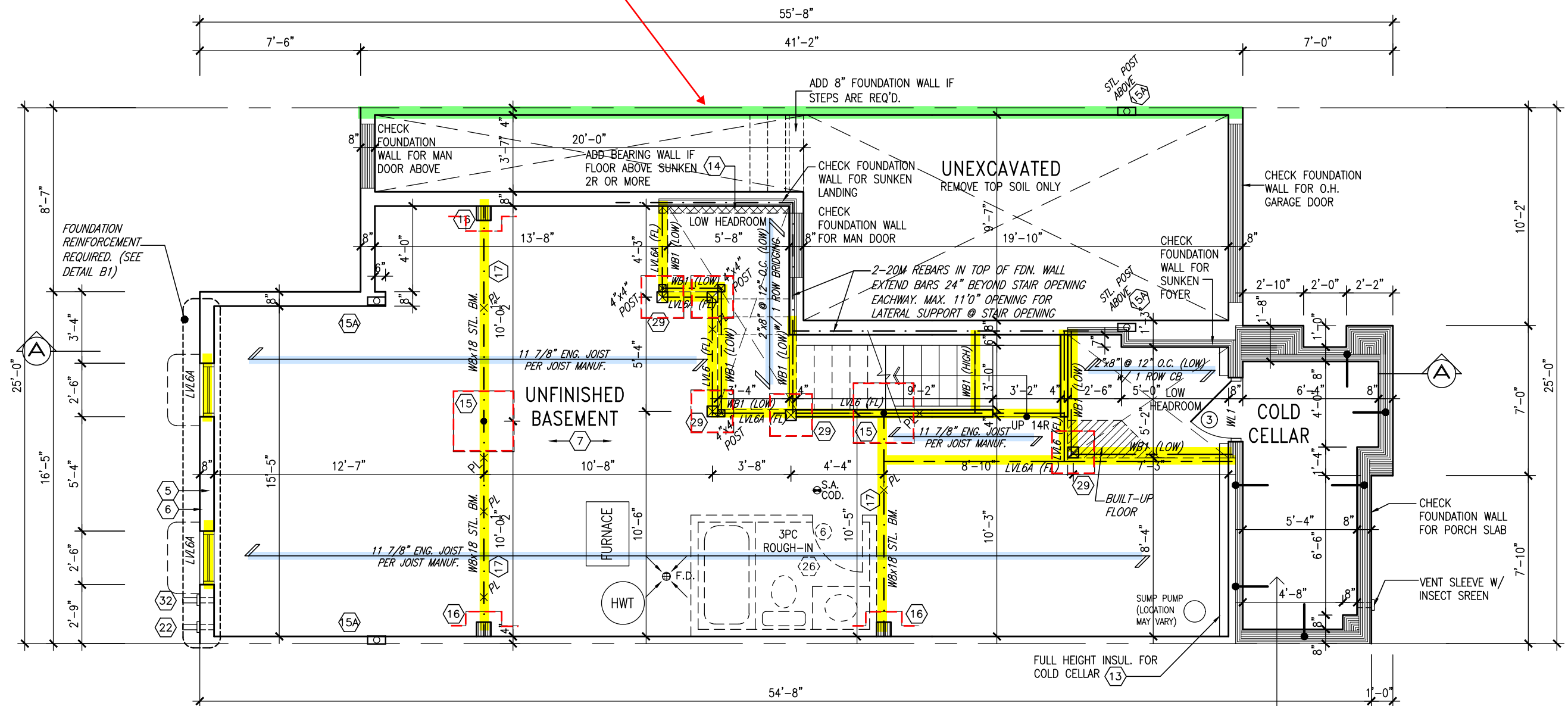
checked by
3/16" = 1'-0"

GENERAL NOTES & CHARTS

file name
16015-IVY-4

drawing no.
A0

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

BASEMENT PLAN — ELEV. 1

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

COLD STORAGE SLAB
6" REINFORCED CONCRETE SLAB
WITH 15M BARS @ 12"o.c.
BOTTOM EACH WAY WITH MIN. 1
1/4" CONC. COVER AND 15M
BENT (24"x24") DOWELS
SPACED NOT MORE THAN 16"o.c.
TYPICALLY ALL AROUND.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

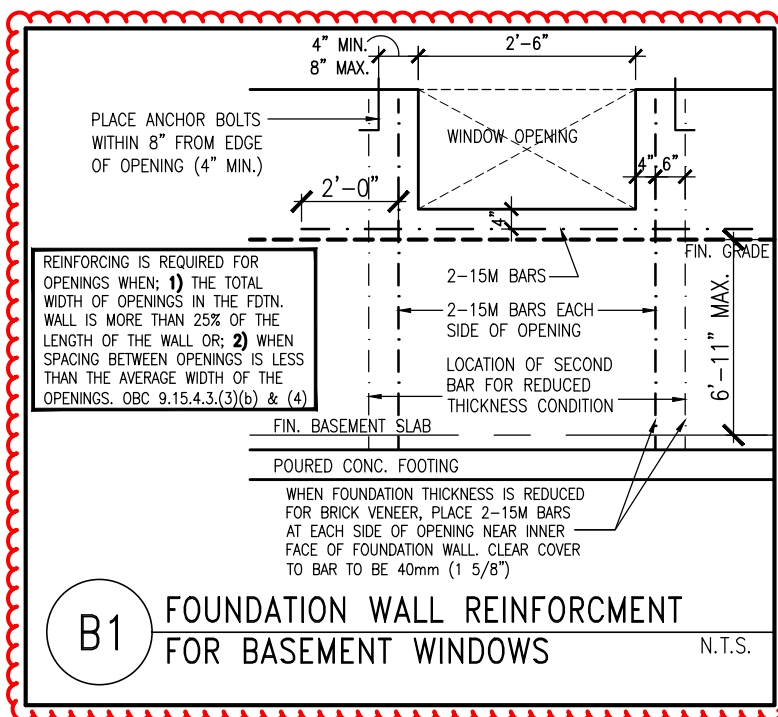
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 2/0 2017

John G. Williams *United*, Architect

IVY-4
ENERGY STAR/PANEL



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
No. 12872

STRUDET INC.
FOR STRUCTURE ONLY



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL

BUILDING: REVIEWED

SCOTT SHERRIFFS

APR 18, 2017


PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the	
8	.	.	.	Ontario Building Code to be a Designer.	
7	.	.	.	qualification information	
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	2448
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name	
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information	
3	REVISED. ADDED SUNKEN FOYER COND.	0CT 03/16	WT	VA3 Design Inc.	4265
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings not to be scaled.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark™		project name LECCO RIDGE DEV. INC.		municipality TOWN OF MILWAUKEE	
date 016-07		BASEMENT			
drawn by -		checked by -		scale 3/16" = 1'-0"	
REF - H:\ARCHIVE\WORKING\2016\16015 GREYUNITS\WY 4\16015-WY-4.dwg					

rk™	IVY 4
municipality	-
N OF MILTON	project no. 16015
BASEMENT PLAN - ELEV. 1	drawing no.
file name 16015-IVY-4	A1
16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:52 PM	

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

HANDRAIL
Required for
interior stairs with
more than 2 risers

GARAGE DOOR
Requires weatherstripping
and a self closing device

NOTE 2: BALCONY OVER PORCH
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

BRICK/
STONE
VENUE — 3-1/2"x3-1/2"x1/4"
(90x90x6.0)
STEEL ANGLE

BRICK/
STONE
VENEUR

SUPPORTED STEEL
ANGLE UP TO 11'-7".
OTHERWISE TO BE
REVIEWED BY ENGINEER.

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL


MAR 20 2017

John G. Williams Limited, Architect

ALL GARAGE SLABS, PORCH
SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa.
WITH 5.-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL

BUILDING: REVIEWED	
SCOTT SHERRIFFS	APR 18, 2017
PLANS EXAMINER	DATE
<p>Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton</p>	


RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
No. 12812

STRUDET INC.
FOR STRUCTURE ONLY

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the
8	.	.	.	Ontario Building Code to be a Designer.
7	.	.	.	qualification information
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink 2448-BC
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name signature
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information VA3 Design Inc. 4265
3	REVISED. ADD SUNKEN FOYER COND.	0CT 03/16	WT	
2	2ND FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.	
Project name	Number
ECCO RIDGE DEV. INC.	TOWN OF MILWAUKEE
File	Ground Floor
16S-07	
Drawn by	checked by
	3/16" = 1'-0"
REG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\WY\WY 4\16015-WY-4.dwg	

IVY-4
ENERGY STAR/PANEL

VY 4

Project no.
6015

no.

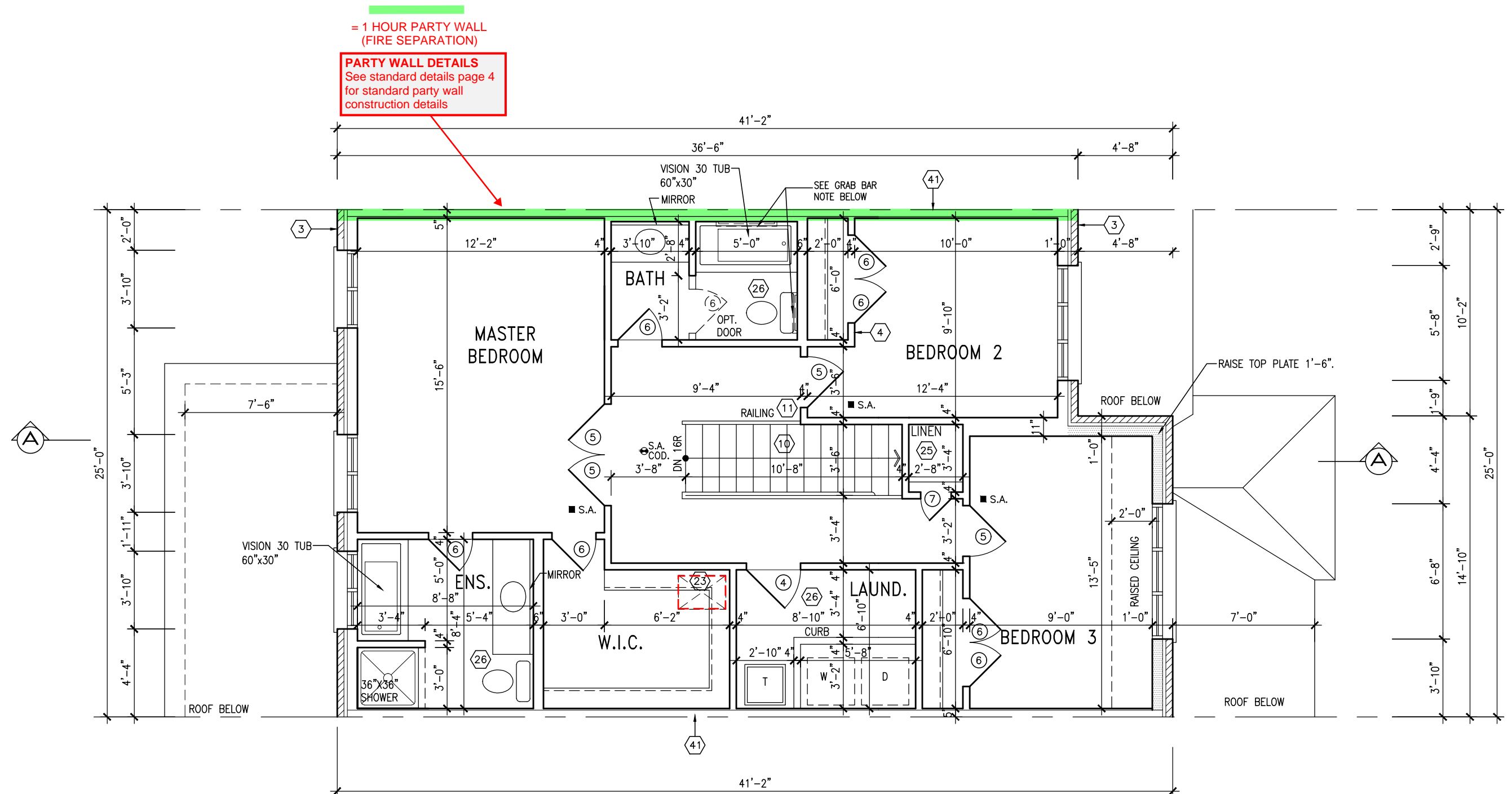
1

21

21



All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



SECOND FLOOR PLAN - ELEV. 1

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.


STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

The logo for the Town of Milton Planning and Development is located in the top left corner. It features a stylized blue 'M' inside a square frame, with the words 'TOWN OF MILTON' in a bold, sans-serif font above it. Below the 'M' is the text 'PLANNING AND DEVELOPMENT' and 'IVY 4 MODEL' in a smaller, sans-serif font.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the	
8	.	.	.	Ontario Building Code to be a Designer.	
7	.	.	.	qualification information	
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	2448
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name	
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information	
3	REVISED. ADDED SUNKEN FOYER COND.	0CT 03/16	WT	VA3 Design Inc.	4265
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings not to be scaled.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark™	
Project name	mun
LECCO RIDGE DEV. INC.	TOWN OF MIL
Site	
016-07	TOWN FLOO
Drawn by	checked by
	scale
	3/16" = 1'-0"
<small>REF - H:\ARCHIVE\WORKING\2016\16015 GREYUNITS\WY 4\16015-NY-4.dwg</small>	

IVY-4
ENERGY STAR/PANEL

IVY 4

1

Project no.
6015

no.

3 |

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILLTON

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited Architect

REFIN. ALUM. PANEL
(TYP.)

PREFIN. ALUM. PANEL
(TYP.)

PRECA
(TYP.)

12" HIGH TRANSOM (FG)

FACE BRICK (TYP.)

FACE BRICK (TYP.)

FRONT ELEVATION
ELEV. 1

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

IVY-4
ENERGY STAR/PANEL

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the	
8	-	-	-	Ontario Building Code to be a Designer.	
7	-	-	-	registration information	
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	2448
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name	BC
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information	
3	REVISED, ADDED SUNKEN FOYER COND.	0CT 03/16	WT	VA3 Design Inc.	4265
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings not to be scaled.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

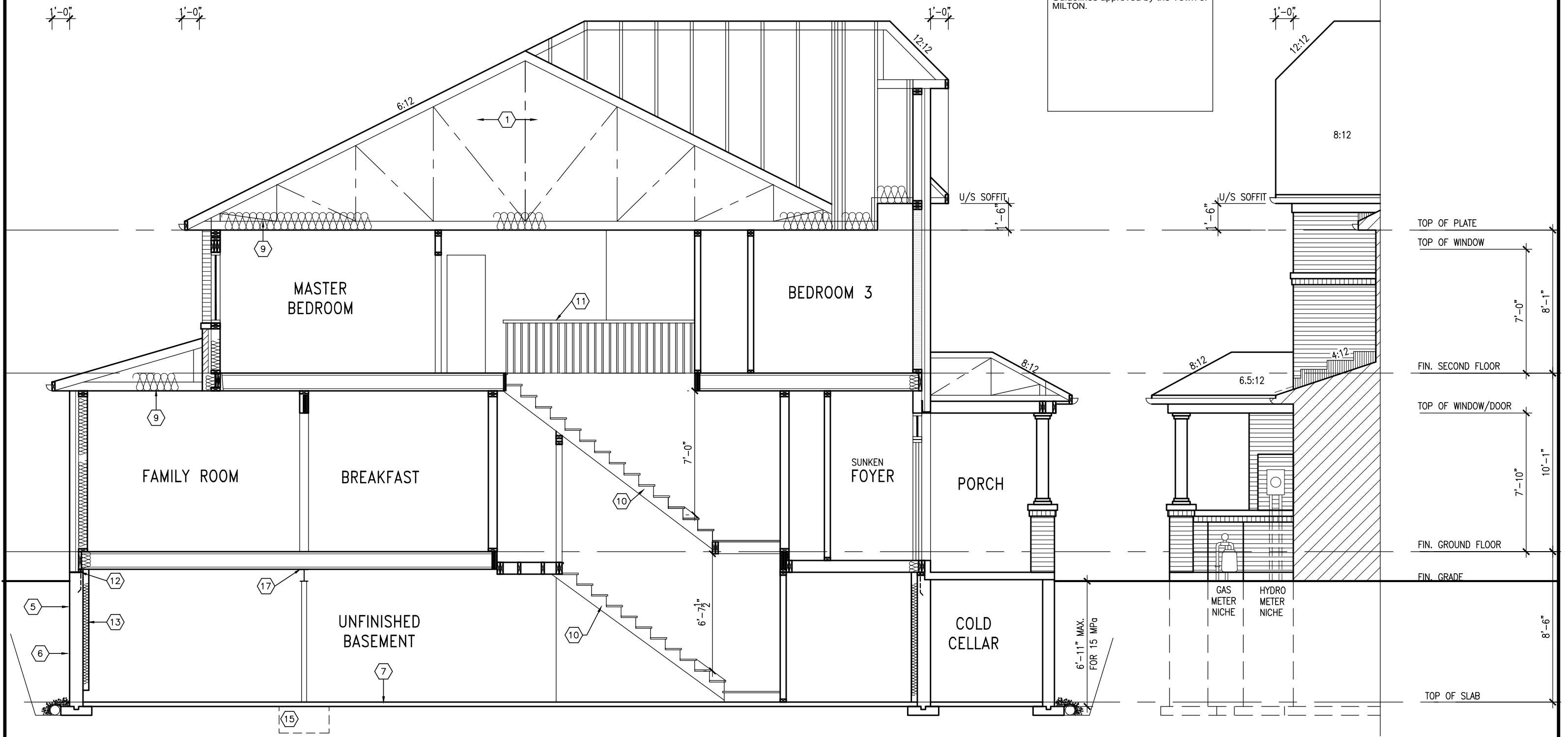
 **Greenpark.**

project name LECCO RIDGE DEV. INC.	municipality TOWN OF MILTON	project no. 1601
date 2016-07		
drawing no. A4		
drawing title FRONT & REAR ELEVATION '1'		
drawn by AF	checked by -	scale 3/16" = 1'-0"
file name 16015-IY-4		
<small> GREG - H:\ARCHIVE\WORKING\2016\16015 GREG\UNITS\WY\WY 4\16015-IY-4.dwg - Tue - Apr 11 2017 - 1:53 PM 16015-IY-4.dwg - Tue - Apr 11 2017 - 1:53 PM </small>		

All drawings specifications related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



SECTION A-A ELEV. 1

SECTION B

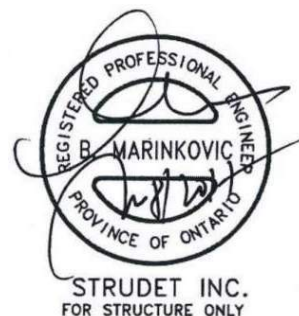
IVY-4
ENERGY STAR/PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Richard Vink 24488
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	signature BCIN
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name registration information
4	ISSUED FOR PRICING.	DEC. 21/16	GW	VA3 Design Inc. 42658
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	LECCO RIDGE DEV. INC.	municipality	TOWN OF MILTON	project no.	16015
date	2016-07	checked by	scale	3/16" = 1'-0"	
drawn by	AF	file name	16015-IVY-4	drawing no.	A5
SECTION A-A ELEV. 1					
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 4\16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM					

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

1846 SF

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)
FACE BRICK (TYP.)

36" HIGH WOOD RAILING
(42" HIGH WHEN DECK IS
MORE THAN 5'-11" ABOVE
GRADE)

6'-10"

REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)
FACE BRICK (TYP.)

6'-10"

PRECAST
CONCRETE
STEPS

REFER TO PRECAST
MANUF. FOR
SUPPORT DETAILS

UPGRADE WINDOW WITH
MIN. 4'-6" FIN. FIRST
FLOOR TO GRADE
CONDITION.

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF SLAB

REAR ELEVATION ELEV. 1
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

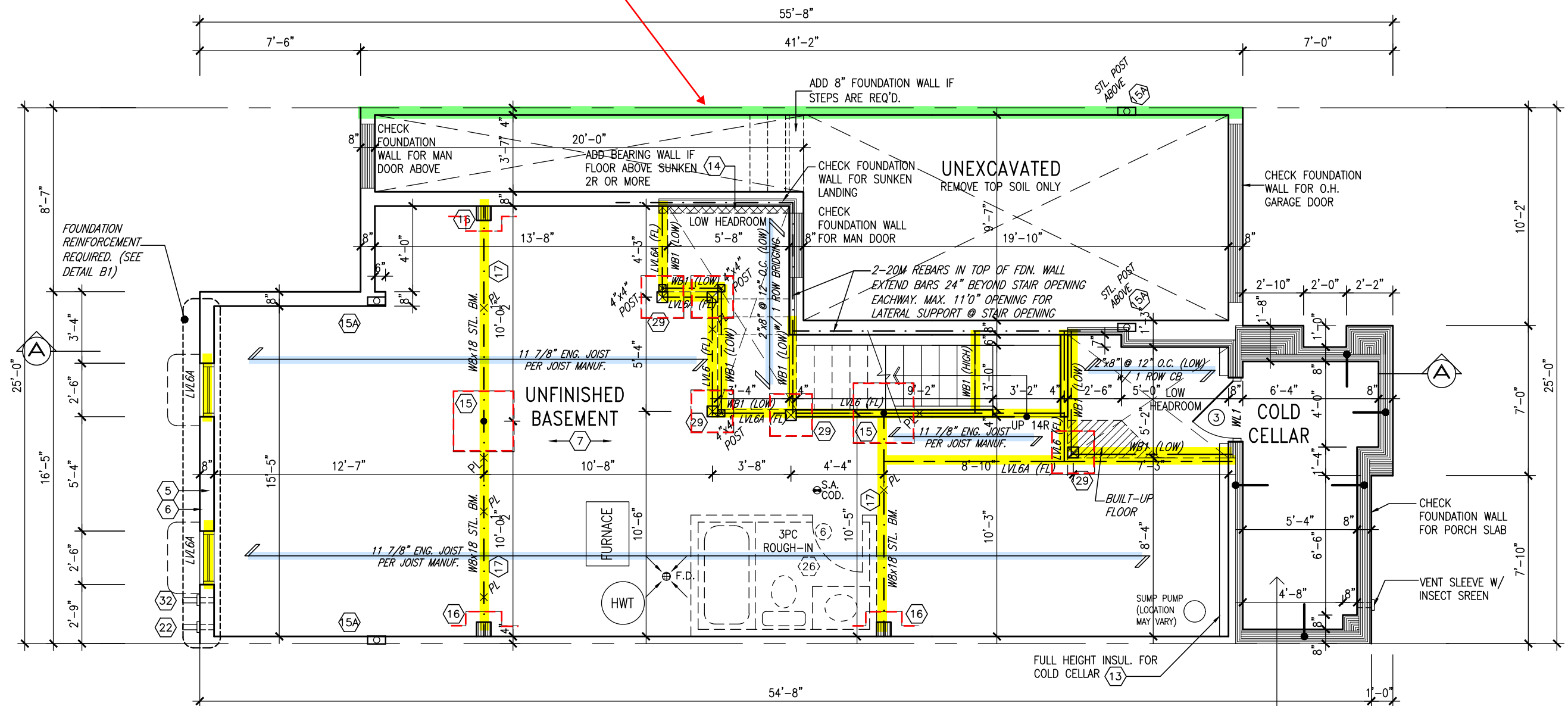
9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.		
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	24488
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name registration information	BCIN
4	ISSUED FOR PRICING.	DEC. 21/16	GW	VA3 Design Inc.	42658
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT		
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by		

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
project no.
16015
date
2016-07
drawn by
AF
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-4
drawing no.
A7
REG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\WY\IVY 4\16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

BASEMENT PLAN — ELEV. 1A

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

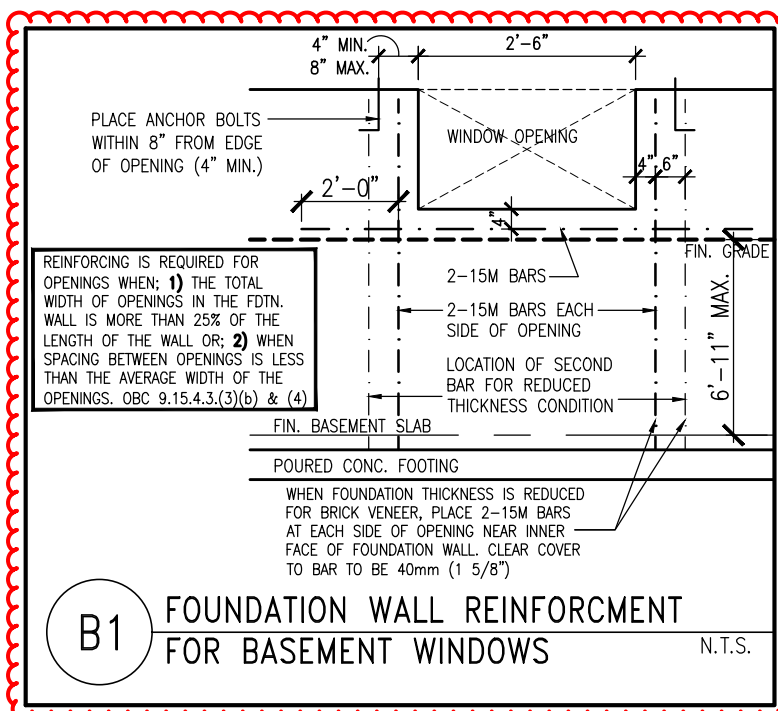
COLD STORAGE SLAB
6" REINFORCED CONCRETE SLAB
WITH 15M BARS @ 12"o.c.
BOTTOM EACH WAY WITH MIN. 1
1/4" CONC. COVER AND 15M
BENT (24"x24") DOWELS
SPACED NOT MORE THAN 16"o.c.
TYPICALLY ALL AROUND.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

IVY-4
ENERGY STAR/PANEL



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
No. 12872

STRUDET INC.
FOR STRUCTURE ONLY



TOWN OF MILTON

PLANNING AND DEVELOPMENT

IVY 4 MODEL

BUILDING: REVIEWED

SCOTT SHERRIFFS

APR 18, 2017

PLANS EXAMINER


DATE


Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the	
8	.	.	.	Ontario Building Code to be a Designer.	
7	.	.	.	qualification information	
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	2448
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name	
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information	
3	REVISED. ADDED SUNKEN FOYER COND.	0CT 03/16	WT	VA3 Design Inc.	4265
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings not to be scaled.	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.	
Project name	mun
LECCO RIDGE DEV. INC.	TOWN OF MIL
File	
016-07	BASEMENT
Drawn by	checked by
	scale
	3/16" = 1'-0"
REF - H:\ARCHIVE\WORKING\2016\16015 GREYUNIT5\DWG\4\16015-NY-4.dwg	

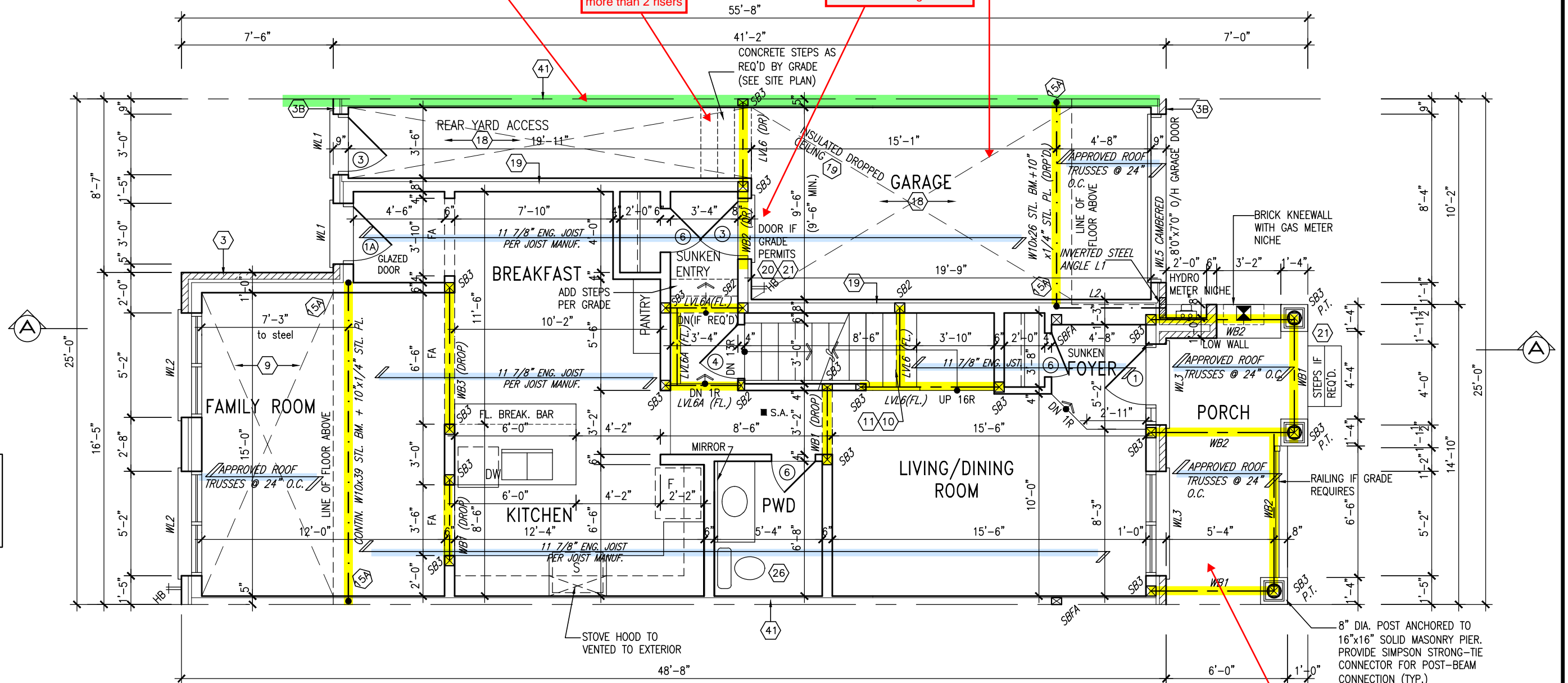
	<div style="text-align: center;"> <h1>IVY 4</h1> <p>—</p> </div>	
	municipality TOWN OF MILTON	project no. 16015
BASEMENT PLAN – ELEV. 1A		drawing no. <div style="font-size: 2em; font-weight: bold;">A1a</div>
<div style="text-align: center;"> file name 16015-IVY-4 16015-IVY-4.dwg – Tue – Apr 11 2017 – 1:53 PM </div>		

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

HANDRAIL
Required for
interior stairs with
more than 2 risers

GARAGE DOOR
Requires weatherstripping
and a self closing device

NOTE 2: BALCONY OVER PORCH
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE



SUPPORTED STEEL
ANGLE UP TO
11'-7". OTHERWISE
TO BE REVIEWED BY
ENGINEER.

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

BUILDING: REVIEWED	
SCOTT SHERRIFFS	APR 18, 2017
PLANS EXAMINER	DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton	

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.		
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	2448
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name	BC
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information	4265
3	REVISED. ADDED SUNKEN FOYER COND.	0CT 03/16	WT	VA3 Design Inc.	
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

INVERTED STEEL

INVERTED
3-1/2"x3-1/2"x1/4"
(90x90x6.0)
STEEL ANGLE

BRICK/
STONE
VENEER

SUPPORTED STEEL
ANGLE UP TO 11'-7".
OTHERWISE TO BE
REVIEWED BY ENGINEER.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name LECCO RIDGE DEV. INC.	municipality TOWN OF MILTON	project no. 16015
date 2016-07		drawing no. A2a
drawn by AF		GROUND FLOOR PLAN - ELEV. 1A 16015-IVY-4
checked by -		
scale 3/16" = 1'-0"		
GREG - H:\ARCHIVE\WORKING\16\16015.GRG\UNITS\IVY.NY 4\16015-NY-4.dwg - Tue - Apr 11 2017 - 1:53 PM		

IVY-4
ENERGY STAR/PANEL

VY 4

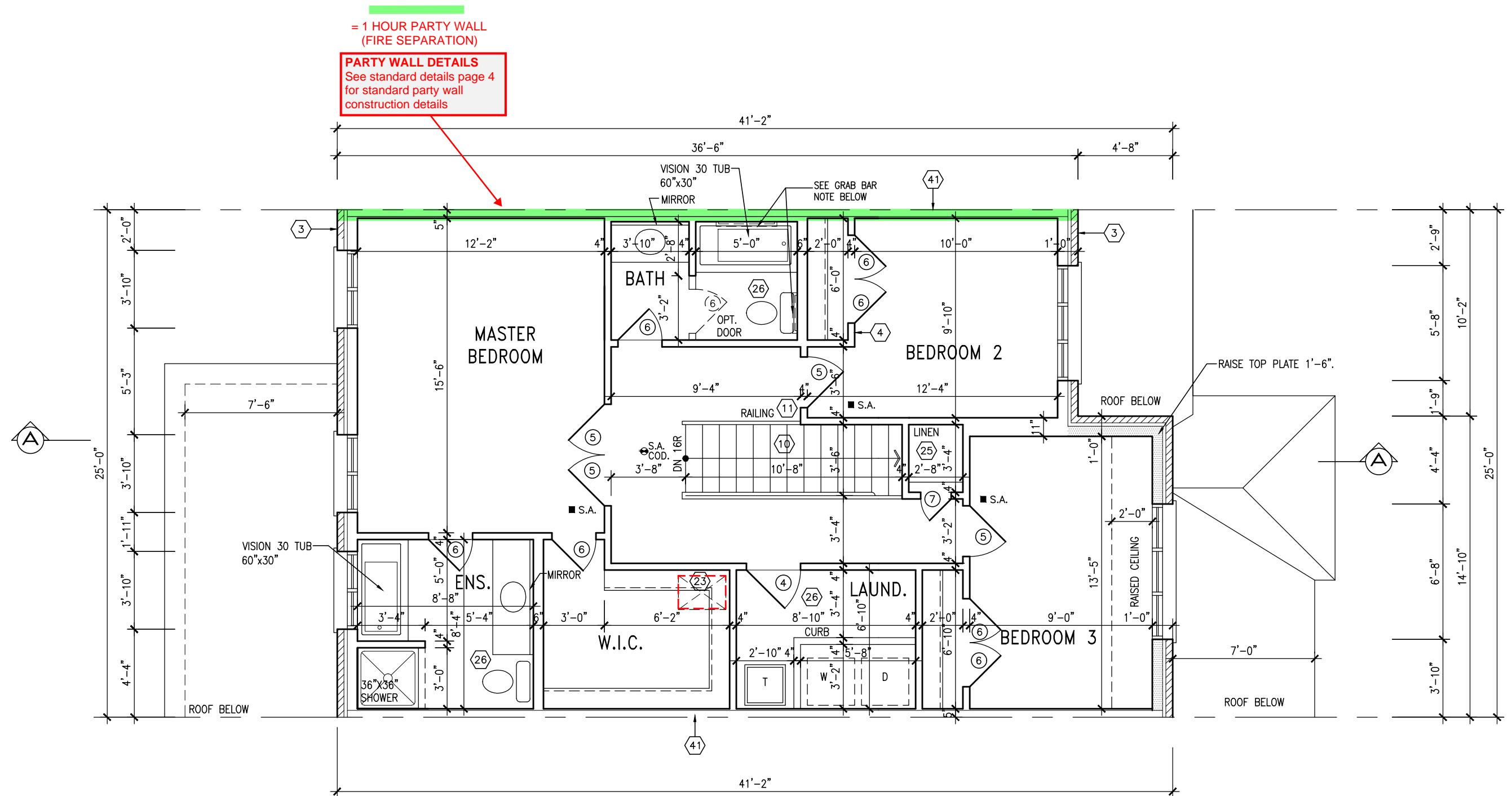
Project no.
6015

00.

●

2a

— — —



SECOND FLOOR PLAN – ELEV. 1A

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 2/0 2017

John G. Williams Limited, Architect

IVY-4
ENERGY STAR/PANEL

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.


STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).










RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

The logo for the Town of Milton Planning and Development features a stylized blue 'M' with a white diagonal line. To the right of the logo, the text 'TOWN OF MILTON' is in large, bold, black capital letters. Below it, 'PLANNING AND DEVELOPMENT' is in smaller, bold, black capital letters. At the bottom, 'IVY 4 MODEL' is in bold, black capital letters.

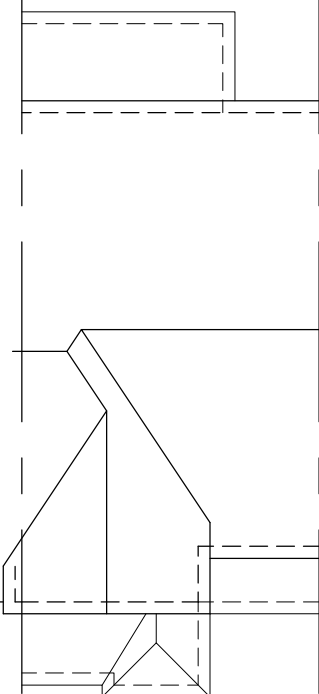
9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the
8	.	.	.	Ontario Building Code to be a Designer.
7	.	.	.	qualification information
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink 2448-BC
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name signature
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information
3	REVISED. ADD SUNKEN FOYER COND.	0CT 03/16	WT	VA3 Design Inc. 4265
2	2ND FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark.	
project name	mun
LECCO RIDGE DEV. INC.	TOWN OF MIL
site	SECOND FLOOR
016-07	
drawn by	checked by
scale	
3/16" = 1'-0"	
REG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\WY\WY_4\16015--WY-4.dwg	

	<div style="text-align: center;"> <div>IVY 4</div> <div>-</div> </div>
<div style="text-align: center;"> <div>municipality</div> <div>TOWN OF MILTON</div> </div>	<div style="text-align: right;"> <div>project no.</div> <div>16015</div> </div>
<div style="text-align: center;"> <div>SECOND FLOOR PLAN - ELEV. 1A</div> <div>file name</div> <div>16015-IVY-4</div> </div>	
<div>1'-0"</div> <div>         </div>	<div style="text-align: right;"> <div>drawing no.</div> <div>A3a</div> </div>
<div style="text-align: center;"> <div>16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM</div> </div>	

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



ROOF PLAN
ELEV. 1

PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)

FACE BRICK (TYP.)

GALV. CORRUGATED MTL.
WINDOW WELL DRAINED TO
WEeping TILE WHERE GRADE
REQ'D..

REAR ELEVATION
ELEV. 1A

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

BRICK SOLDIER HEADER ON
BRICK STACK OVER 4" PRECAST
BAND ON BRICK ROWLOCK
BAND (TYP.)

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

18" HIGH TRANSOM (FG)

8" DIA. POST ANCHORED TO
16"x16" SOLID MASONRY
PIER (TYP.)

FIN. SUNKEN FOYER

POURED CONC. DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

FRONT ELEVATION
ELEV. 1A

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

1846 SF

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

ASPHALT SHINGLES
(TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

BRICK VENEER (TYP.)

BRICK SOLDIER OVER BRICK
ROWLOCK STACK ON
PRECAST CONC. SILL ON
BRICK ROWLOCK (TYP.)

PREMANUF. PANEL
BY WINDOW MANUF.

BRICK SOLDIER ARCH.
WITH KEYSTONE (TYP.)

4" PRECAST BAND ON
BRICK ROWLOCK BAND (TYP.)

8'-0"x7'-0" O/H GARAGE DOOR
GD-1A-8

U/S SOFFIT

TOP OF SLAB

IVY-4
ENERGY STAR/PANEL

IVY 4

Greenpark.

project name
LECCO RIDGE DEV. INC.

municipality
TOWN OF MILTON

project no.
16015

date
2016-07

drawn by
AF

checked by
scale
3/16" = 1'-0"

FRONT & REAR ELEVATION '1A'

file name
16015-IVY-4

drawing no.
A4a

GREG - H:\ARCHIVE\WORKING\2016\16015\GREY\UNITS\IVY\IVY 4\16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

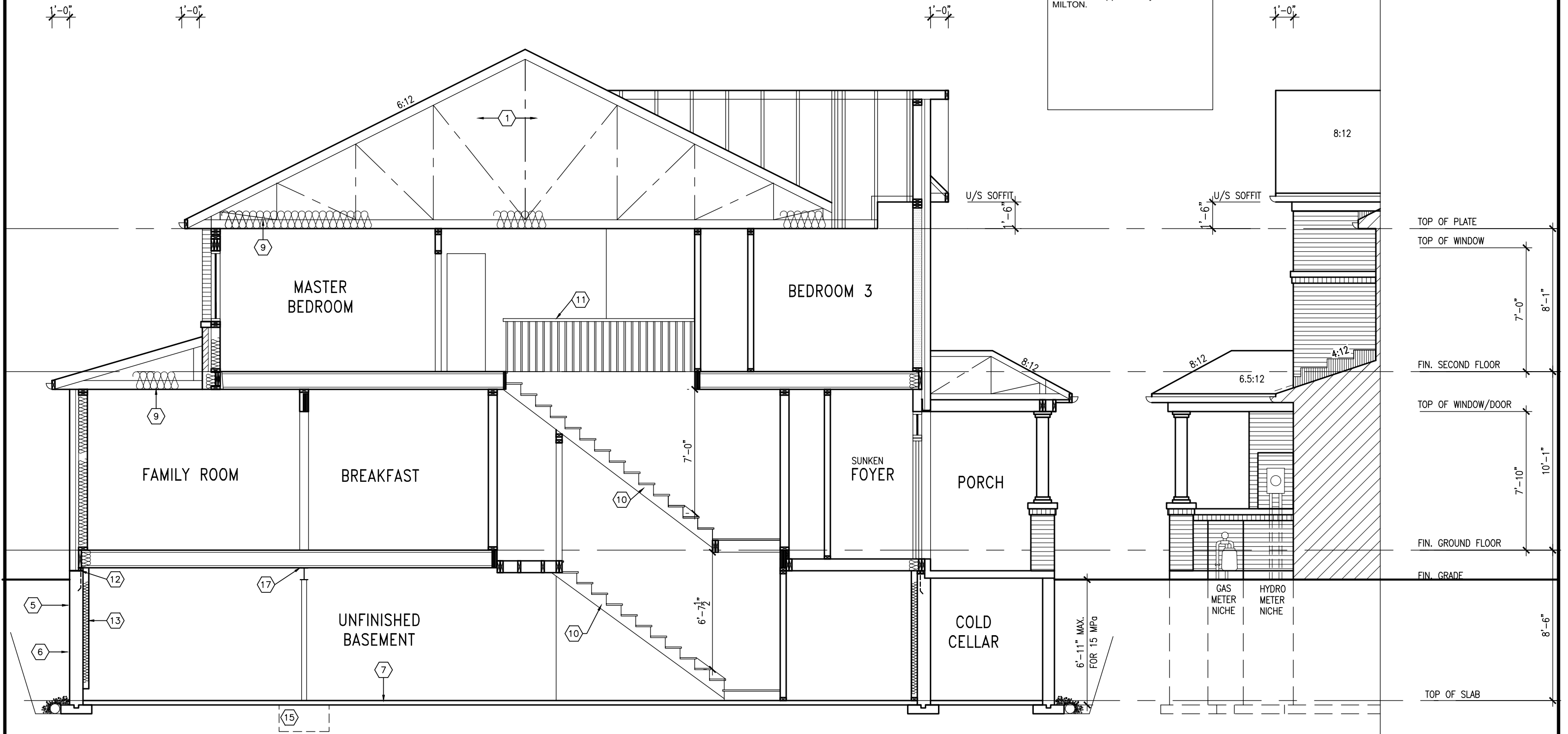
The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

9					
8					
7					
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW		
5	ISSUED FOR PERMIT.	MAR. 01/17	GW		
4	ISSUED FOR PRICING.	DEC. 21/16	GW		
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT		
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by		

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



SECTION A-A ELEV. 1A

SECTION B

IVY-4
ENERGY STAR/PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	signature
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink 24488
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name registration information BCIN
4	ISSUED FOR PRICING.	DEC. 21/16	GW	VA3 Design Inc. 42658
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	LECCO RIDGE DEV. INC.	municipality	TOWN OF MILTON	project no.	16015
date	2016-07	checked by	scale	SECTION A-A ELEV. 1A	drawing no.
drawn by	AF		3/16" = 1'-0"	16015-IVY-4	A5a
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 4\16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM					

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
DATE
APR 18, 2017
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

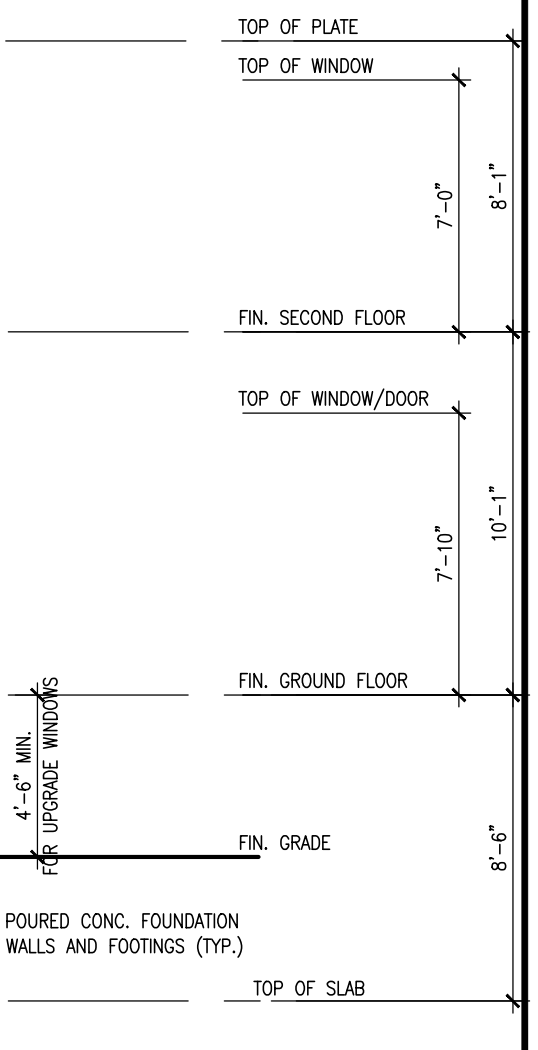
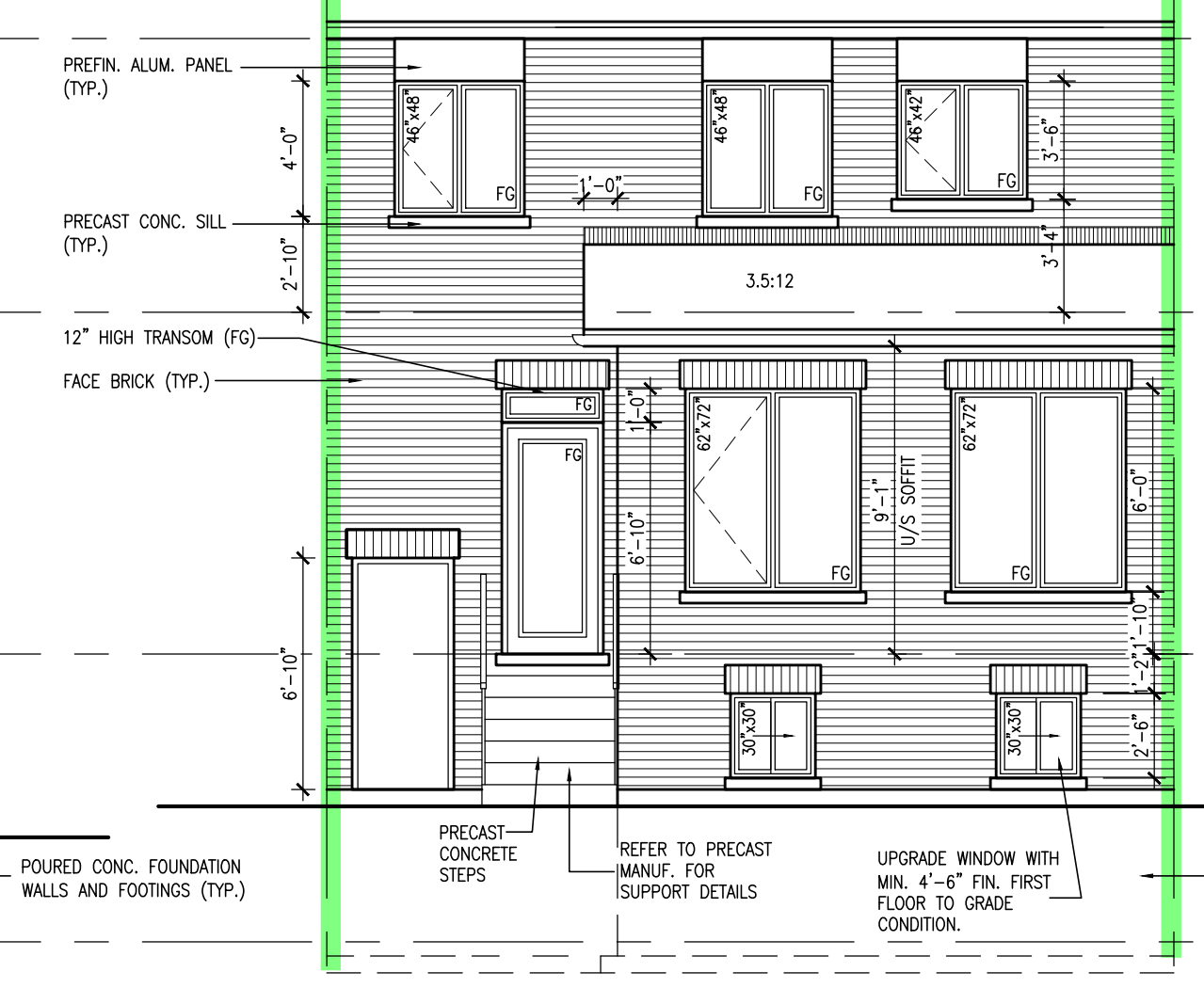
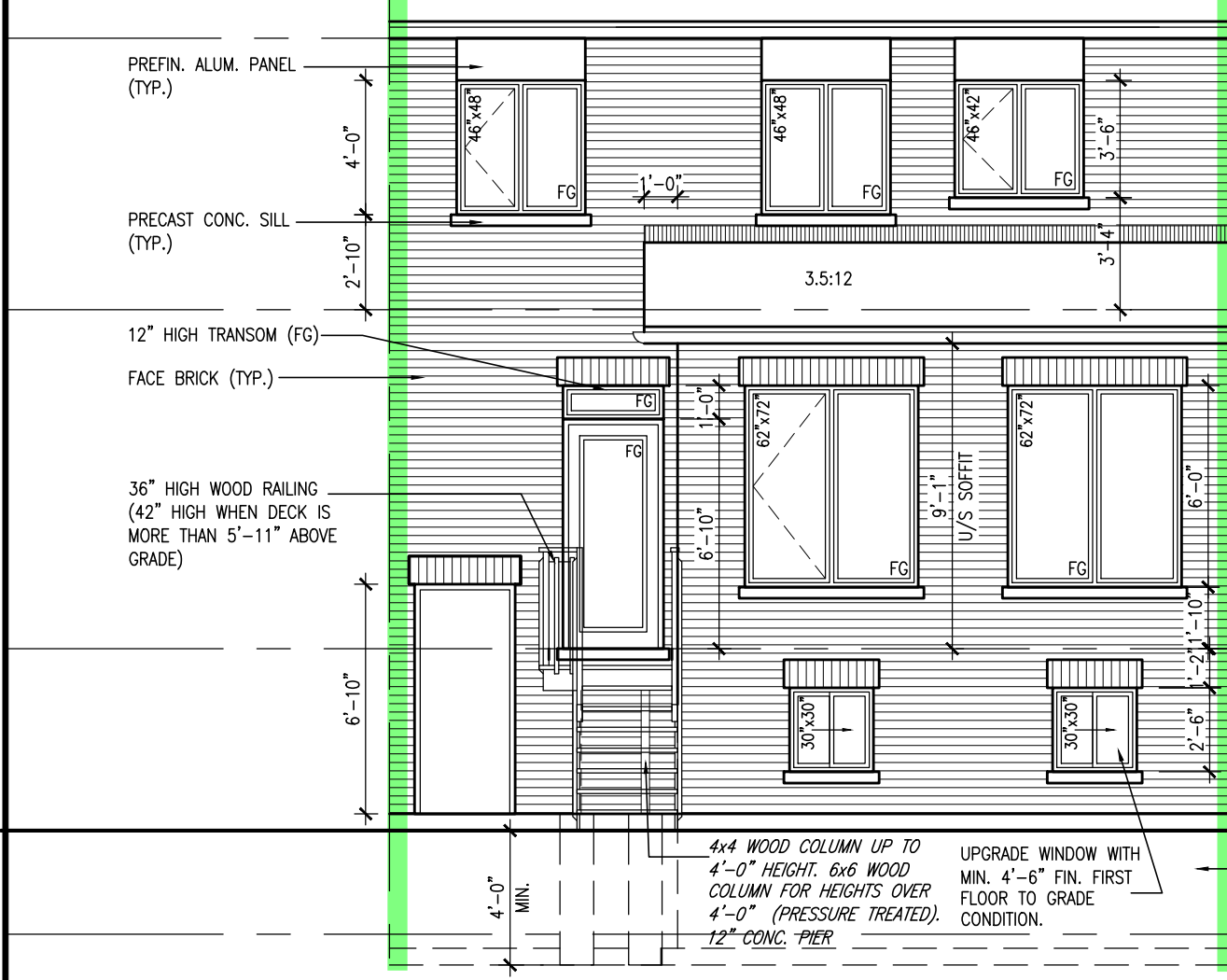
1846 SF

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 1A
DECK CONDITION (8R OR MORE)

REAR ELEVATION ELEV. 1A
DECK CONDITION (7R MAX.)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

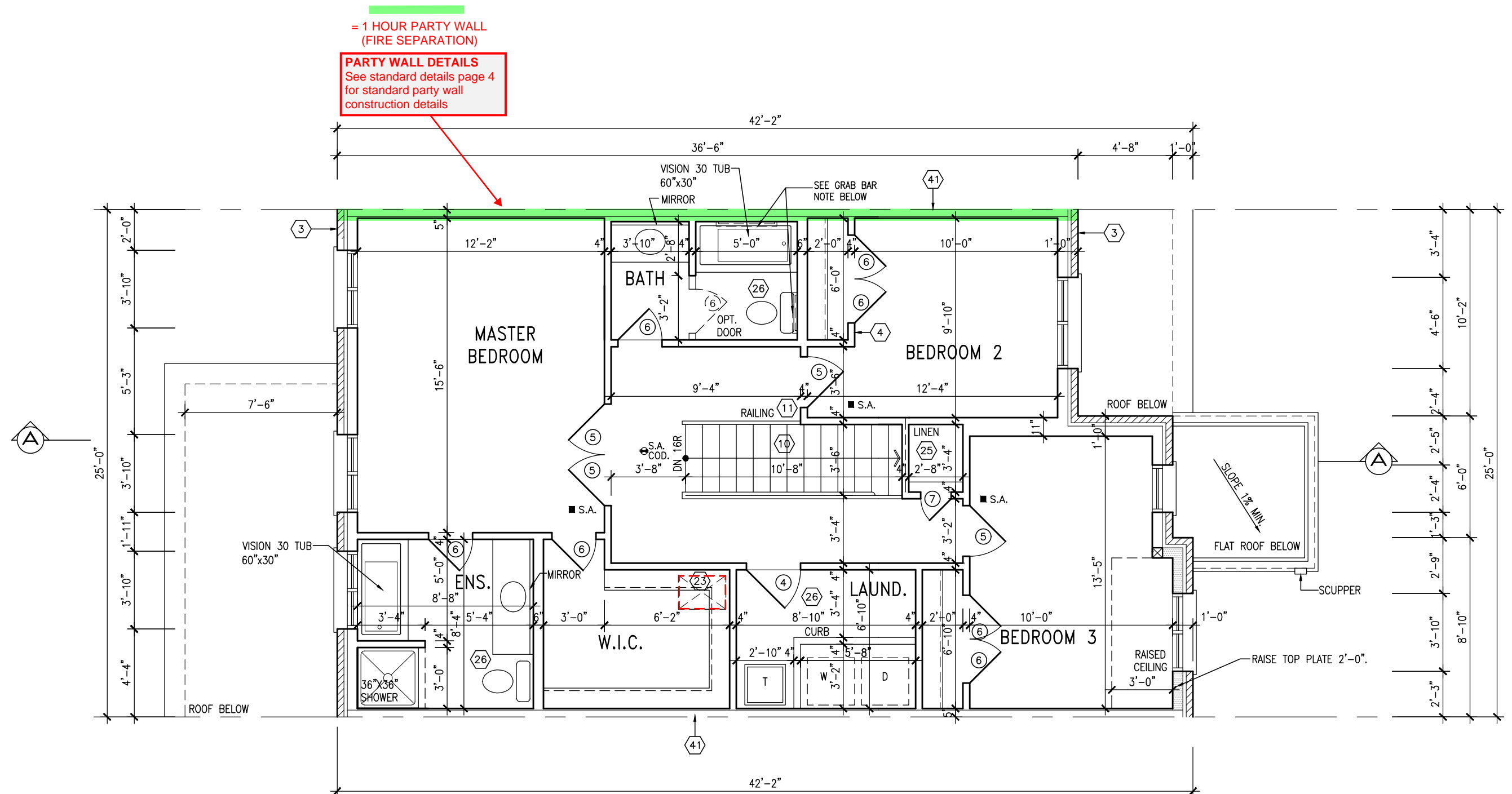
PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
8	.	.	.	qualification information		
7	.	.	.			
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	24488	
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name registration information	BCIN	
4	ISSUED FOR PRICING.	DEC. 21/16	GW	VA3 Design Inc.	42658	
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT			
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW			
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW			
no.	description	date	by			

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
project no.
16015
date
2016-07
drawn by
AF
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-4
drawing no.
A7a
REAR ELEVATION ELEV. 1A - DECK CONDITION
GREG - H:\ARCHIVE\WORKING\2016\16015\GRE\UNITS\IVY\IVY 4\16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM



SECOND FLOOR PLAN - ELEV. 2

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 2/0 2017

John G. Williams Limited, Architect

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION



TOWN OF MILTON PLANNING AND DEVELOPMENT IVY 4 MODEL

BUILDING: REVIEWED

SCOTT SHERRIFFS	APR 18, 2017
PLANS EXAMINER	DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the	
8	.	.	.	Ontario Building Code to be a Designer.	
7	.	.	.	qualification information	
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	2448
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name	
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information	
3	REVISED. ADDED SUNKEN FOYER COND.	0CT 03/16	WT	VA3 Design Inc.	4265
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings not to be scaled.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

Project name **LECCO RIDGE DEV. INC.** Municipality **TOWN OF MILLIS**

File # **16-07** Second Floor

Drawn by _____ checked by _____ scale **3/16" = 1'-0"**

REF - H:\ARCHIVE\WORKING\2016\16015 GREYUNIT5\DWG\NY 4\16015-NY-4.dwg

IVY-4
ENERGY STAR/PANEL

IVY 4

project no.
6015

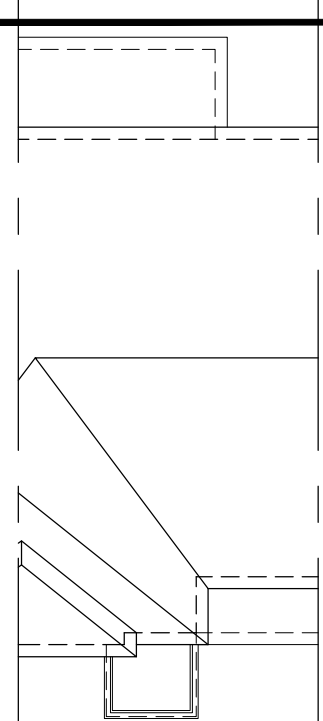
Drawing no.

76 |

ASD I

1

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



ROOF PLAN
ELEV. 2

PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)

FACE BRICK (TYP.)

GALV. CORRUGATED MTL.
WINDOW WELL DRAINED TO
WEAVING TILE WHERE GRADE
REQ'D..

REAR ELEVATION
ELEV. 2

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

BRICK PILASTER (TYP.)
BRICK ROWLOCK W/ 1/2"
PROJ. ON 16" WIDE 1" RAISED
BRICK PILASTER ON BRICK
ROWLOCK BASE W/ 1/2" PROJ.

PROFIED STUCCO FINISH

18" HIGH TRANSOM (FG)

8" DIA. POST ANCHORED
TO 16"x16" SOLID
MASONRY PIER (TYP.)

FIN. SUNKEN FOYER

STONE VENEER (TYP.)

POURED CONC. DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

FRONT ELEVATION
ELEV. 2

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

1868 SF

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

ASPHALT SHINGLES
(TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

BRICK VENEER (TYP.)

BRICK SOLDIER OVER BRICK
STACK ON PRECAST CONC.
SILL OVER BRICK ROWLOCK
(TYP.)

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

20" HIGH PREFIN.
DECORATIVE RAILING
(TYP.)

BRICK SOLDIER ARCH.
WITH KEYSTONE (TYP.)

CONT. 4" PRECAST CONC.
BAND OVER STONE VENEER
(TYP.)

8'-0"x7'-0" O/H GARAGE DOOR
GD-3B-8

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

IVY-4
ENERGY STAR/PANEL

IVY 4

project no.
16015

drawing no.
A4b

Greenpark.

project name
LECCO RIDGE DEV. INC.

municipality
TOWN OF MILTON

date
2016-07

drawn by
AF

checked by
scale
3/16" = 1'-0"

FRONT & REAR ELEVATION '2'

file name
16015-IVY-4

GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 4\16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.

Richard Vink
signature
24488
BCIN

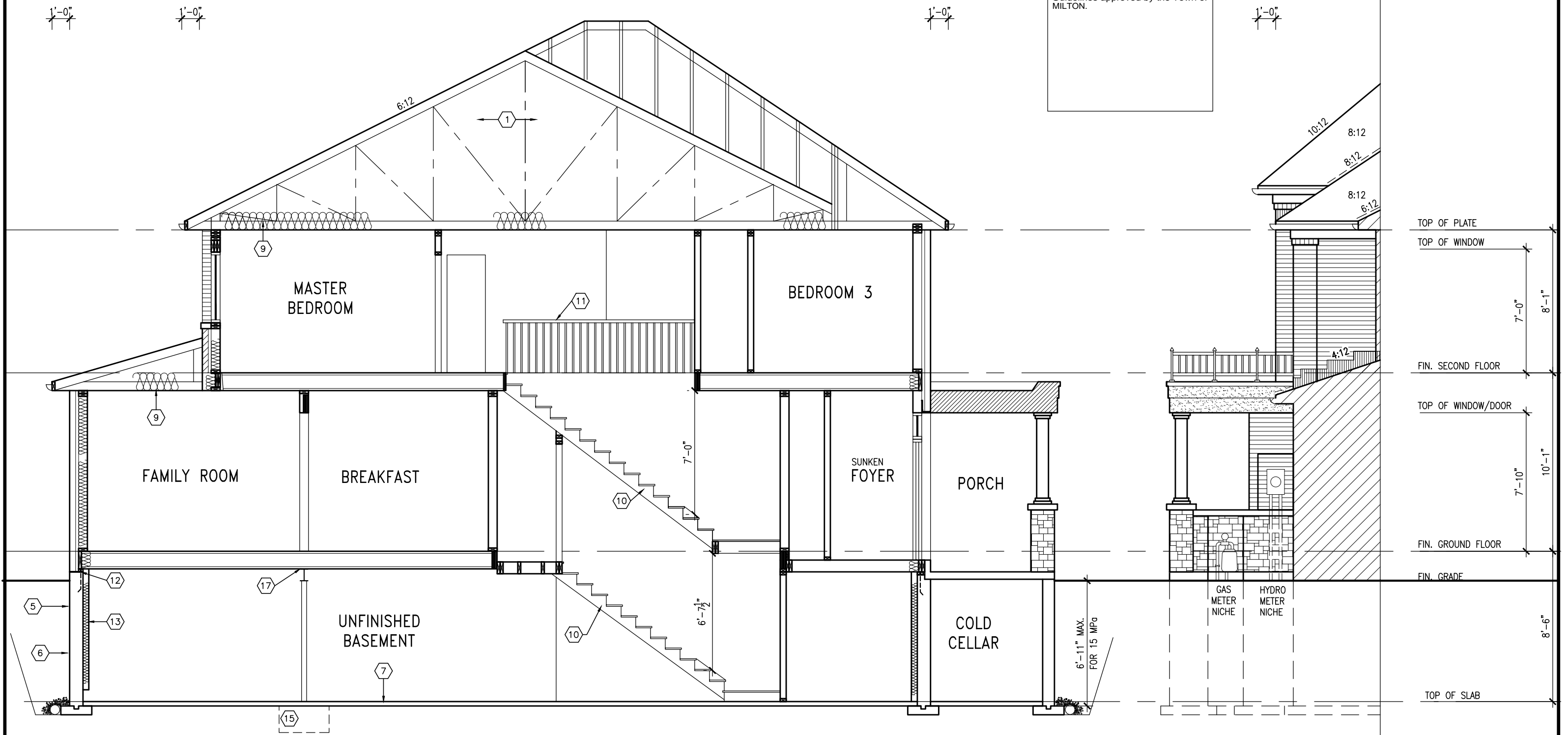
name
registration information
VA3 Design Inc.
42658

Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	
4	ISSUED FOR PRICING.	DEC. 21/16	GW	
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



SECTION A-A ELEV. 2

SECTION B

IVY-4
ENERGY STAR/PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	signature
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink 24488
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name registration information BCIN
4	ISSUED FOR PRICING.	DEC. 21/16	GW	VA3 Design Inc. 42658
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	LECCO RIDGE DEV. INC.	municipality	TOWN OF MILTON	project no.	16015
date	2016-07	checked by	scale	3/16" = 1'-0"	
drawn by	AF	file name	16015-IVY-4	drawing no.	A5b
SECTION A-A ELEV. 2					

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
DATE
APR 18, 2017
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

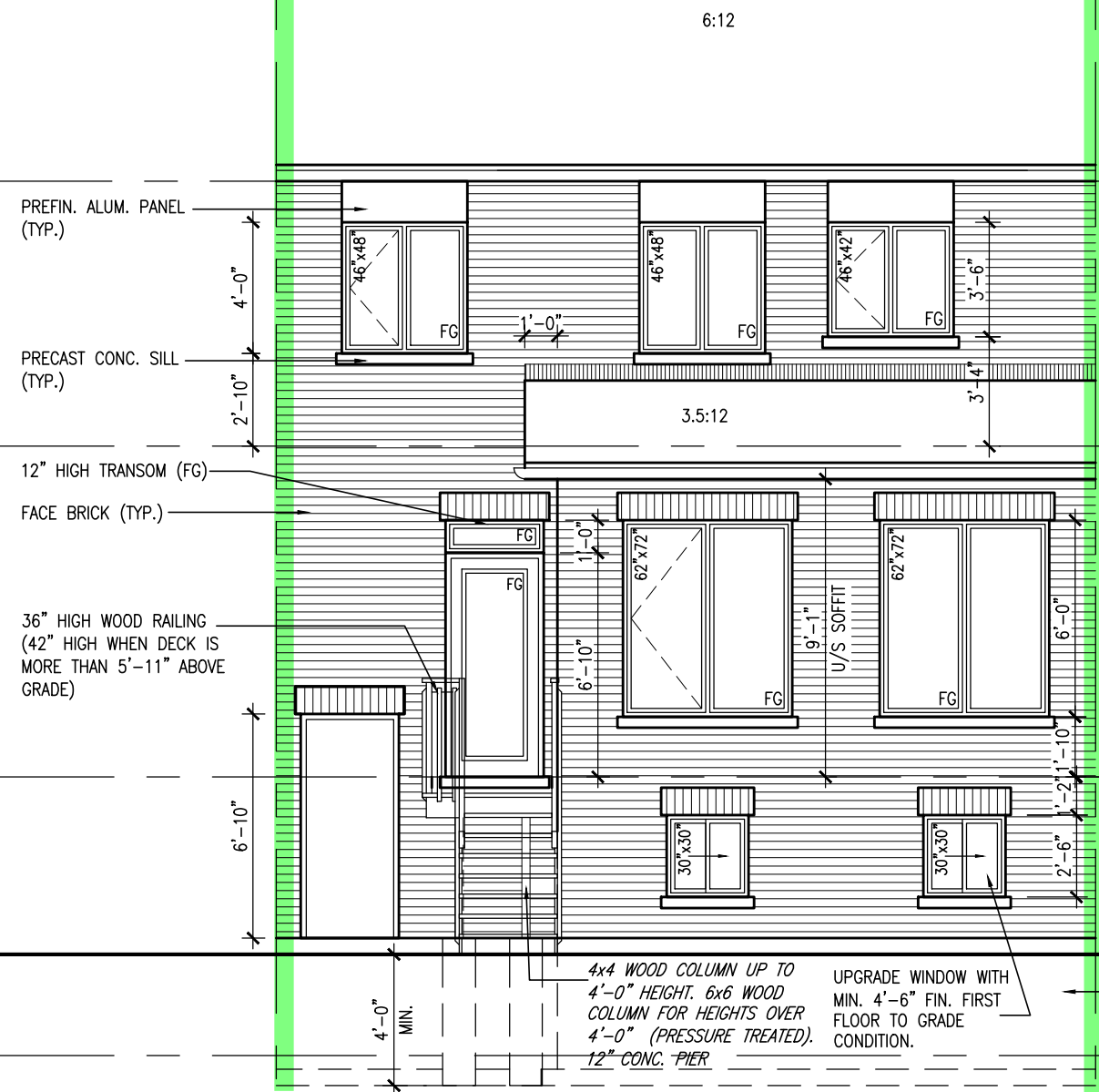
1846 SF

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 2
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



REAR ELEVATION ELEV. 2
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
8	.	.	.	qualification information		
7	.	.	.			
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	24488	
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name	BCIN	
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information	42658	
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	VA3 Design Inc.		
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW			
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW			
no.	description	date	by			

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
2016-07
drawn by
AF
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-4
drawing no.
A7b

IVY-4
ENERGY STAR/PANEL

IVY 4

project no.
16015

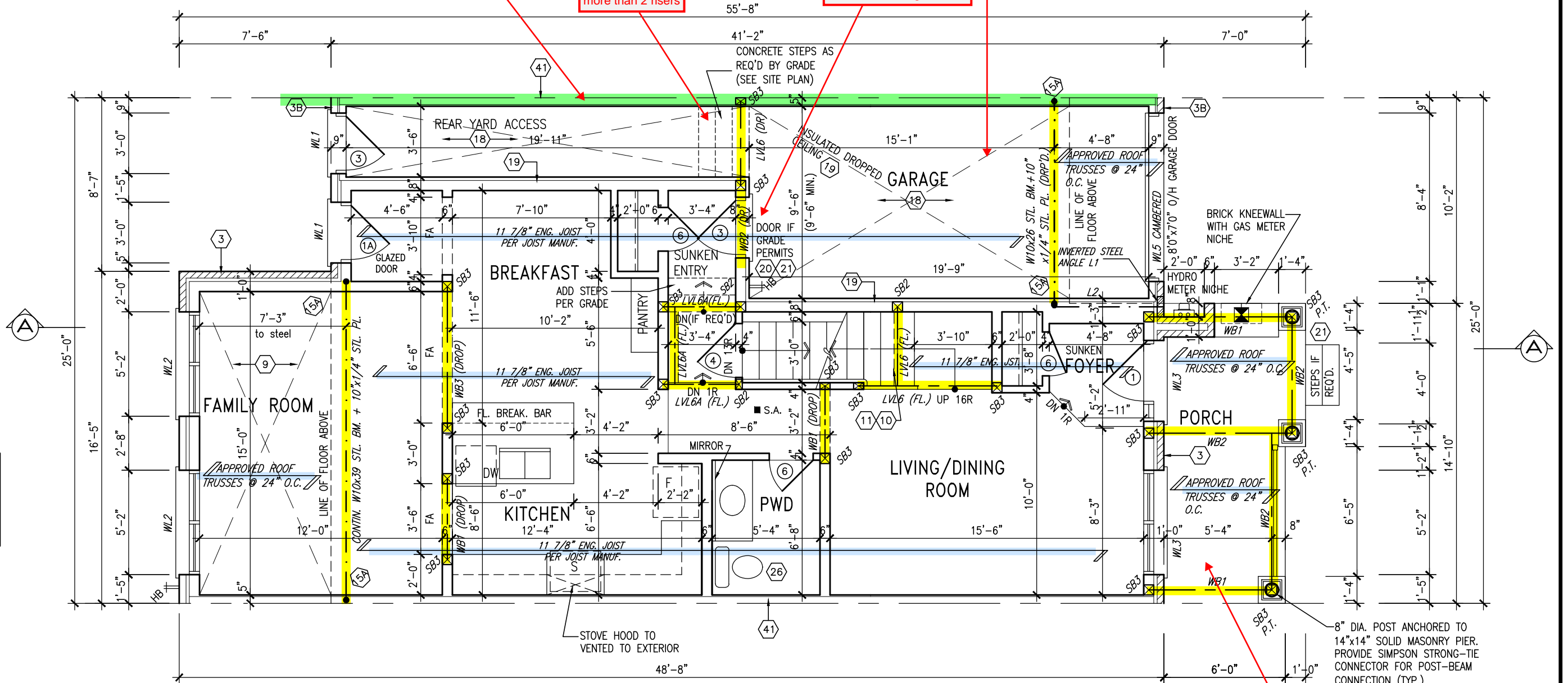
drawing no.
A7b

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

HANDRAIL
Required for
interior stairs with
more than 2 risers

GARAGE DOOR
Requires weatherstripping
and a self closing device

NOTE 2: BALCONY OVER PORCH
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE



SUPPORTED STEEL
ANGLE UP TO
11'-7". OTHERWISE
TO BE REVIEWED BY
ENGINEER.

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL

BUILDING: REVIEWED		APR 18, 2017	
SCOTT SHERRIFFS		DATE	
PLANS EXAMINER			
<p>Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton</p>			

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	registration information	
7	.	.	.		
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	2448
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name	BC
4	ISSUED FOR PRICING.	DEC. 21/16	GW	registration information	
3	REVISED. ADD SUNKEN FOYER COND.	0CT 03/16	WT	VA3 Design Inc.	4265
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

INVERTED STEEL

INVERTED
3-1/2"x3-1/2"x1/4"
(90x90x6.0)
STEEL ANGLE

BRICK/
STONE
VENEER

SUPPORTED STEEL
— ANGLE UP TO 11'-7".
OTHERWISE TO BE
REVIEWED BY ENGINEER.



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name LECCO RIDGE DEV. INC.	municipality TOWN OF MILTON	project no. 16015
date 2016-07		drawing no. A2b
title GROUND FLOOR PLAN - ELEV. 3		
drawn by AF	checked by -	scale 3/16" = 1'-0"
file name 16015-IVY-4		
<small> GREC - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 4\16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM </small>		

IVY-4
ENERGY STAR/PANEL

IVY 4

6015

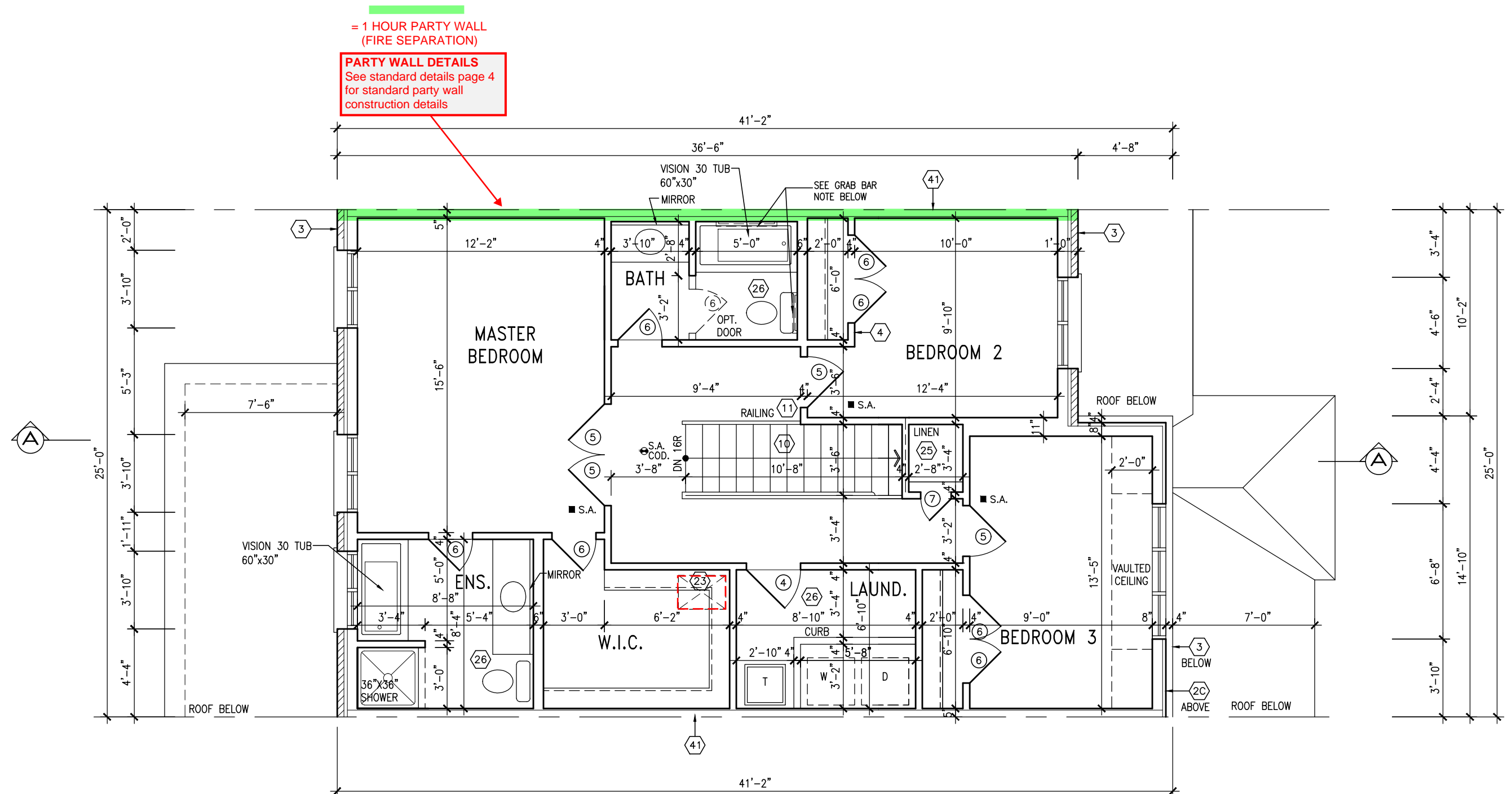
drawing no.

Vol. I

A2b1

1215

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



SECOND FLOOR PLAN – ELEV. 3

TOWNHOUSE MODELS

Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING

See standard details page 8
for required main bathroom
grab bar reinforcing

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

IVY-4
ENERGY STAR/PANEL

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

**TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL**

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	signature
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink 24488 BCIN
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name registration information
4	ISSUED FOR PRICING.	DEC. 21/16	GW	VA3 Design Inc. 42658
3	REVISED. ADDED SUNKEN FOYER COND.	0CT 03/16	WT	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings not to be scaled.
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	

ROOF PLAN
ELEV. 3

PREFIN. ALUM. PANEL
(TYP.)
4'-0"
PRECAST CONC. SILL
(TYP.)
2'-10"
12" HIGH TRANSOM (FG)
FACE BRICK (TYP.)
6'-10"

GALV. CORRUGATED MTL.
WINDOW WELL DRAINED TO
WEEPING TILE WHERE GRADE
REQ'D..

REAR ELEVATION
ELEV. 3

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

1"x6" STUCCO CLAD
FRIEZE BD. (TYP.)

18"x24" LOUVER WITH
4" STUCCO SURROUND ON
4" STUCCO SILL

6" STUCCO PROFILE
SURROUND (TYP.)

APPLIED STUCCO FINISH
(TYP.)

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

18" HIGH TRANSOM (FG)
8" DIA. ANCHORED TO
16"x16" SOLID MASONRY
PIER (TYP.)

STONE VENEER (TYP.)

POURED CONC. DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

FRONT ELEVATION
ELEV. 3

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
DATE
APR 18, 2017
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton

1854 SF

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

ASPHALT SHINGLES
(TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

PRECAST CONC.
HEADER (TYP.)

BRICK VENEER (TYP.)

DOUBLE PRECAST
CONC. SILL (TYP.)

PREMANUF. PANEL
BY WINDOW MANUF.

PRECAST CONC. ARCH.
WITH KEYSTONE (TYP.)

8'-4"
U/S SOFFIT

8'-0"x7'-0" O/H GARAGE DOOR
GD-2A-8

TOP OF SLAB

IVY-4
ENERGY STAR/PANEL

IVY 4

Greenpark.

project name
LECCO RIDGE DEV. INC.

municipality
TOWN OF MILTON

project no.
16015

date
2016-07

drawn by
AF

checked by

scale
3/16" = 1'-0"

FRONT & REAR ELEVATION '3'

file name
16015-IVY-4

drawing no.
A4c

GREG - H:\ARCHIVE\WORKING\2016\16015\GREY\UNITS\IVY\IVY 4\16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

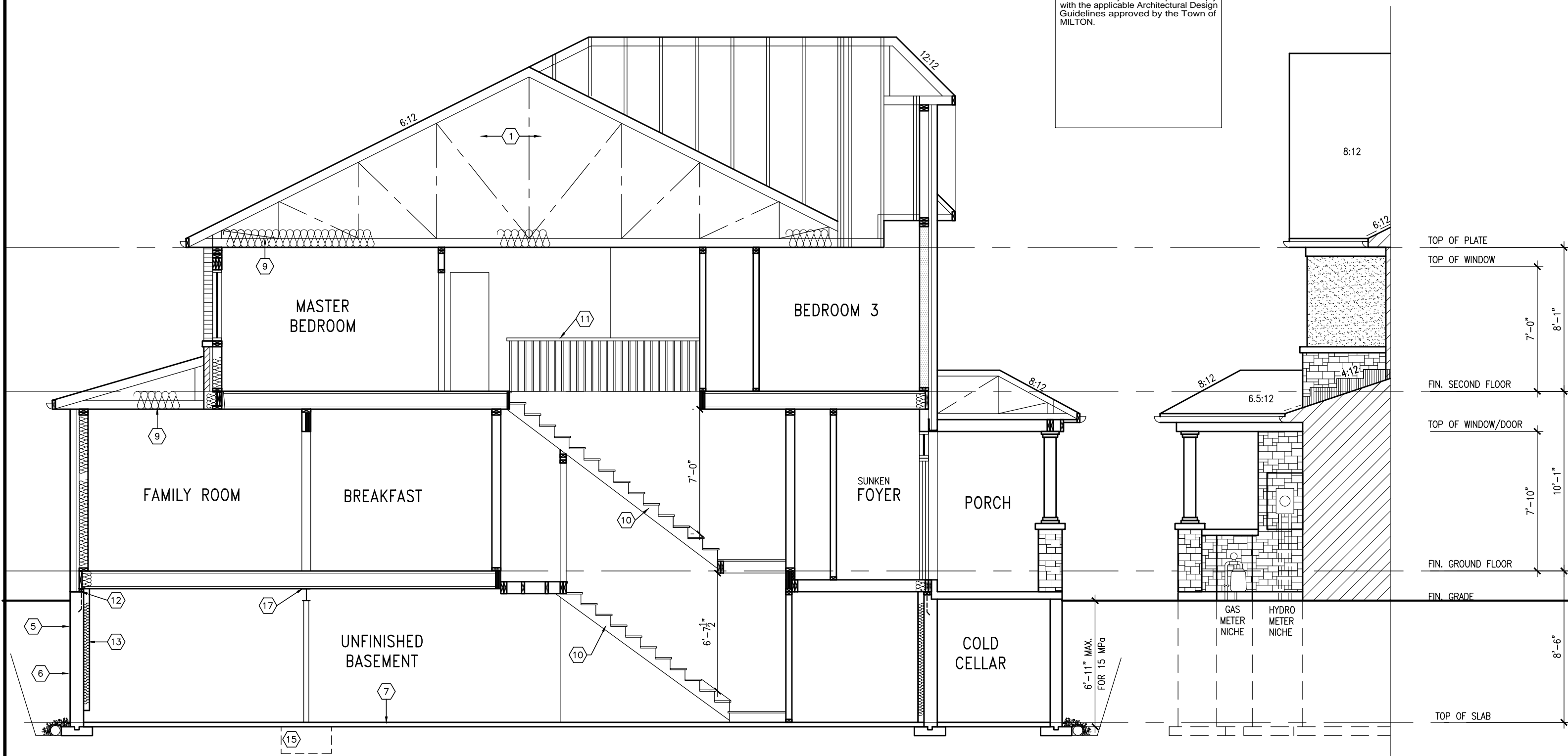
The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658
BCIN
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	
4	ISSUED FOR PRICING.	DEC. 21/16	GW	
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



SECTION A-A ELEV. 3

SECTION B

IVY-4
ENERGY STAR/PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	signature
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink 24488
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name registration information BCIN
4	ISSUED FOR PRICING.	DEC. 21/16	GW	VA3 Design Inc. 42658
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name LECCO RIDGE DEV. INC. municipality TOWN OF MILTON

date 2016-07
drawn by AF checked by 3/16" = 1'-0"

SECTION A-A ELEV. 3

IVY 4

-

project no. 16015

drawing no. A5c

file name 16015-IVY-4

GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 4\16015-IVY-4.dwg - Tue - Apr 11 2017 - 1:53 PM

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 4
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 4 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
DATE
APR 18, 2017
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton.

1846 SF

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

6:12

6:12

PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)
FACE BRICK (TYP.)

36" HIGH WOOD RAILING
(42" HIGH WHEN DECK IS
MORE THAN 5'-11" ABOVE
GRADE)

PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)
FACE BRICK (TYP.)

36" HIGH WOOD RAILING
(42" HIGH WHEN DECK IS
MORE THAN 5'-11" ABOVE
GRADE)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF WINDOW/DOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT. 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED).
12" CONC. PIER

UPGRADE WINDOW WITH
MIN. 4'-6" FIN. FIRST
FLOOR TO GRADE
CONDITION.

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

PRECAST
CONCRETE
STEPS

REFER TO PRECAST
MANUF. FOR
SUPPORT DETAILS

UPGRADE WINDOW WITH
MIN. 4'-6" FIN. FIRST
FLOOR TO GRADE
CONDITION.

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

REAR ELEVATION ELEV. 3
DECK CONDITION (8R OR MORE)

REAR ELEVATION ELEV. 3
DECK CONDITION (7R MAX.)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.		
6	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	Richard Vink	24488
5	ISSUED FOR PERMIT.	MAR. 01/17	GW	name registration information	BCIN
4	ISSUED FOR PRICING.	DEC. 21/16	GW	VA3 Design Inc.	42658
3	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT		
2	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW		
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW		
no.	description	date	by		

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC.

municipality
TOWN OF MILTON

IVY 4

project no.
16015

date
2016-07

drawn by
AF

checked by
3/16" = 1'-0"

scale
16015-IVY-4

drawing no.
A7c