1883 SF.

STRIP FOOTINGS – FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa. NATIVE SOIL	90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5–8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)	+ 2-2"x8" SPR. No.2
WL2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)	+ 2-2"x8" SPR. No.2
WL3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+ 2-2"x10" SPR. No.2
WL4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)	+ 2-2"x12" SPR. No.2
WL5	=6" x 4" x 3/8"L (150x100x10.0L)	+ 2-2"x12" SPR. No.2
WL6	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+ 2-2"x12" SPR. No.2
WL7	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+ 3-2"x12" SPR. No.2
WL8	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+ 3-2"x10" SPR. No.2
WL9	=6" x 4" x 3/8"L (150x100x10.0L)	+ 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1	=2-2"x8" (2-38x184) SPR. No.2
WB2	=3-2"x8" (3-38x184) SPR. No.2
WB3	=2-2"x10" (2-38x235) SPR. No.2
WB4	=3-2"x10" (3-38x235) SPR. No.2
WB5	=2-2"x12" (2-38x286) SPR. No.2
WB6	=3-2"x12" (3-38x286) SPR. No.2
WB7	=5-2"x12" (5-38x286) SPR. No.2
WB11	=4-2"x10" (4-38x235) SPR. No.2
WB12	=4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	=1-1 3/4"x7 1/4" (1-45x184)
LVL1	=2-1 3/4"x7 1/4" (2-45x184)
LVL2	=3-1 3/4"x7 1/4" (3-45x184)
LVL3	=4-1 3/4"x7 1/4" (4-45x184)
LVL4A	=1-1 3/4"x9 1/2" (1-45x240)
LVL4	=2-1 3/4"x9 1/2" (2-45x240)
LVL5	=3-1 3/4"x9 1/2" (3-45x240)
LVL5A	=4-1 3/4"x9 1/2" (4-45x240)
LVL6A	=1-1 3/4"x11 7/8" (1-45x300)
LVL6	=2-1 3/4"x11 7/8" (2-45x300)
LVL7	=3-1 3/4"x11 7/8" (3-45x300)
LVL8	=2-1 3/4"x14" (2-45x356)
LVL9	=3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)
L2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)
L3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)
L4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)
L5	=6" x 4" x 3/8"L (150x100x10.0L)
L6	=7" x 4" x 3/8"L (180x100x10.0L)

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"–7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

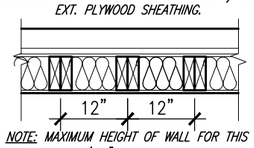
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

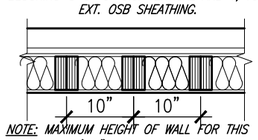
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

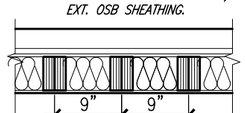
2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'–9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'–10"	6'–8"	8'–0"	INSULATED ENTRANCE DOOR
1a	2'–8"	6'–8"	8'–0"	INSULATED FRONT DOORS
2	2'–8"	6'–8"	8'–0"	WOOD & GLASS DOOR
3	2'–8"	6'–8"	8'–0"	EXTERIOR SLAB DOOR
4	2'–8"	6'–8"	8'–0"	INTERIOR SLAB DOOR
5	2'–6"	6'–8"	8'–0"	INTERIOR SLAB DOOR
6	2'–2"	6'–8"	8'–0"	INTERIOR SLAB DOOR
7	1'–6"	6'–8"	8'–0"	INTERIOR SLAB DOOR

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 3 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS — APR 18, 2017
PLANS EXAMINER — DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relives the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

STRUDET INC.
FOR STRUCTURE ONLY
REGISTERED PROFESSIONAL ENGINEER — R. MARINKOVIC — PROVINCE OF ONTARIO

TOWN OF MILTON
PLANNING AND DEVELOPMENT
ZONE
ZONING: **APPROVED**
Matthew Seymour — APR 25, 2017
ZONING OFFICER — DATE

ESCC MODEL
ENERGY STAR– V 12.7

UNINSULATED OPENINGS (PER OBC. SB–12,3.1.1.(7)

IVY 3 AND ELEVATION 1	ENERGY EFFICIENCY – ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	452.83 S.F.	83.92 S.F.	18.53 %
LEFT SIDE	936.15 S.F.	3.33 S.F.	0.36 %
RIGHT SIDE	936.15 S.F.	0.0 S.F.	0.00 %
REAR	452.83 S.F.	113.91 S.F.	25.16 %
TOTAL SQ. FT.	2777.96 S.F.	201.16 S.F.	7.24 %
TOTAL SQ. M.	258.08 S.M.	18.69 S.M.	7.24 %

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	872 SF
SECOND FLOOR AREA	1008 SF
TOTAL FLOOR AREA	**1880 SF** (174.66 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	3 SF
ADD TOTAL OPEN AREAS	+3 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	**1883 SF** (174.93 m2)
GROUND FLOOR COVERAGE	872 SF
GARAGE COVERAGE/AREA	315 SF
PORCH COVERAGE/AREA	96 SF
COVERAGE W/ PORCH	**1283 SF** (119.19 m2)
COVERAGE W/O PORCH	**1187 SF** (110.28 m2)

UNINSULATED OPENINGS (PER OBC. SB–12,3.1.1.(7)

IVY 3 AND ELEVATION 2	ENERGY EFFICIENCY – ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	482.50 S.F.	96.34 S.F.	19.97 %
LEFT SIDE	936.15 S.F.	3.33 S.F.	0.36 %
RIGHT SIDE	936.15 S.F.	0.0 S.F.	0.00 %
REAR	452.83 S.F.	113.91 S.F.	25.16 %
TOTAL SQ. FT.	2807.63 S.F.	213.58 S.F.	7.61 %
TOTAL SQ. M.	260.84 S.M.	19.84 S.M.	7.61 %

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	872 SF
SECOND FLOOR AREA	999 SF
TOTAL FLOOR AREA	**1871 SF** (173.82 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	3 SF
ADD TOTAL OPEN AREAS	+3 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	**1874 SF** (174.10 m2)
GROUND FLOOR COVERAGE	872 SF
GARAGE COVERAGE/AREA	315 SF
PORCH COVERAGE/AREA	104 SF
COVERAGE W/ PORCH	**1291 SF** (119.93 m2)
COVERAGE W/O PORCH	**1187 SF** (110.28 m2)

UNINSULATED OPENINGS (PER OBC. SB–12,3.1.1.(7)

IVY 3 AND ELEVATION 3	ENERGY EFFICIENCY – ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	452.83 S.F.	88.42 S.F.	19.53 %
LEFT SIDE	936.15 S.F.	3.33 S.F.	0.36 %
RIGHT SIDE	936.15 S.F.	0.0 S.F.	0.00 %
REAR	452.83 S.F.	113.91 S.F.	25.16 %
TOTAL SQ. FT.	2777.96 S.F.	205.66 S.F.	7.40 %
TOTAL SQ. M.	258.08 S.M.	19.11 S.M.	7.40 %

AREA CALCULATIONS	ELEV '3'
GROUND FLOOR AREA	872 SF
SECOND FLOOR AREA	999 SF
TOTAL FLOOR AREA	**1871 SF** (173.82 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	3 SF
ADD TOTAL OPEN AREAS	+3 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	**1874 SF** (174.10 m2)
GROUND FLOOR COVERAGE	872 SF
GARAGE COVERAGE/AREA	315 SF
PORCH COVERAGE/AREA	96 SF
COVERAGE W/ PORCH	**1283 SF** (119.19 m2)
COVERAGE W/O PORCH	**1187 SF** (110.28 m2)

IVY 3
ENERGY STAR/ PANEL

no.	description	date	by
18			
17			
16			
15			
14			
13			
12			
11			
10			
9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
8	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	CLOSET ADDED TO MASTER BEDROOM.	OCT. 27/16	GW
5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
4	2nd FL. WINDOW PANELS. STAIR SHIFT 4".	SEP 06/16	GW
3	REPLACE PATIO DR w/ WINDOW	AUG 26/16	GW
2	REVISED PLANS & ELEVATIONS.	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information: Richard Vink — 24488
name — signature — BCIN
registration information: VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

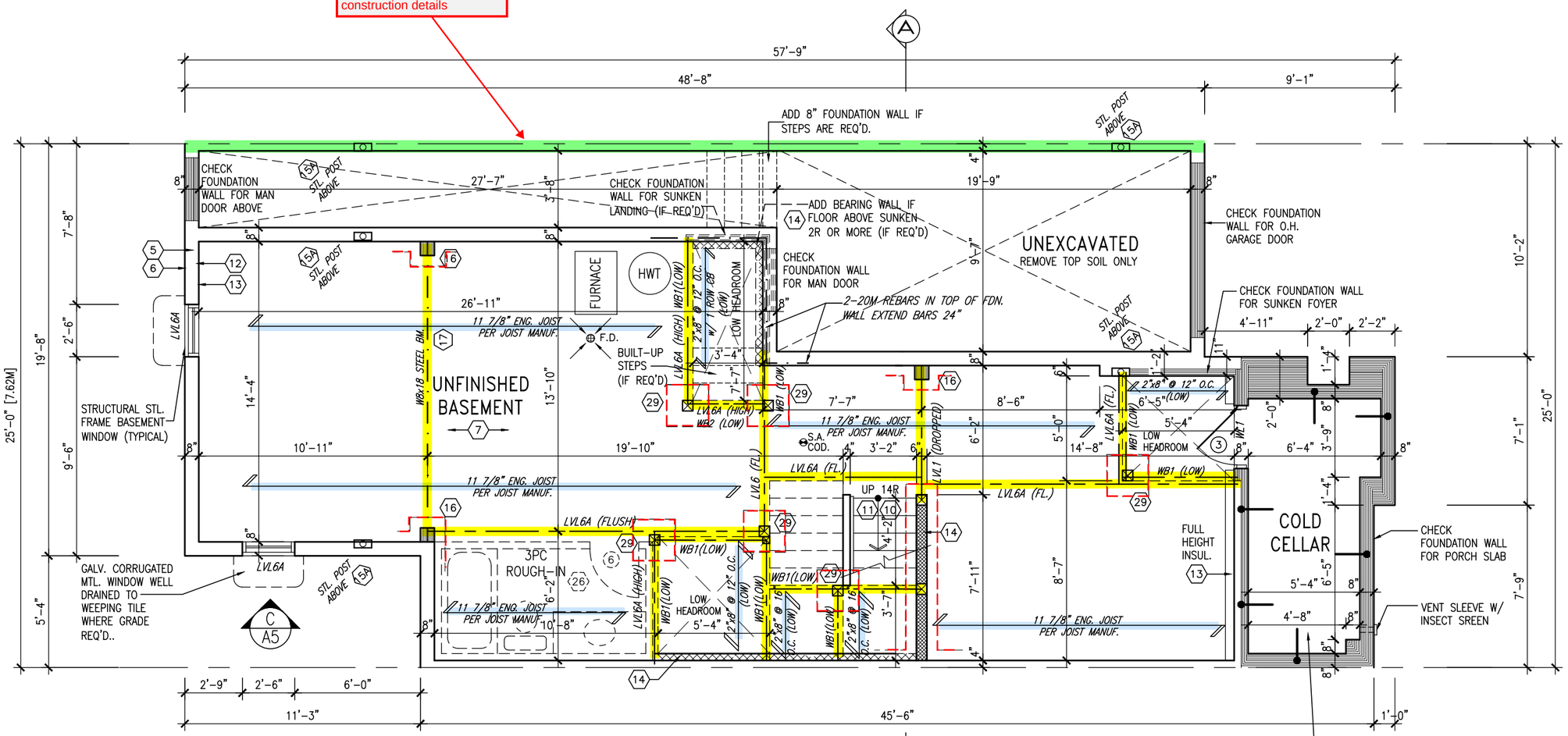
Greenpark™

project name: LECCO RIDGE DEV. INC. — municipality: TOWN OF MILTON — project no.: 16015
IVY 3 –
date: JULY 2016 — GENERAL NOTES & CHARTS — drawing no.: A0
drawn by: AF — checked by: – — scale: 3/16" = 1'-0" — file name: 16015-IVY-3
GREG – H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 3\16015-IVY-3.dwg – Mon – Apr 10 2017 – 4:12 PM

1883 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



BASEMENT PLAN – ELEV. 1

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 2/0 2017
John G. Williams Limited, Architect

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 3 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relives the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by
18			
17			
16			
15			
14			
13			
12			
11			
10			
9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW
8	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	CLOSET ADDED TO MASTER BEDROOM.	OCT. 27/16	GW
5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
4	2nd FL. WINDOW PANELS. STAIR SHIFT 4".	SEP 06/16	GW
3	REPLACE PATIO DR w/ WINDOW	AUG 26/16	GW
2	REVISED PLANS & ELEVATIONS.	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark™

IVY 3
–

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
BASEMENT PLAN – ELEV. 1
drawing no.: A1
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
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IVY 3
ENERGY STAR/ PANEL

1883 SF.

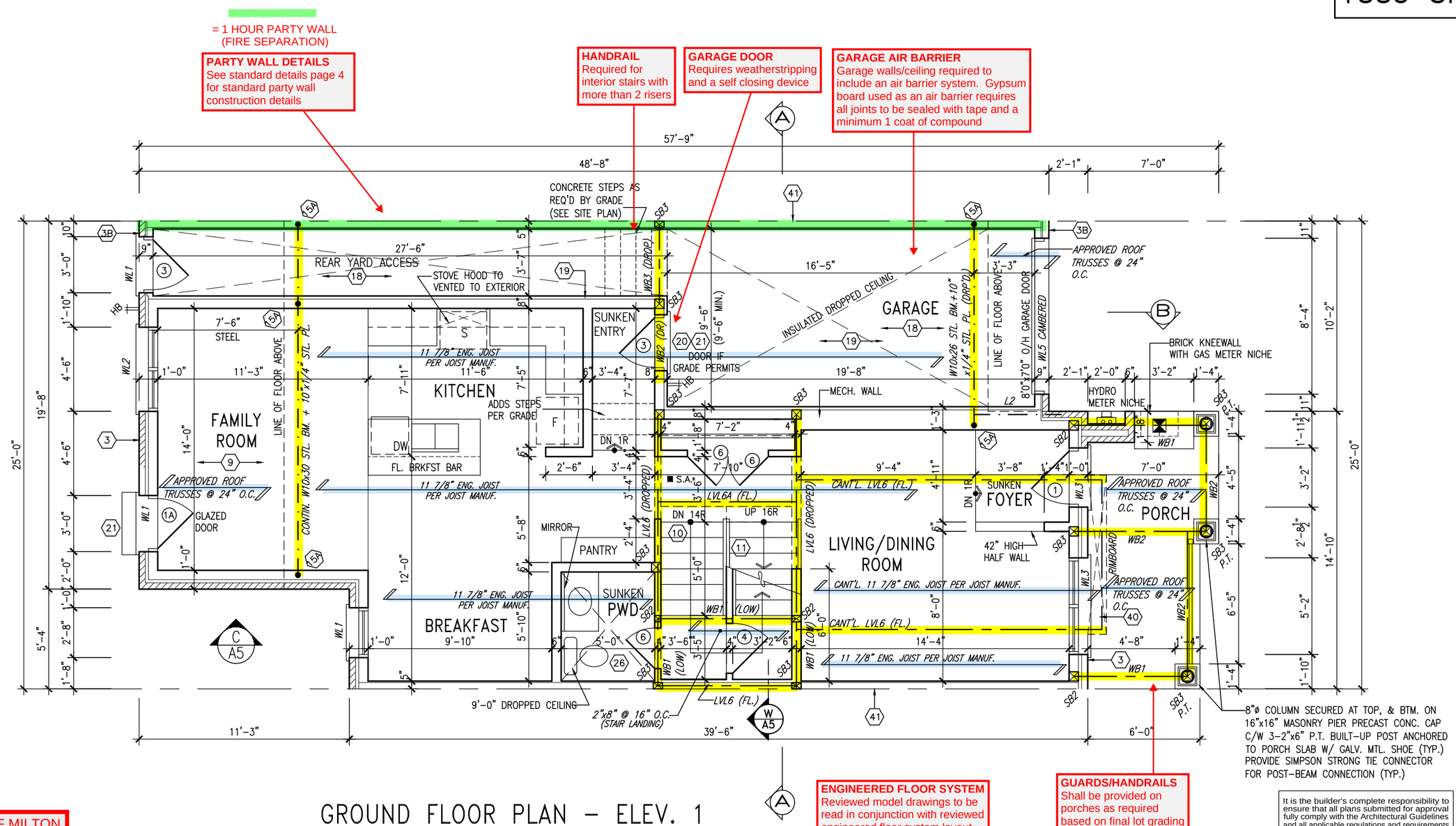
= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

HANDRAIL
Required for interior stairs with more than 2 risers

GARAGE DOOR
Requires weatherstripping and a self closing device

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound



GROUND FLOOR PLAN - ELEV. 1

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 3 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5.-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by
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17			
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Greenpark™

IVY 3
-

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
drawing: GROUND FLOOR PLAN - ELEV. 1
drawn by: AF
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
drawing no.: A2
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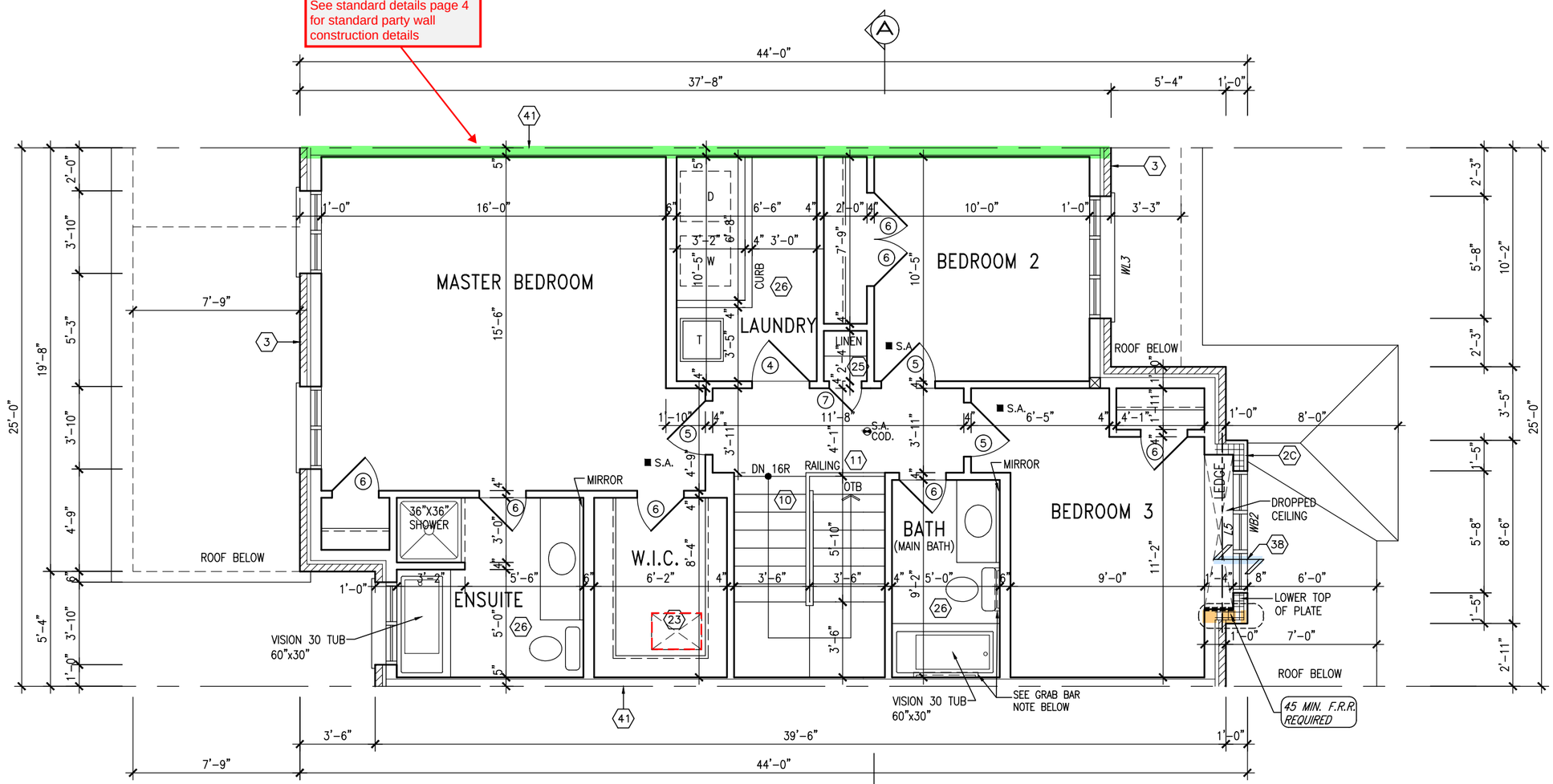
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

IVY 3
ENERGY STAR/ PANEL

1883 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



SECOND FLOOR PLAN – ELEV. 1

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

45 MIN FRR

45 MINUTE FIRE RATED WALL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE/PARTY WALL)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION for BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS) PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING (REFER TO OBC. DIV. B-9.10.14.5.(2) OR 9.10.15.5.(3))

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 3 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
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3	REPLACE PATIO DR w/ WINDOW	AUG 26/16	GW
2	REVISED PLANS & ELEVATIONS.	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW

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qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

IVY 3
–

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
SECOND FLOOR PLAN – ELEV. 1
drawing no.: A3
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
GREG – H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 3\16015-IVY-3.dwg – Mon – Apr 10 2017 – 4:12 PM

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IVY 3
ENERGY STAR/ PANEL

1883 SF.

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MAR 29, 2017
IVY 3
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
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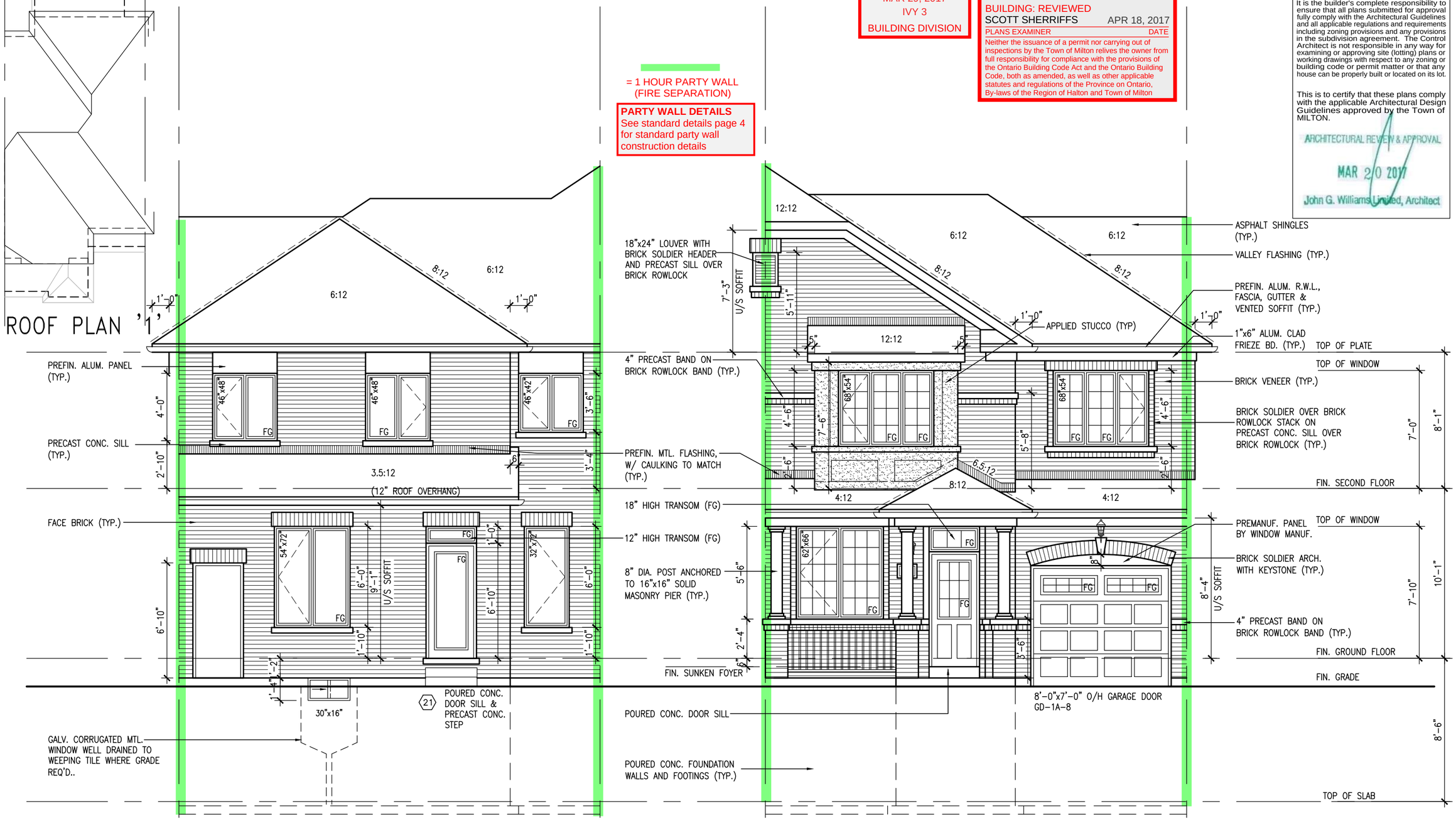
ROOF PLAN '1'

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



REAR ELEVATION
ELEV. 1

FRONT ELEVATION
ELEV. 1

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

IVY 3
ENERGY STAR/ PANEL

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

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IVY 3
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project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
FRONT & REAR ELEVATION
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
drawing no.: A4
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1883 SF.

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MAR 29, 2017
IVY 3
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PLANNING AND DEVELOPMENT
IVY 3 MODEL
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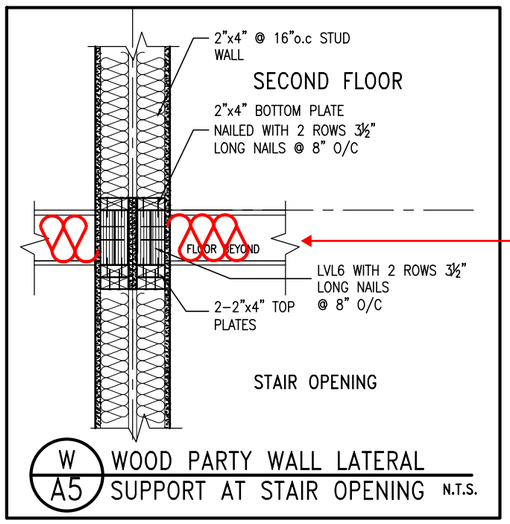
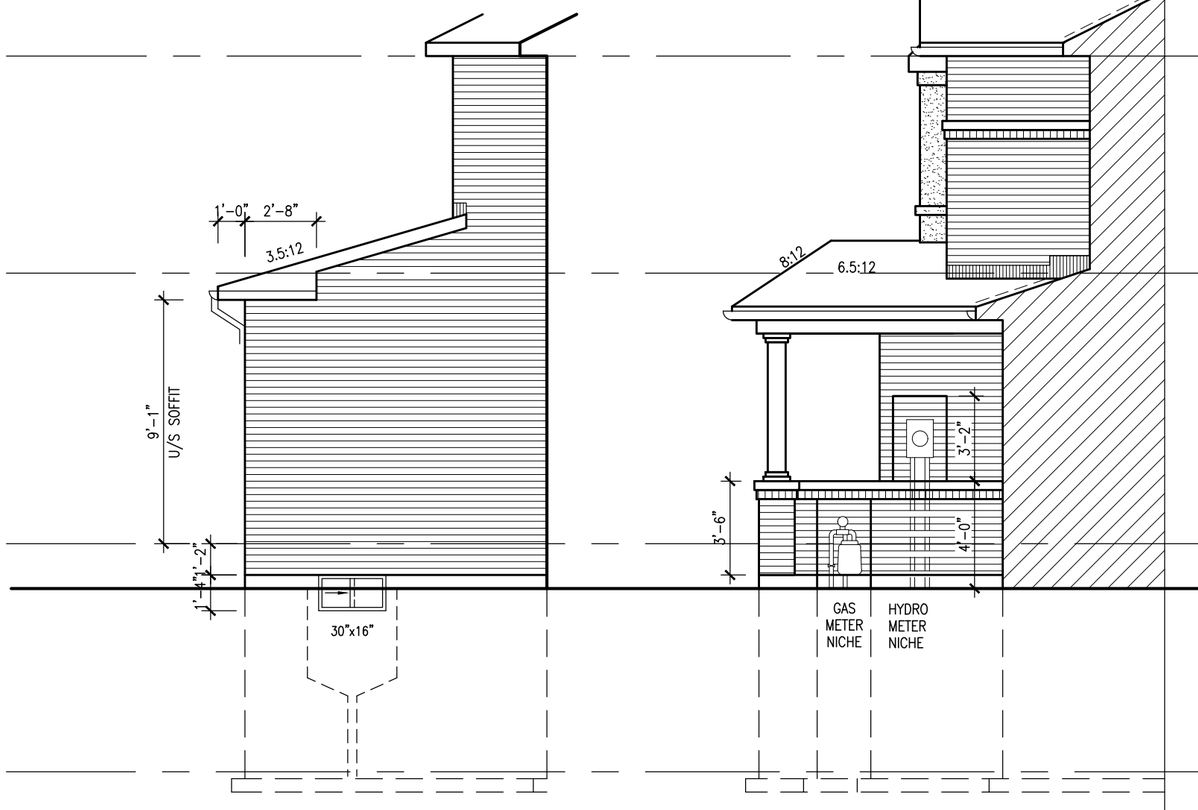
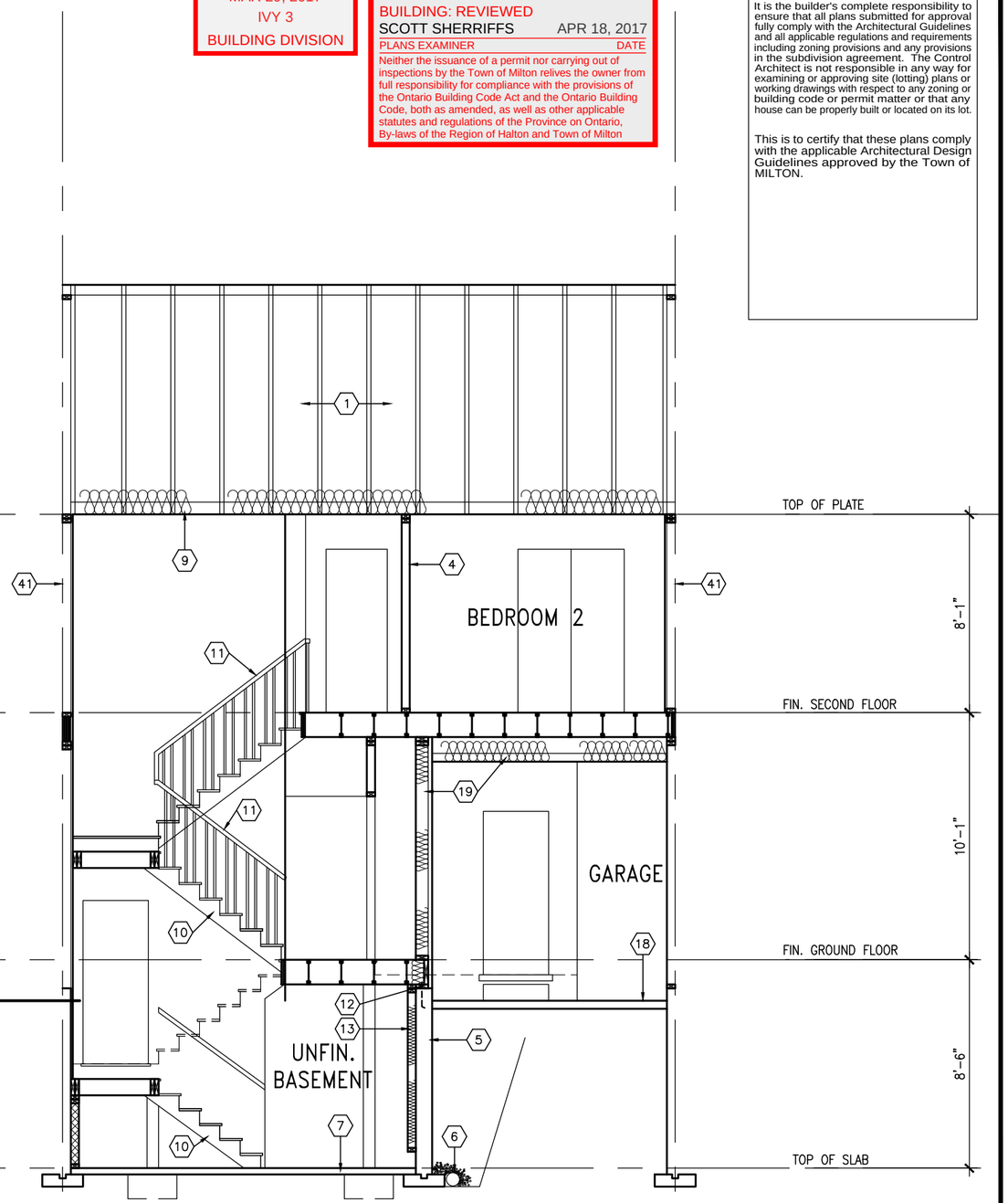


W/A5 WOOD PARTY WALL LATERAL SUPPORT AT STAIR OPENING N.T.S.

PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details





SIDE ELEV.

ALLOWABLE GLAZED OPENINGS
WALL AREA =152.73 SQ. FT.
LIMITING DISTANCE 1.5 M (10%)
GLAZING ALLOWED =15.27 SQ. FT.
GLAZING PROVIDED =2.44 SQ. FT. (GLASS AREA ONLY)

SECTION B

SECTION A-A ELEV. 1

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

IVY 3
ENERGY STAR/ PANEL

no.	description	date	by
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registration information VA3 Design Inc. 42658

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IVY 3
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project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
SECTION A-A ELEV. 1
drawing no.: A5
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
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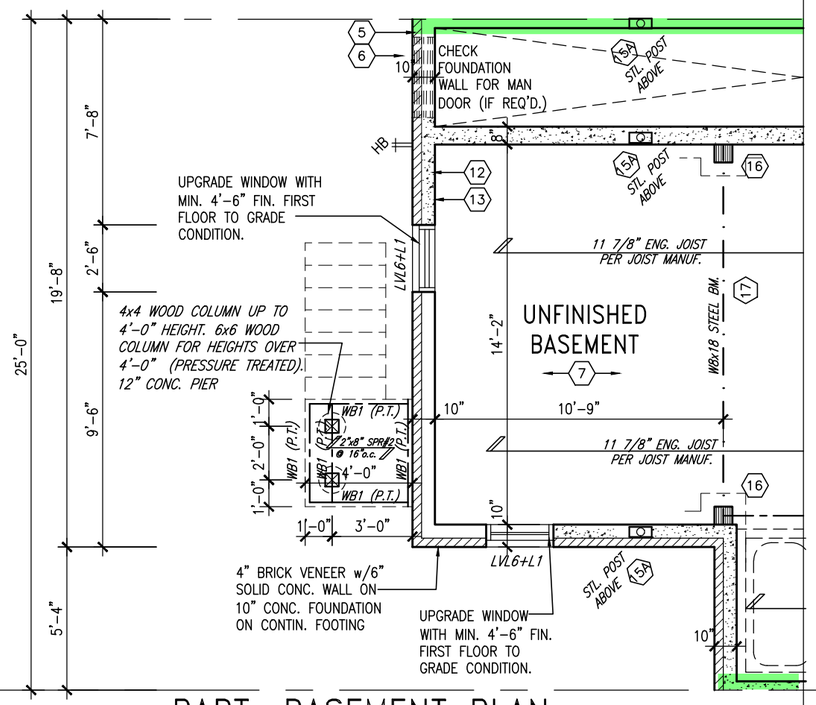
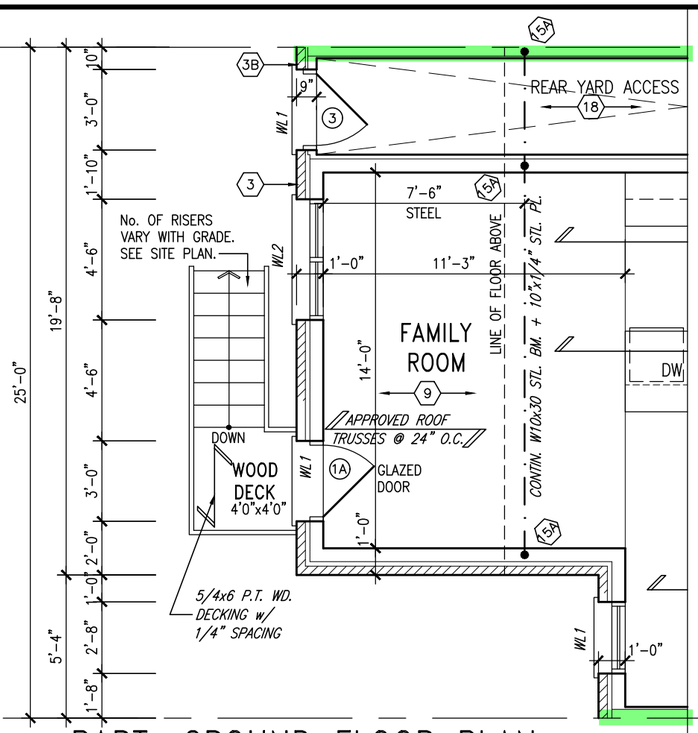


PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)

1883 SF.

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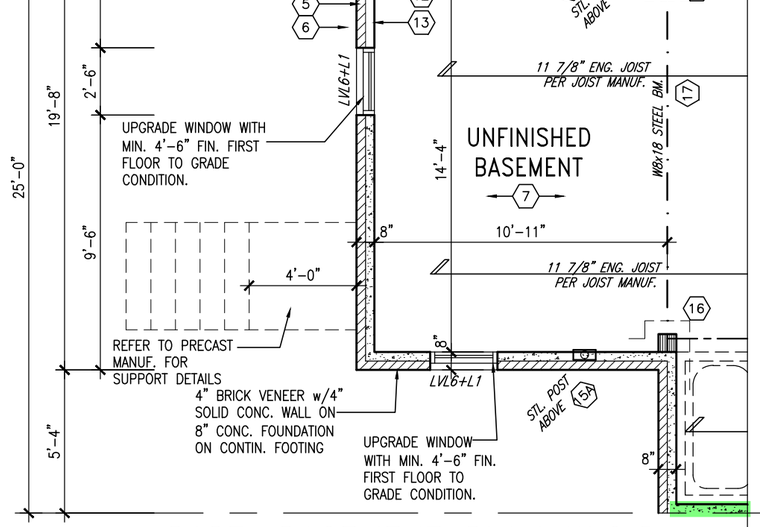
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL (FIRE SEPARATION)

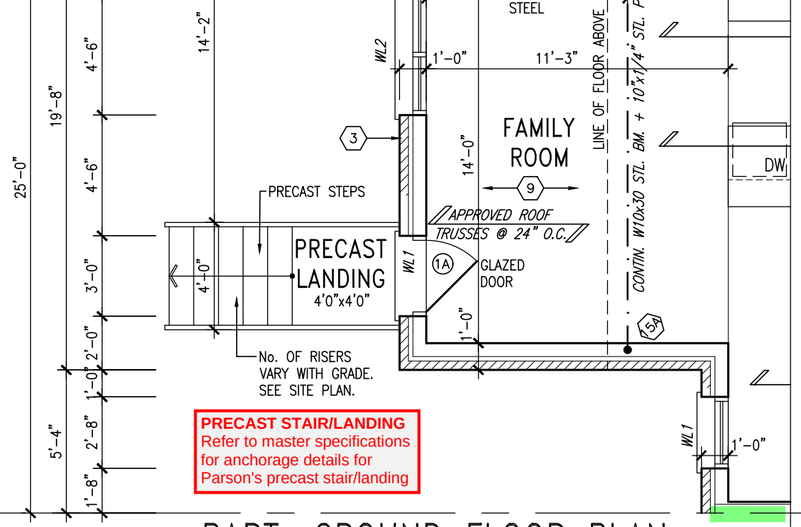
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details



PART. BASEMENT PLAN W.O.D
CONDITION (7R MAX.)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.



PART. GROUND FLOOR PLAN
W.O.D CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing

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TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 3 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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B. MARINKOVIC
PROVINCE OF ONTARIO
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IVY 3
–

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
PART. PLANS – DECK CONDITION
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
drawing no.: A6

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IVY 3
ENERGY STAR/ PANEL

1883 SF.

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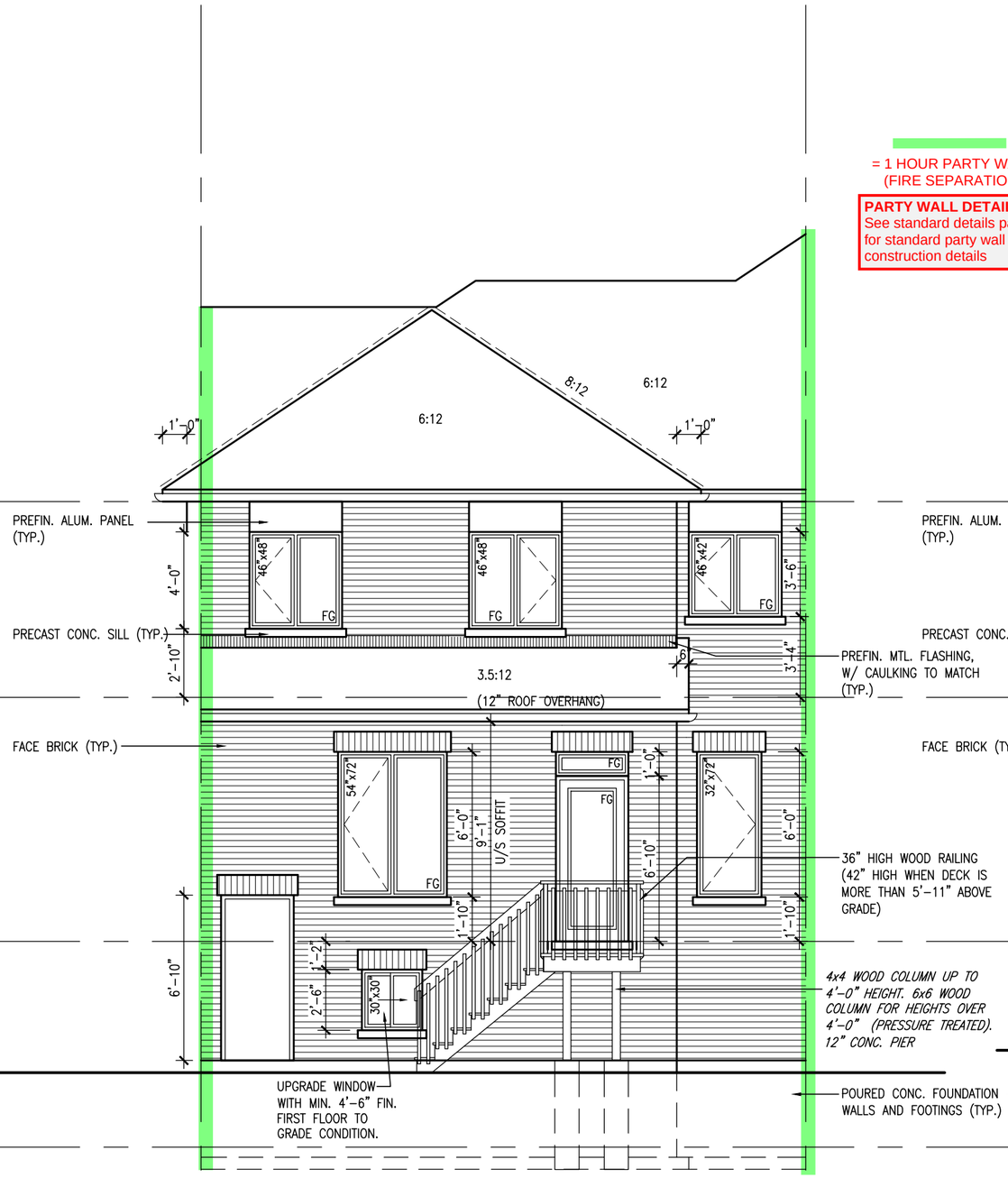
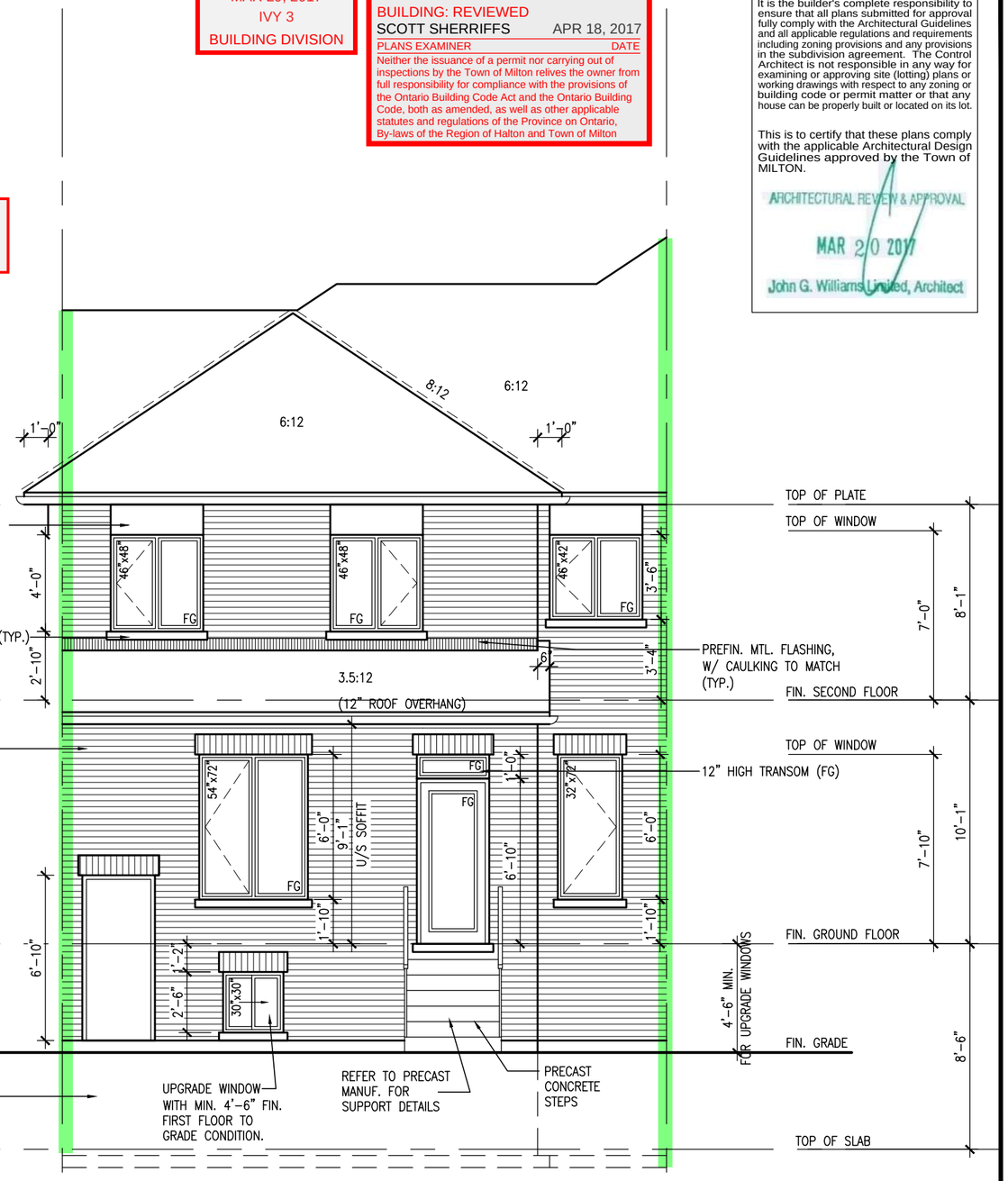


REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details



REAR ELEVATION ELEV. 1
DECK CONDITION (7R MAX.)

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project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
IVY 3 – project no. 16015
date: 2016-07
REAR ELEVATION ELEV. 1 – DECK CONDITION
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
drawing no.: A7
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1871 SF.

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(FIRE SEPARATION)

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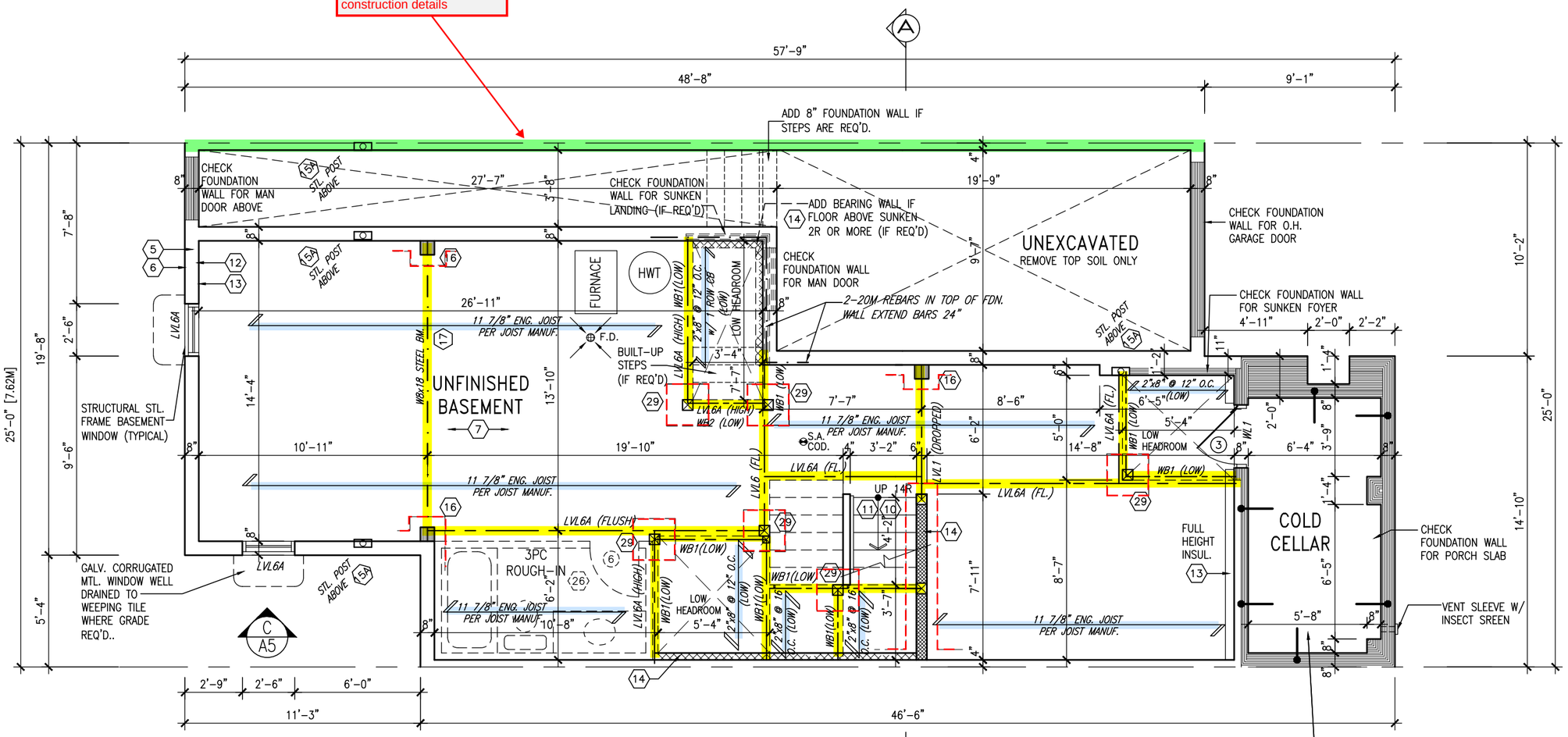

BASEMENT PLAN – ELEV. 2

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.

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PLANNING AND DEVELOPMENT
IVY 3 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by
18			
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6	CLOSET ADDED TO MASTER BEDROOM.	OCT. 27/16	GW
5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
4	2nd FL. WINDOW PANELS. STAIR SHIFT 4".	SEP 06/16	GW
3	REPLACE PATIO DR w/ WINDOW	AUG 26/16	GW
2	REVISED PLANS & ELEVATIONS.	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW

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qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark™

IVY 3
–

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
BASEMENT PLAN – ELEV. 2
drawing no.: A1a
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
GREG – H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 3\16015-IVY-3.dwg – Mon – Apr 10 2017 – 4:13 PM

IVY 3
ENERGY STAR/ PANEL

1871 SF.

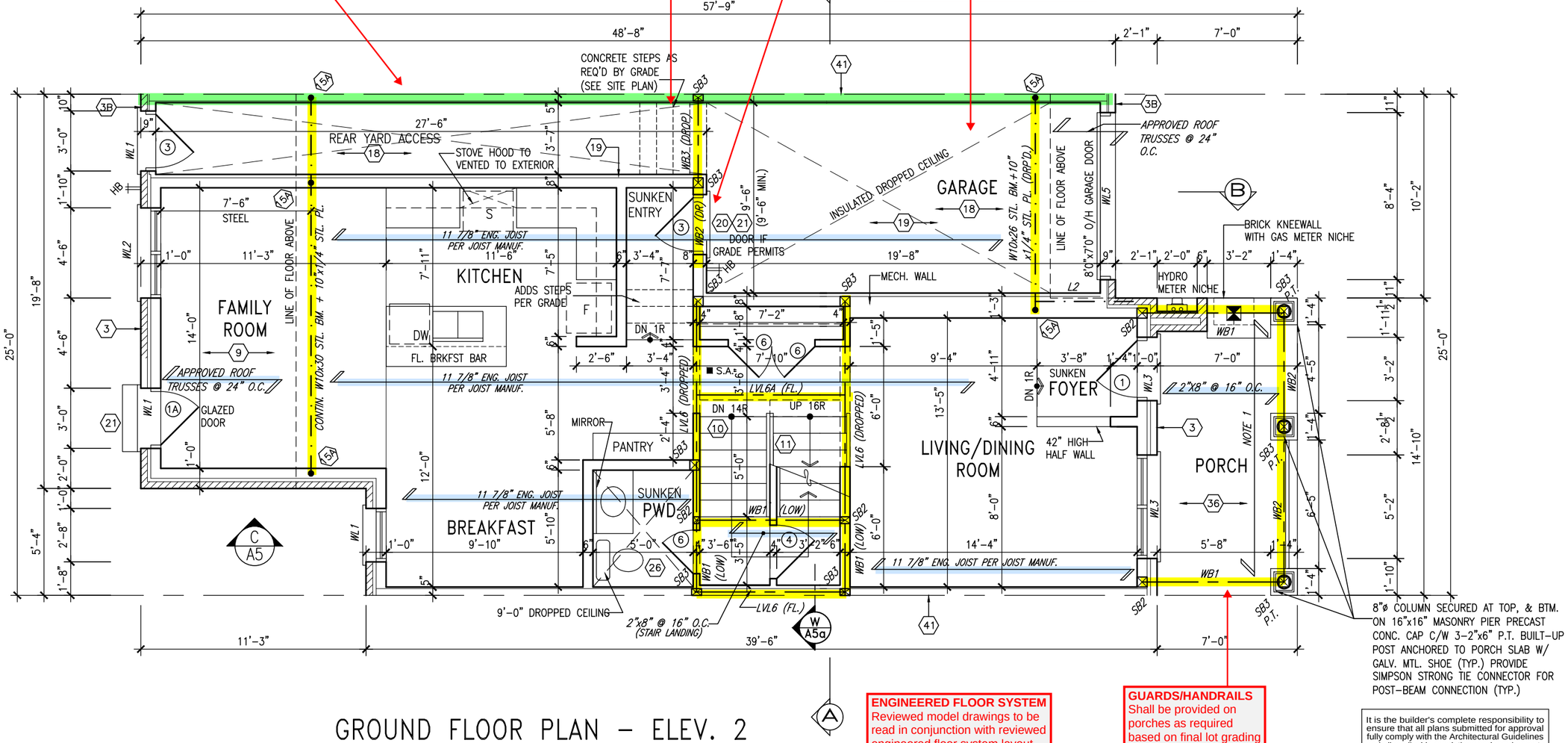
= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

HANDRAIL
Required for interior stairs with more than 2 risers

GARAGE DOOR
Requires weatherstripping and a self closing device

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound



GROUND FLOOR PLAN - ELEV. 2

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5.-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 3 MODEL
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SCOTT SHERRIFFS APR 18, 2017
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NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE SHEATHING + SINGLE PLY ROOF MEMBRANE (SLOPE TO DRAIN)

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ARCHITECTURAL REVIEW & APPROVAL
MAR 2/0 2017
John G. Williams Limited, Architect

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

IVY 3
ENERGY STAR/ PANEL

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registration information
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va3design.com

Greenpark™

project name	IVY 3
LECCO RIDGE DEV. INC.	
municipality	project no.
TOWN OF MILTON	16015
date	drawing no.
2016-07	A2a
drawn by	checked by
AF	-
scale	3/16" = 1'-0"
file name	16015-IVY-3

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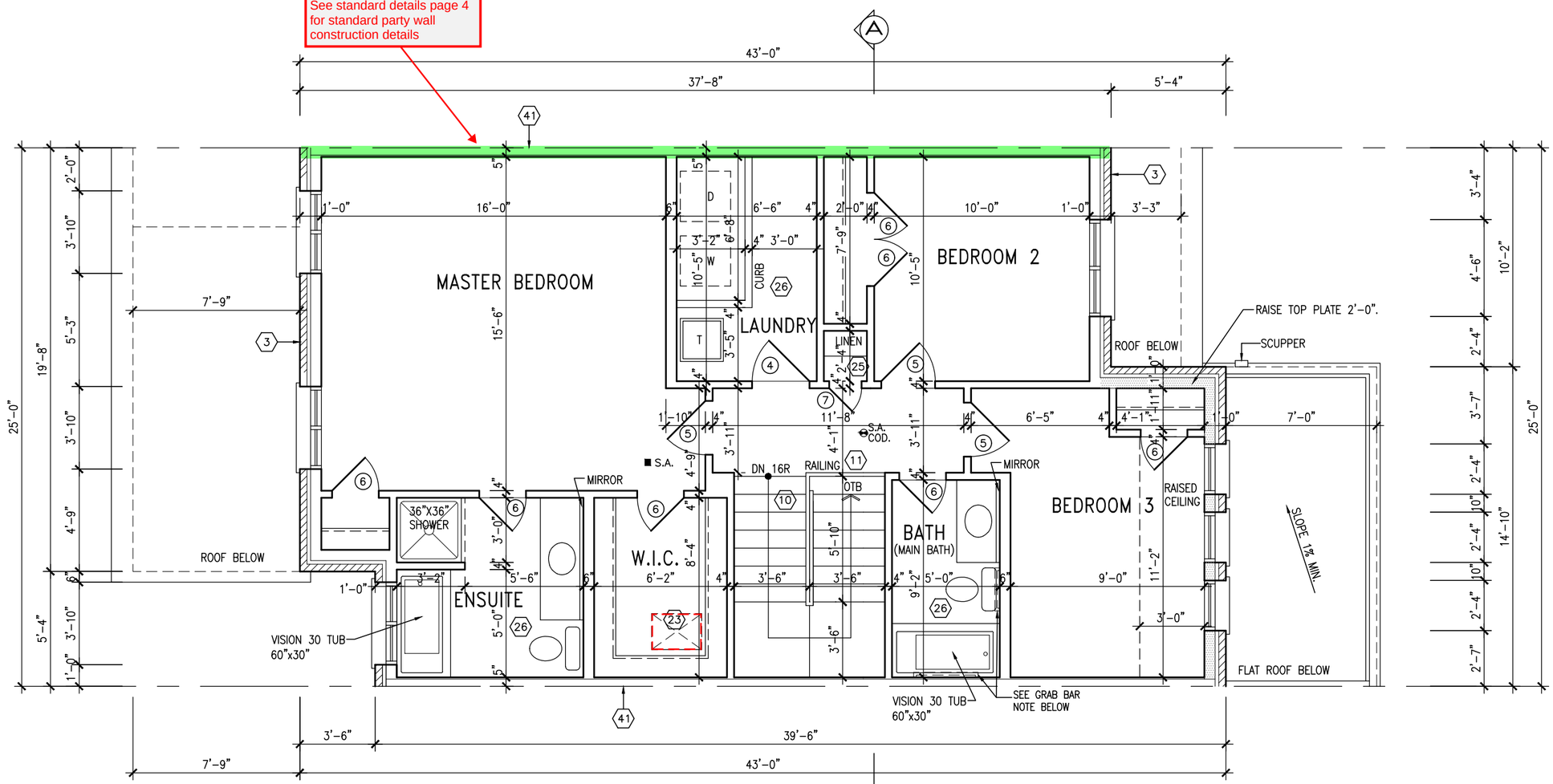
1871 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



SECOND FLOOR PLAN – ELEV. 2

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 3 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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registration information VA3 Design Inc. 42658

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Greenpark

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
IVY 3 – project no. 16015
date: 2016-07
SECOND FLOOR PLAN – ELEV. 2
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
drawing no. A3a
GREG – H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 3\16015-IVY-3.dwg – Mon – Apr 10 2017 – 4:13 PM

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MAR 20 2017
John G. Williams Limited, Architect

IVY 3
ENERGY STAR/ PANEL

1871 SF.

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MAR 20 2017
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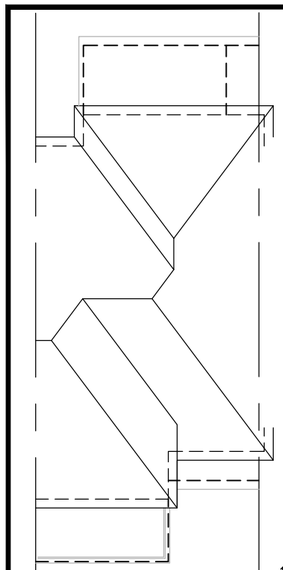
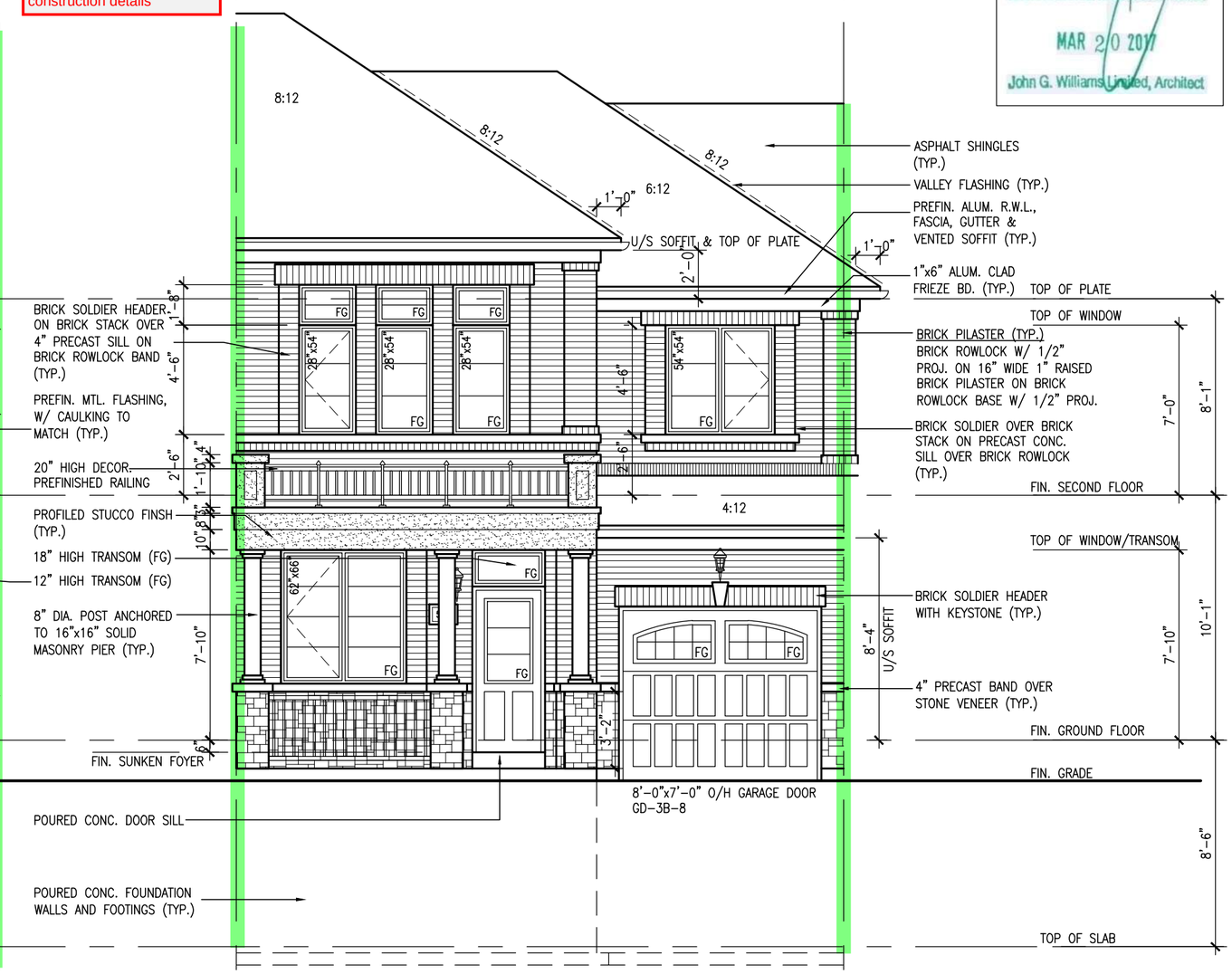
= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

ROOF PLAN 2



REAR ELEVATION
ELEV. 2



FRONT ELEVATION
ELEV. 2

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

IVY 3
ENERGY STAR/ PANEL

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

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name — registration information — BCIN
VA3 Design Inc. — 42658

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va3design.com

Greenpark™

IVY 3
–

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
FRONT & REAR ELEVATION
drawing no.: A4a
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
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1883 SF.

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TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 3 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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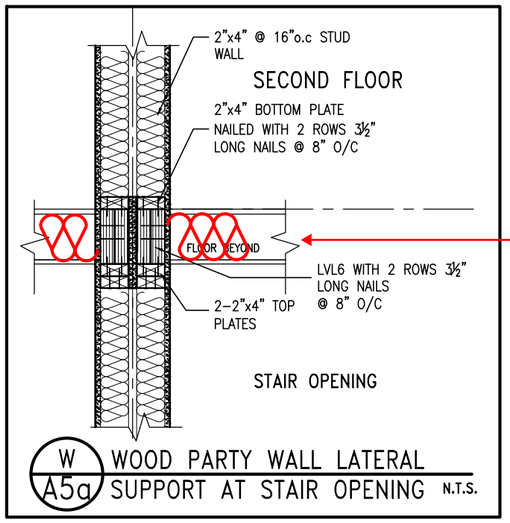
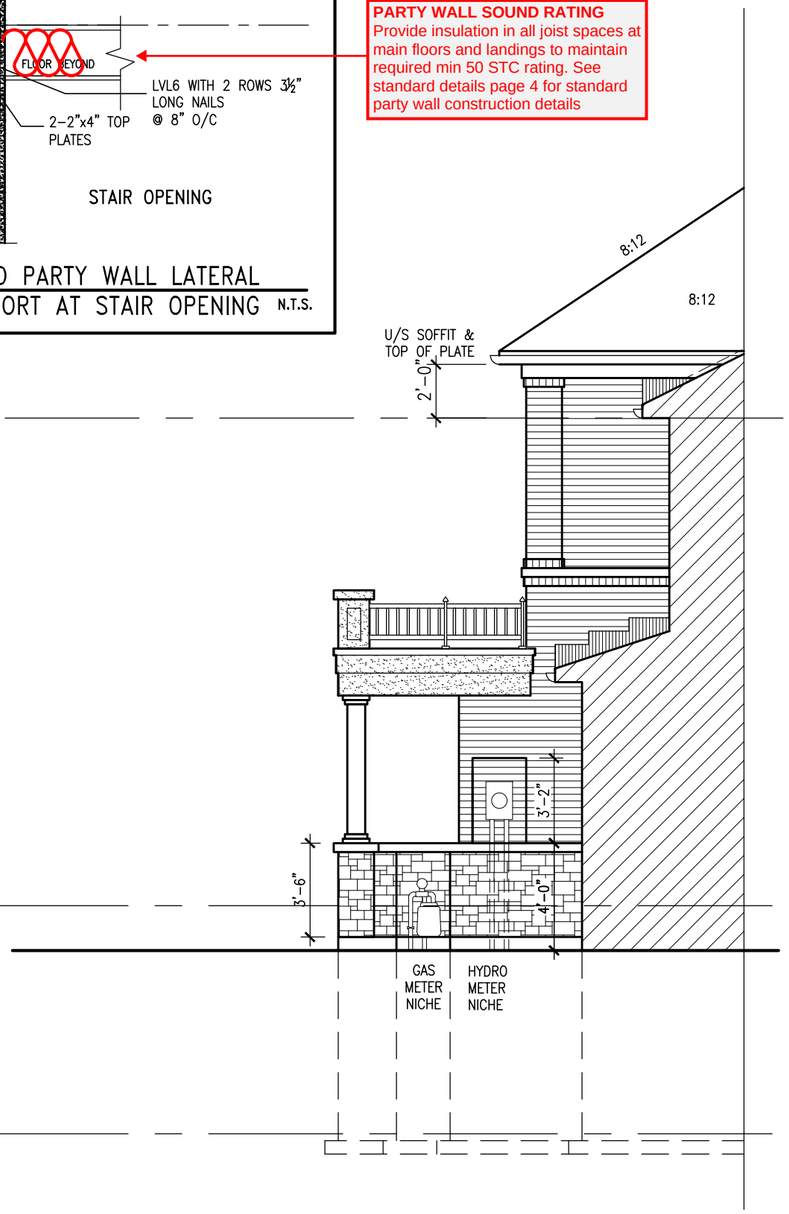
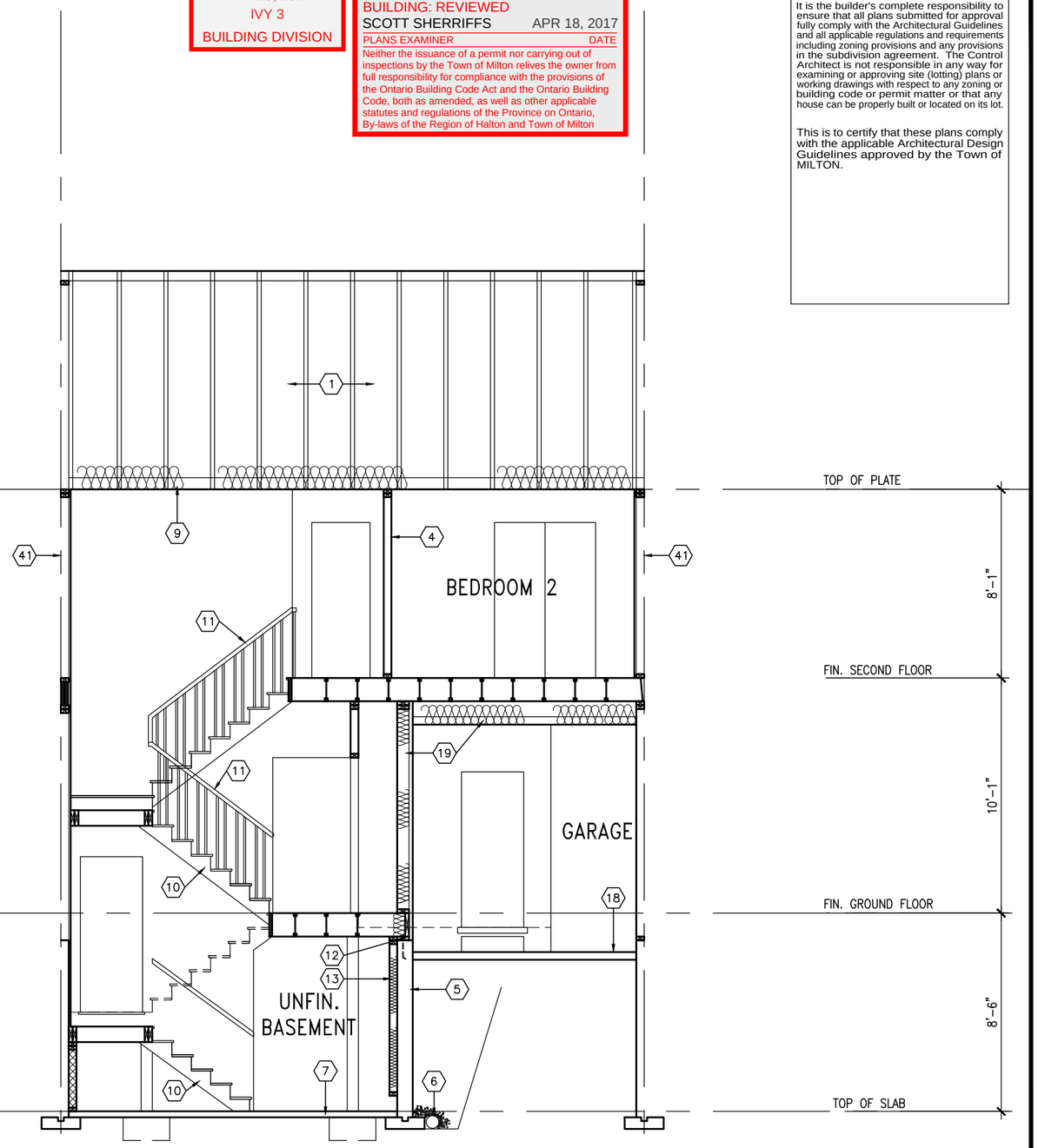


W / A5a WOOD PARTY WALL LATERAL SUPPORT AT STAIR OPENING N.T.S.

PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



SECTION B



SECTION A-A ELEV. 2

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

IVY 3
ENERGY STAR/ PANEL

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Greenpark™

project name	IVY 3
municipality	–
LECCO RIDGE DEV. INC.	TOWN OF MILTON
project no.	16015
date	2016-07
drawing	SECTION A-A ELEV. 2
drawn by	AF
checked by	–
scale	3/16" = 1'-0"
file name	16015-IVY-3
drawing no.	A5a

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TOWN OF MILTON
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MAR 20 2017
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(FIRE SEPARATION)

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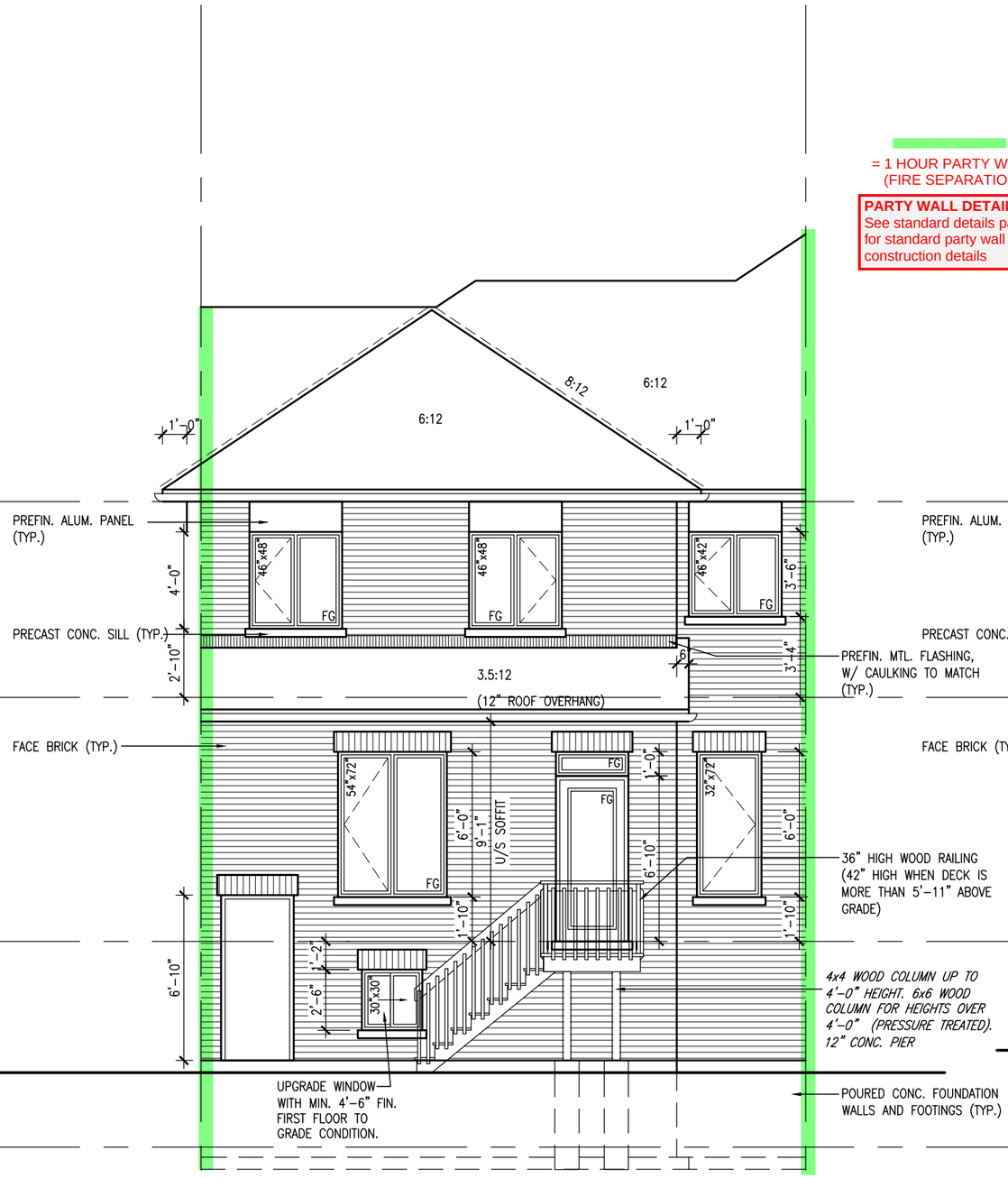
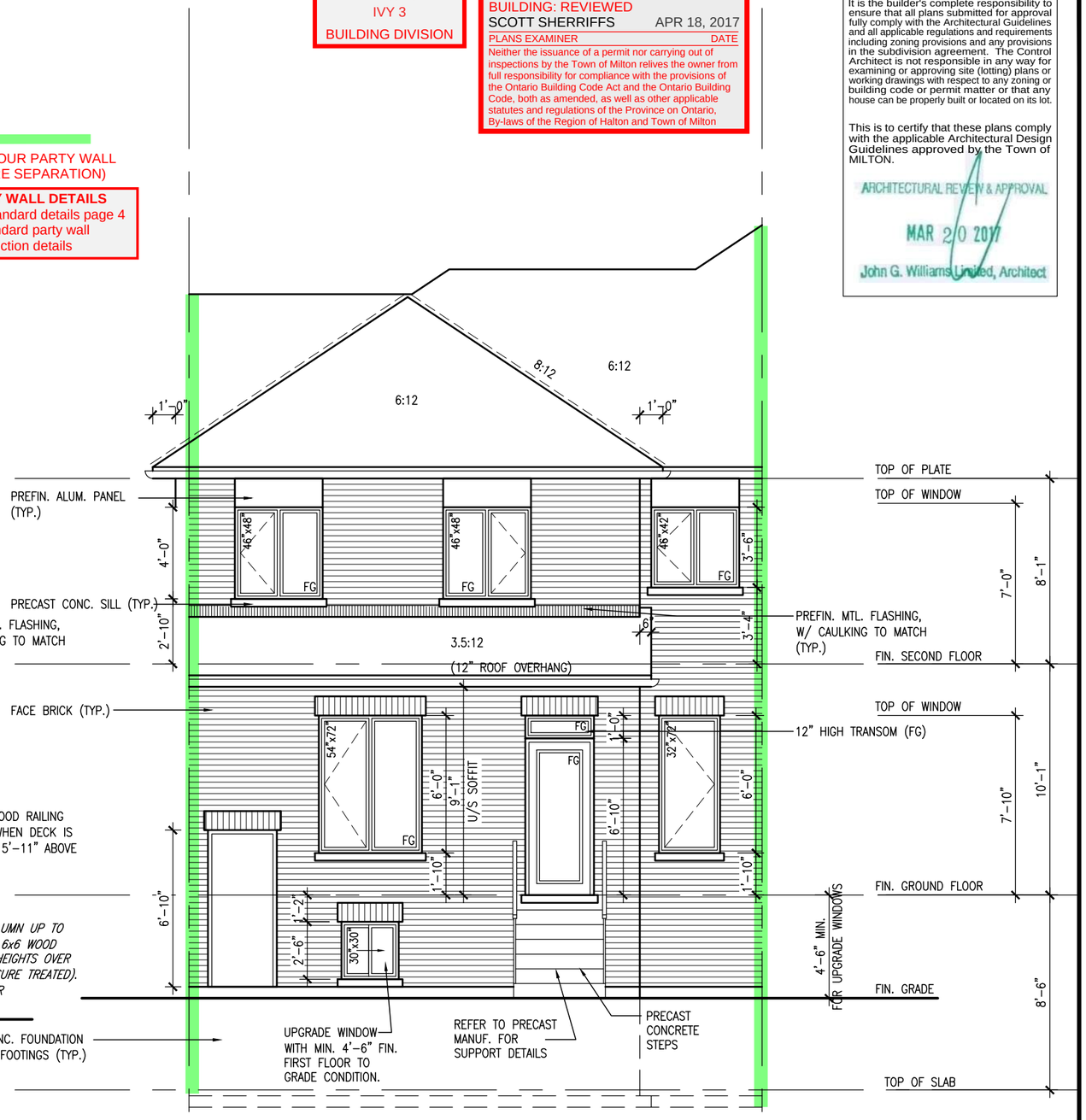


REAR ELEVATION ELEV. 2
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details



REAR ELEVATION ELEV. 2
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing

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ENERGY STAR/ PANEL

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Greenpark™

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
IVY 3 –
project no.: 16015
date: 2016-07
REAR ELEVATION ELEV. 2 – DECK CONDITION
drawing no.: A7a
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
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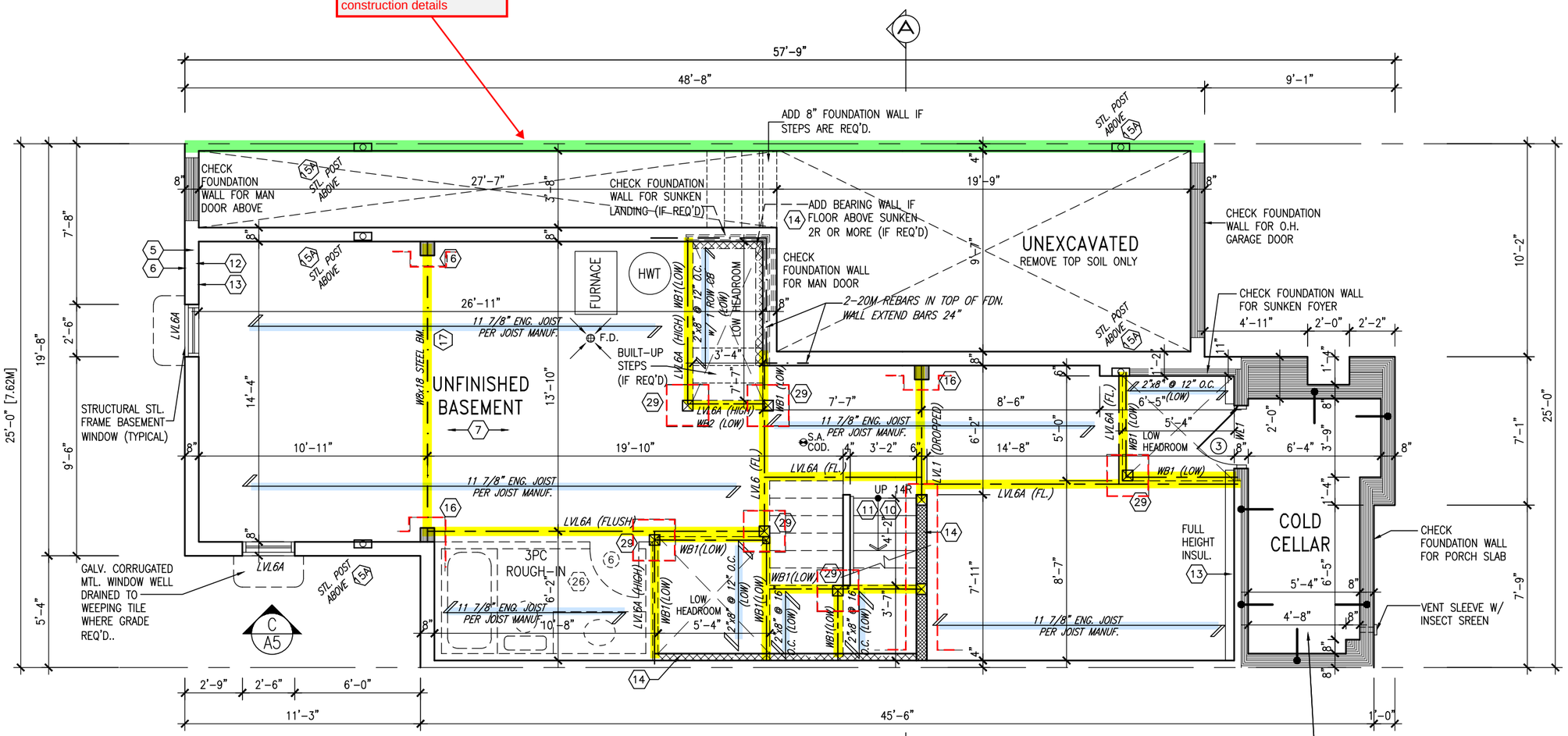

BASEMENT PLAN – ELEV. 3

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.

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TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 3 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 3
BUILDING DIVISION

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

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5	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
4	2nd FL. WINDOW PANELS. STAIR SHIFT 4".	SEP 06/16	GW
3	REPLACE PATIO DR w/ WINDOW	AUG 26/16	GW
2	REVISED PLANS & ELEVATIONS.	AUG 22/16	GW
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW

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qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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IVY 3
–

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
BASEMENT PLAN – ELEV. 3
drawing no.: A1b
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
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IVY 3
ENERGY STAR/ PANEL

1871 SF.

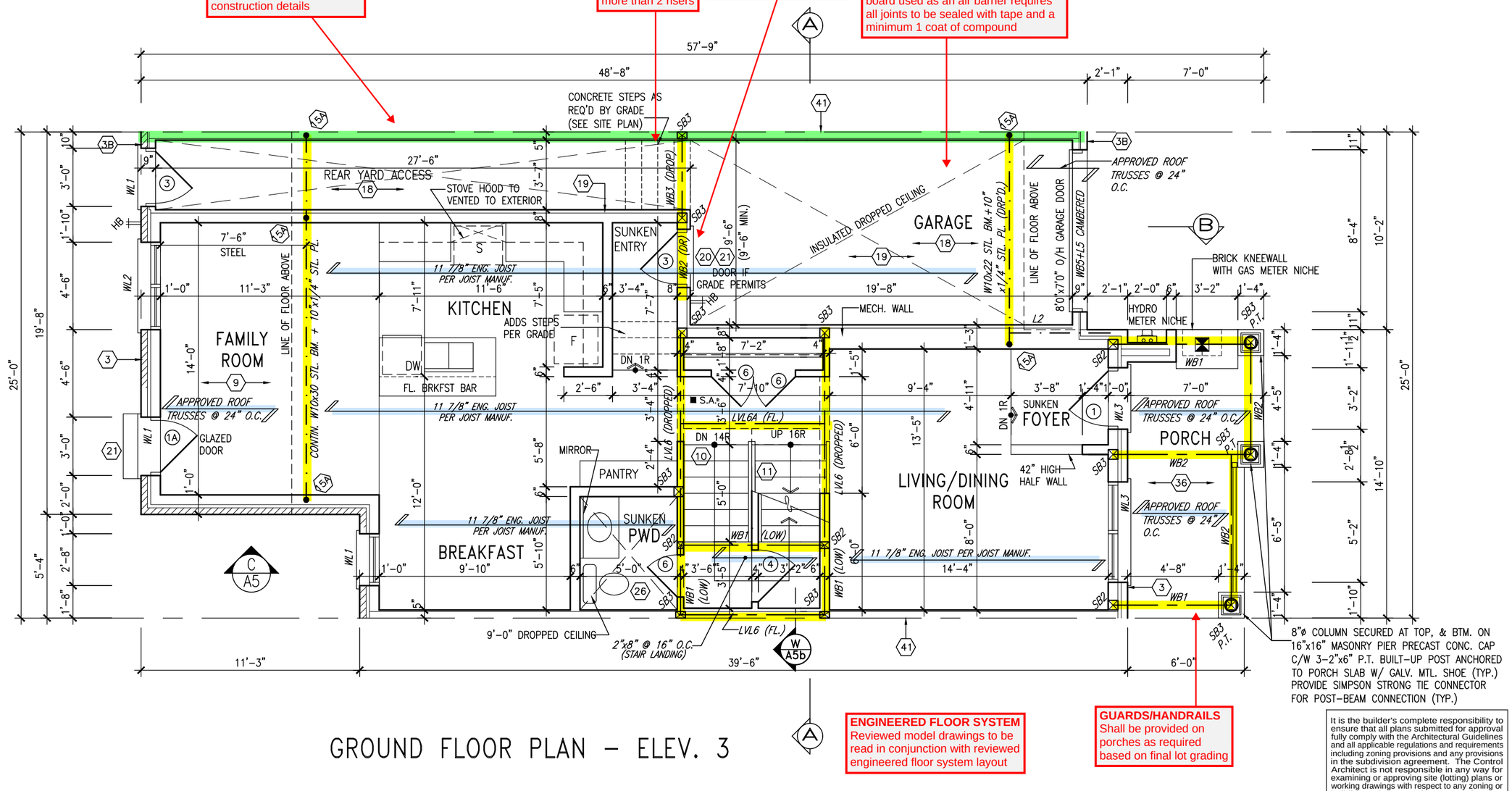
= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

HANDRAIL
Required for interior stairs with more than 2 risers

GARAGE DOOR
Requires weatherstripping and a self closing device

GARAGE AIR BARRIER
Garage walls/ceiling required to include an air barrier system. Gypsum board used as an air barrier requires all joints to be sealed with tape and a minimum 1 coat of compound



GROUND FLOOR PLAN - ELEV. 3

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5.-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TOWN OF MILTON
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IVY 3 MODEL
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

REGISTERED PROFESSIONAL ENGINEER
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IVY 3
-

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
GROUND FLOOR PLAN - ELEV. 3
drawn by: AF
checked by: -
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
drawing no.: A2b
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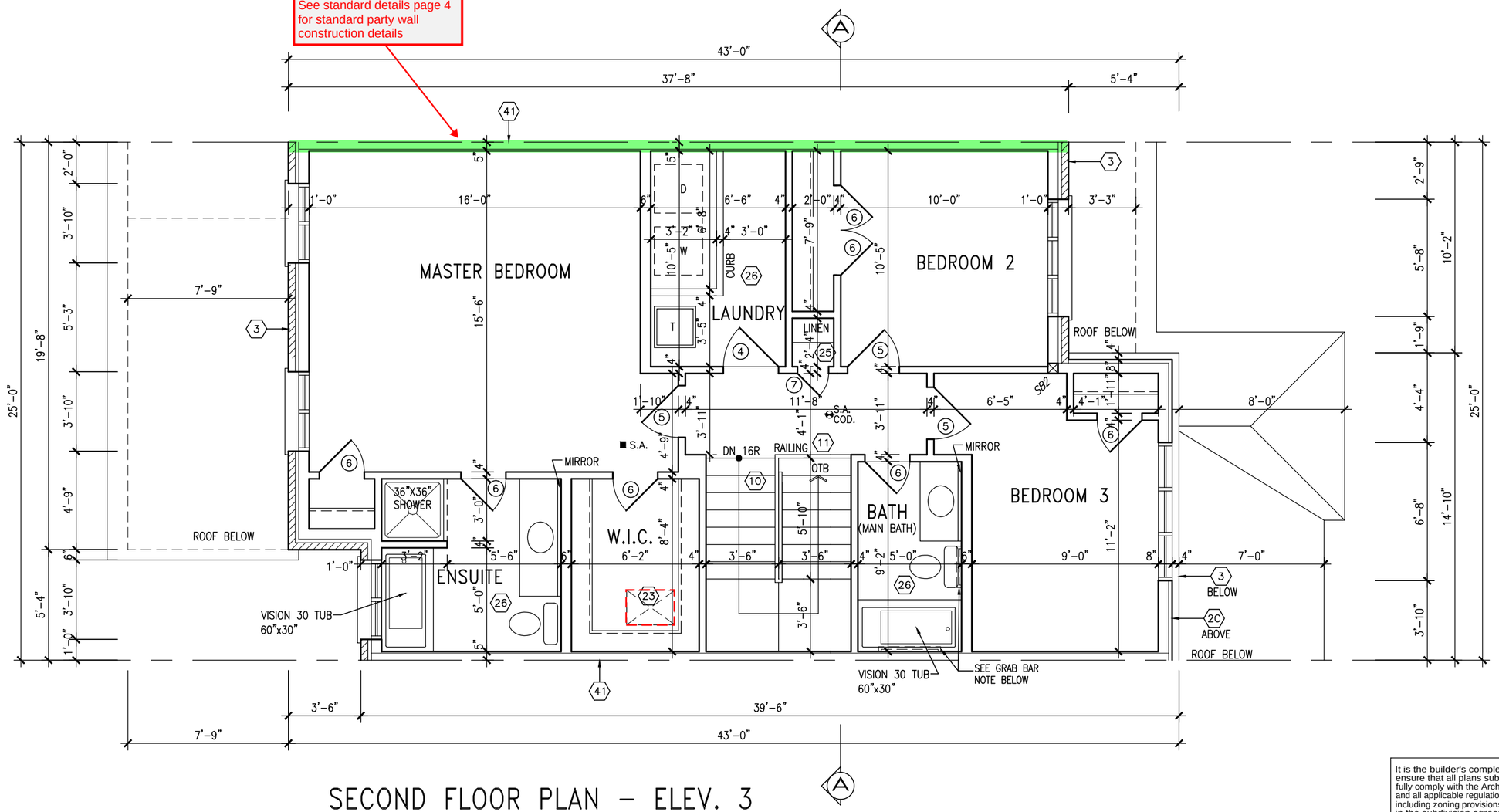
IVY 3
ENERGY STAR/ PANEL

1871 SF.

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



SECOND FLOOR PLAN – ELEV. 3

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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MAR 29, 2017
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BUILDING DIVISION

TOWN OF MILTON
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project name	municipality	project no.
LECCO RIDGE DEV. INC.	TOWN OF MILTON	16015

IVY 3
–

date	drawn by	checked by	scale	file name	drawing no.
2016-07	AF	–	3/16" = 1'-0"	16015-IVY-3	A3b

SECOND FLOOR PLAN – ELEV. 3

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MAR 20 2017
John G. Williams Limited, Architect

IVY 3
ENERGY STAR/ PANEL

1871 SF.

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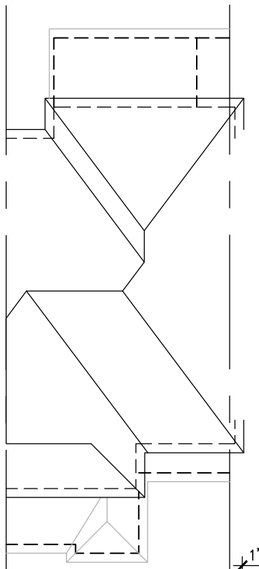
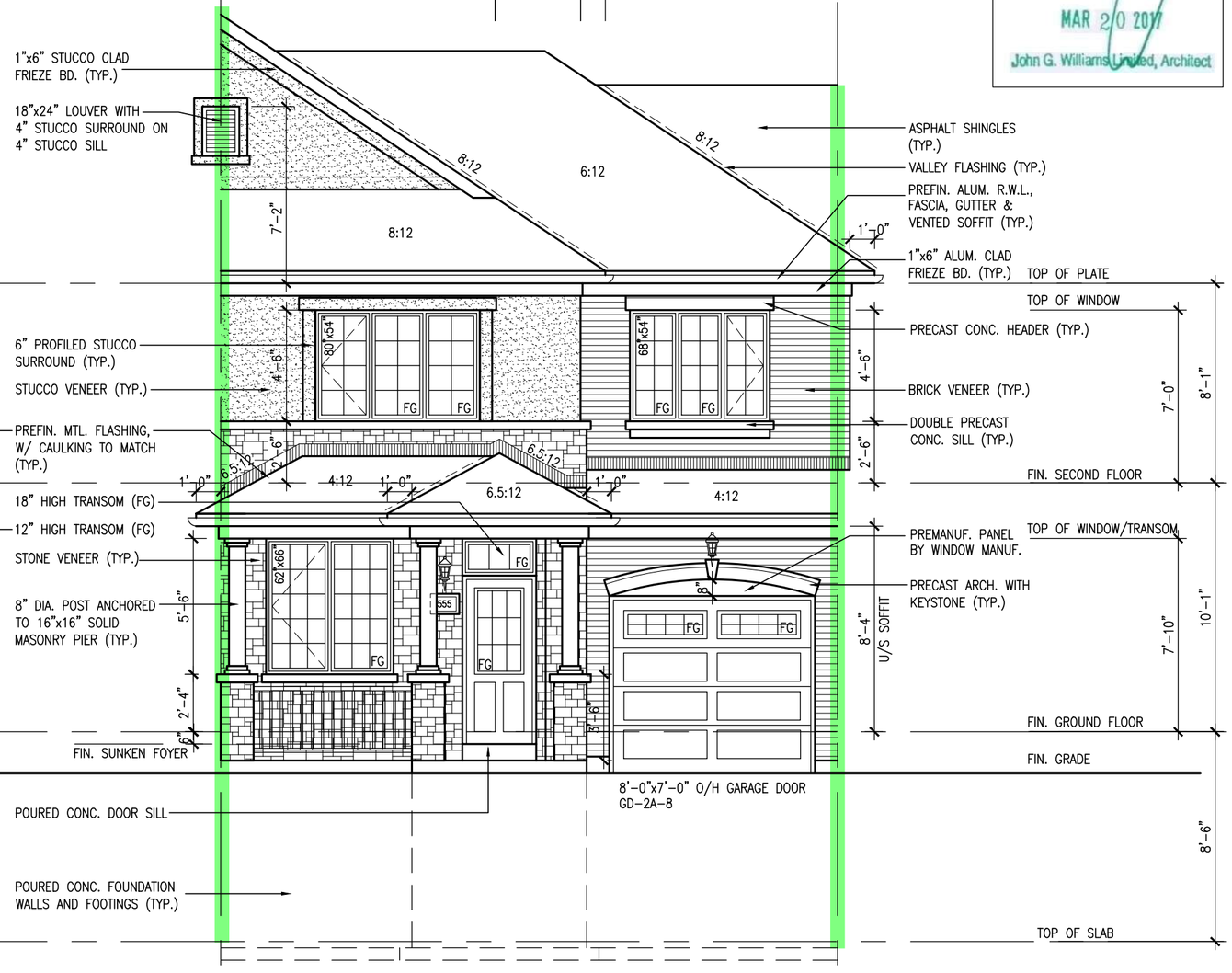
= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

ROOF PLAN '3'





GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

REAR ELEVATION
ELEV. 3

FRONT ELEVATION
ELEV. 3

IVY 3
ENERGY STAR/ PANEL

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

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IVY 3
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municipality: TOWN OF MILTON
project no.: 16015
date: 2016-07
FRONT & REAR ELEVATION
drawn by: AF
checked by: –
scale: 3/16" = 1'-0"
file name: 16015-IVY-3
drawing no.: A4b
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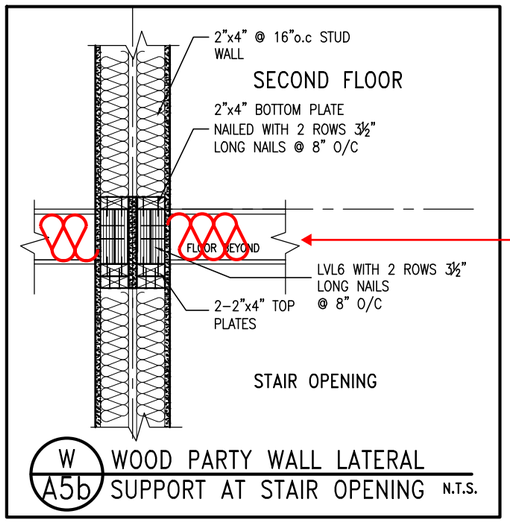
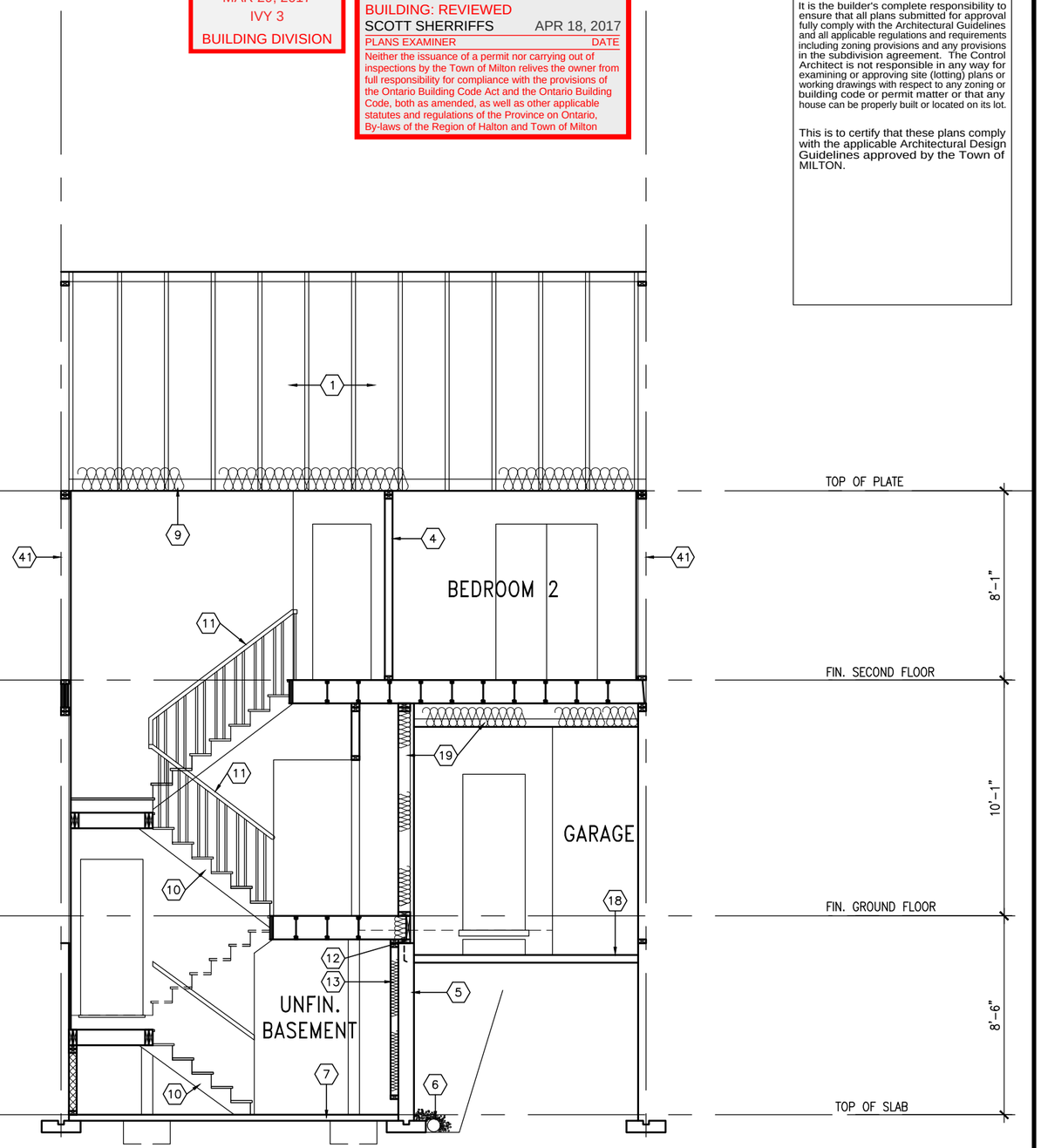


W / A5b WOOD PARTY WALL LATERAL SUPPORT AT STAIR OPENING N.T.S.

PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details

SECTION B



SECTION A-A ELEV. 3

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TOWN OF MILTON
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IVY 3 MODEL
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1883 SF.

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IVY 3
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project name	municipality	project no.
LECCO RIDGE DEV. INC.	TOWN OF MILTON	16015

IVY 3 –

date		drawing no.
2016-07	SECTION A-A ELEV. 3	A5b
drawn by: AF	checked by: –	scale: 3/16" = 1'-0"
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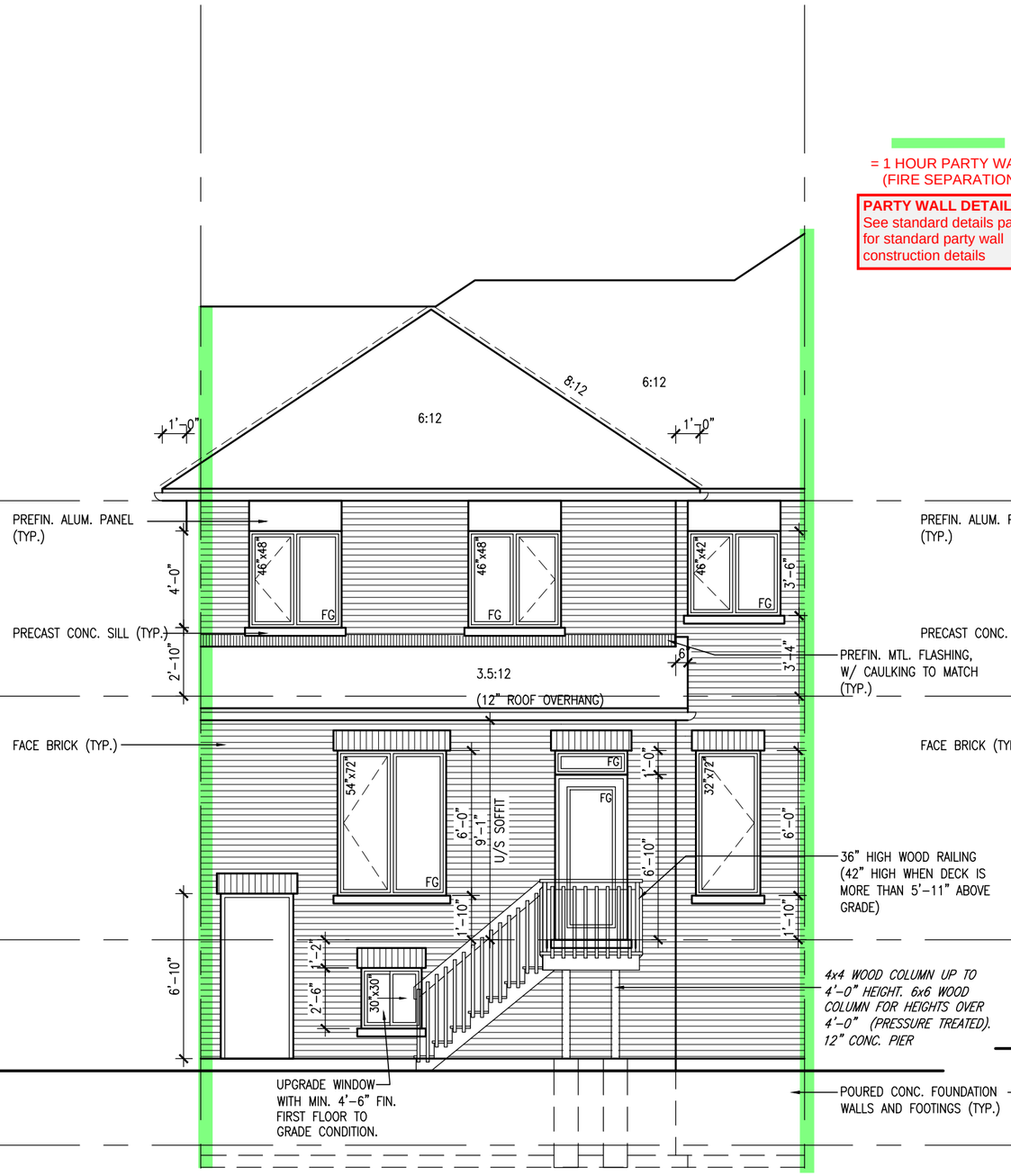
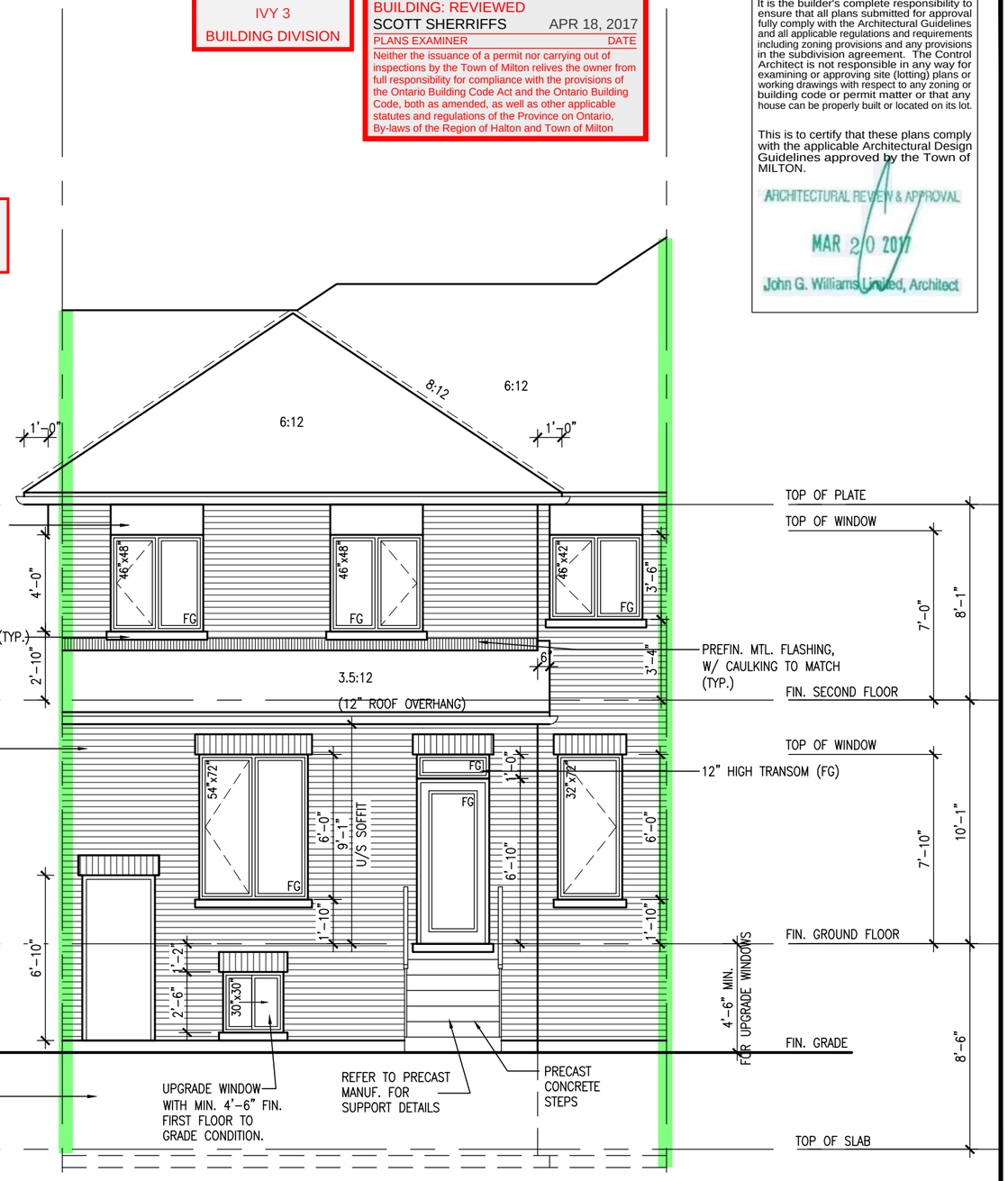


REAR ELEVATION ELEV. 3
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5 and 5-2 for additional deck construction details



REAR ELEVATION ELEV. 3
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing

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municipality: TOWN OF MILTON
IVY 3
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REAR ELEVATION ELEV. 3 – DECK CONDITION
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drawn by: AF
checked by: –
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