

1641 SF.

PAD FOOTINGS

120 KPa. NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa. ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 7/16" L (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 7/16" L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L)
L2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L)
L3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L)
L4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L)
L5 = 6" x 4" x 7/16" L (152x102x11.0L)
L6 = 7" x 4" x 7/16" L (178x102x11.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8' to 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

GENERAL NOTES/CONSTRUCTION DETAILS

Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWNHOUSE MODELS

Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

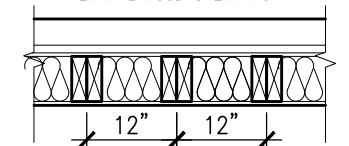
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

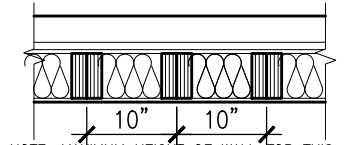
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

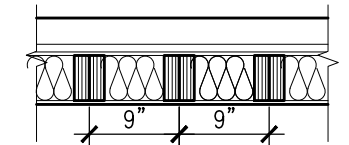
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1.(7))

IVY 2 AND ELEVATION 1	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	448.35 S.F.	74.30 S.F.	16.57 %
LEFT SIDE	876.84 S.F.	15.33 S.F.	1.75 %
RIGHT SIDE	876.84 S.F.	0.0 S.F.	0.00 %
REAR	448.35 S.F.	122.91 S.F.	27.41 %
TOTAL SQ. FT.	2650.38 S.F.	212.54 S.F.	8.02 %
TOTAL SQ. M.	246.23 S.M.	19.75 S.M.	8.02 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1.(7))

IVY 2 AND ELEVATION 2	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	448.35 S.F.	81.46 S.F.	18.17 %
LEFT SIDE	895.28 S.F.	15.33 S.F.	1.71 %
RIGHT SIDE	895.28 S.F.	0.0 S.F.	0.00 %
REAR	448.35 S.F.	122.91 S.F.	27.41 %
TOTAL SQ. FT.	2687.26 S.F.	219.70 S.F.	8.18 %
TOTAL SQ. M.	249.65 S.M.	20.41 S.M.	8.18 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1.(7))

IVY 2 AND ELEVATION 3	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	448.35 S.F.	96.73 S.F.	21.57 %
LEFT SIDE	876.84 S.F.	15.33 S.F.	1.75 %
RIGHT SIDE	876.84 S.F.	0.0 S.F.	0.00 %
REAR	448.35 S.F.	122.91 S.F.	27.41 %
TOTAL SQ. FT.	2650.38 S.F.	234.97 S.F.	8.87 %
TOTAL SQ. M.	246.23 S.M.	21.83 S.M.	8.87 %

AREA CALCULATIONS

ELEV '1'

GROUND FLOOR AREA 780 SF
SECOND FLOOR AREA 861 SF

TOTAL FLOOR AREA 1641 SF
(152.45 m2)

FIRST FLOOR OPEN AREA 0 SF
SECOND FLOOR OPEN AREA 0 SF
ADD TOTAL OPEN AREAS +0 SF
ADD FINISHED BSMT AREA +0 SF

GROSS FLOOR AREA 1641 SF
(152.45 m2)

GROUND FLOOR COVERAGE 780 SF
GARAGE COVERAGE/AREA 314 SF
PORCH COVERAGE/AREA 37 SF

COVERAGE W/ PORCH 1131 SF
(105.07 m2)

COVERAGE W/O PORCH 1094 SF
(101.64 m2)

AREA CALCULATIONS

ELEV '2'

GROUND FLOOR AREA 772 SF
SECOND FLOOR AREA 864 SF

TOTAL FLOOR AREA 1636 SF
(151.99 m2)

FIRST FLOOR OPEN AREA 0 SF
SECOND FLOOR OPEN AREA 0 SF
ADD TOTAL OPEN AREAS +0 SF
ADD FINISHED BSMT AREA +0 SF

GROSS FLOOR AREA 1636 SF
(151.99 m2)

GROUND FLOOR COVERAGE 772 SF
GARAGE COVERAGE/AREA 314 SF
PORCH COVERAGE/AREA 66 SF

COVERAGE W/ PORCH 1152 SF
(107.02 m2)

COVERAGE W/O PORCH 1086 SF
(100.89 m2)

AREA CALCULATIONS

ELEV '3'

GROUND FLOOR AREA 772 SF
SECOND FLOOR AREA 864 SF

TOTAL FLOOR AREA 1636 SF
(151.99 m2)

FIRST FLOOR OPEN AREA 0 SF
SECOND FLOOR OPEN AREA 0 SF
ADD TOTAL OPEN AREAS +0 SF
ADD FINISHED BSMT AREA +0 SF

GROSS FLOOR AREA 1636 SF
(151.99 m2)

GROUND FLOOR COVERAGE 772 SF
GARAGE COVERAGE/AREA 314 SF
PORCH COVERAGE/AREA 41 SF

COVERAGE W/ PORCH 1127 SF
(104.70 m2)

COVERAGE W/O PORCH 1086 SF
(100.89 m2)



**TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL**

**BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE**

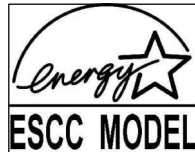
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

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TOWN OF MILTON
MAR 29, 2017
IVY 2
BUILDING DIVISION**



**TOWN OF MILTON
PLANNING AND DEVELOPMENT
ZONE**

ZONING: APPROVED
Matthew Seymour APR 25, 2017
ZONING OFFICER DATE



ENERGY STAR - V 12.7

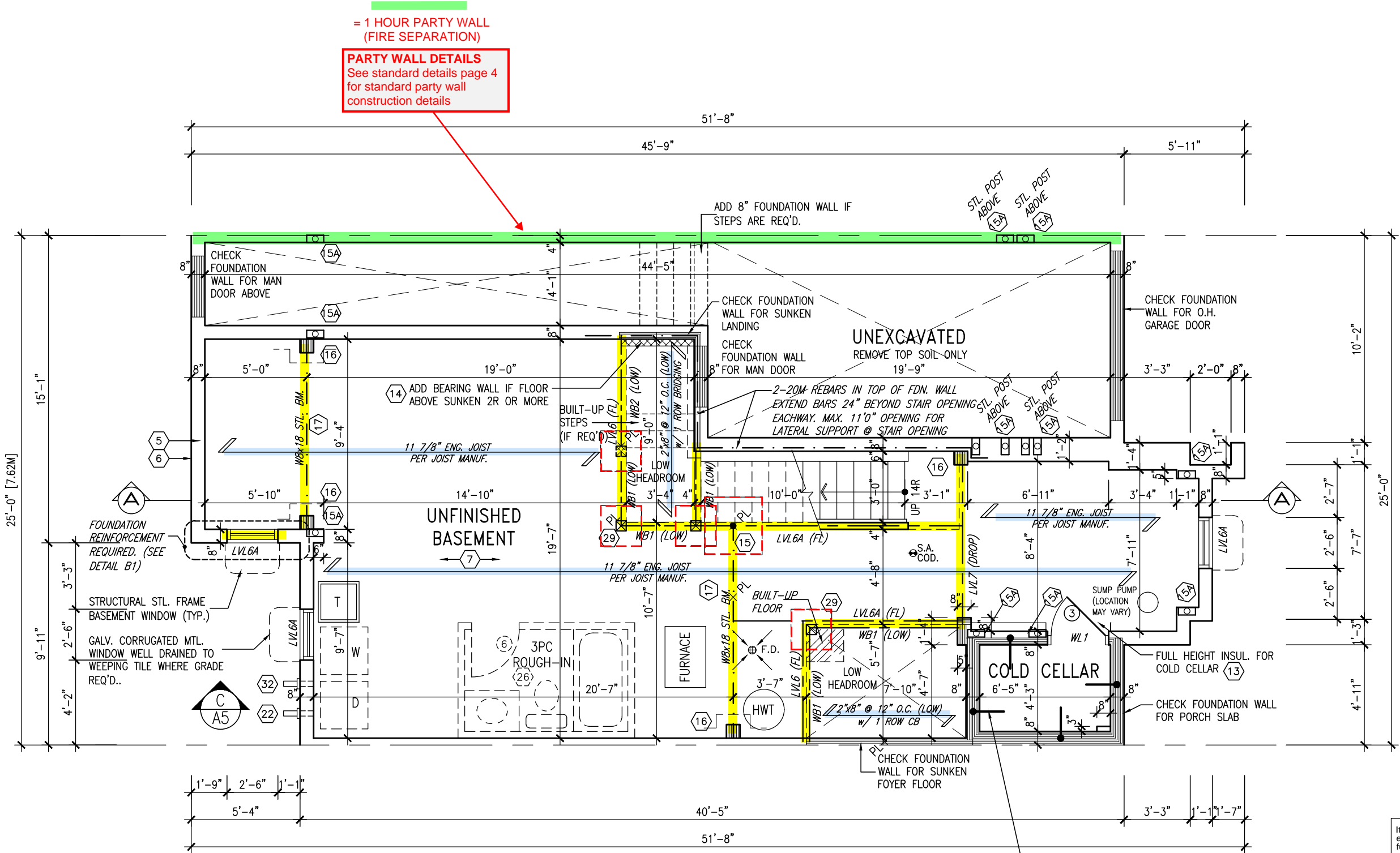


255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name **LECCO RIDGE DEV. INC.** municipality **TOWN OF MILTON** project no. **16015**

date **2016-07** checked by **AF** scale **3/16" = 1'-0"** file name **16015-IVY-2** drawing no. **A0**
GENERAL NOTES & CHARTS
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 2\16015-IVY-2.dwg - Mon - Apr 10 2017 - 4:09 PM



BASEMENT PLAN - ELEV. 1

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

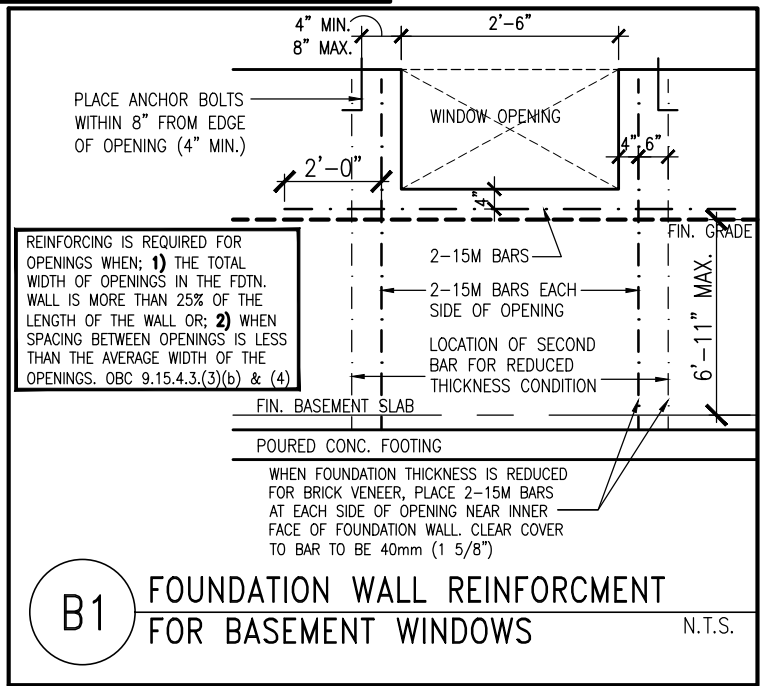
ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect



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MAR 29, 2017
IVY 2
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 07/17	GW
8	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
5	2nd FLR WINDOW PANELS ADDED.	SEP 06/16	GW
4	REPLACED PATIO DR. w/ DOOR/WINDOW.	AUG 25/16	GW
3	REVISED PLANS/ELEV.	AUG 22/16	GW
2	REV. ELEVATION 3 FRONT.	AUG 12/16	GW
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488 BCIN
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

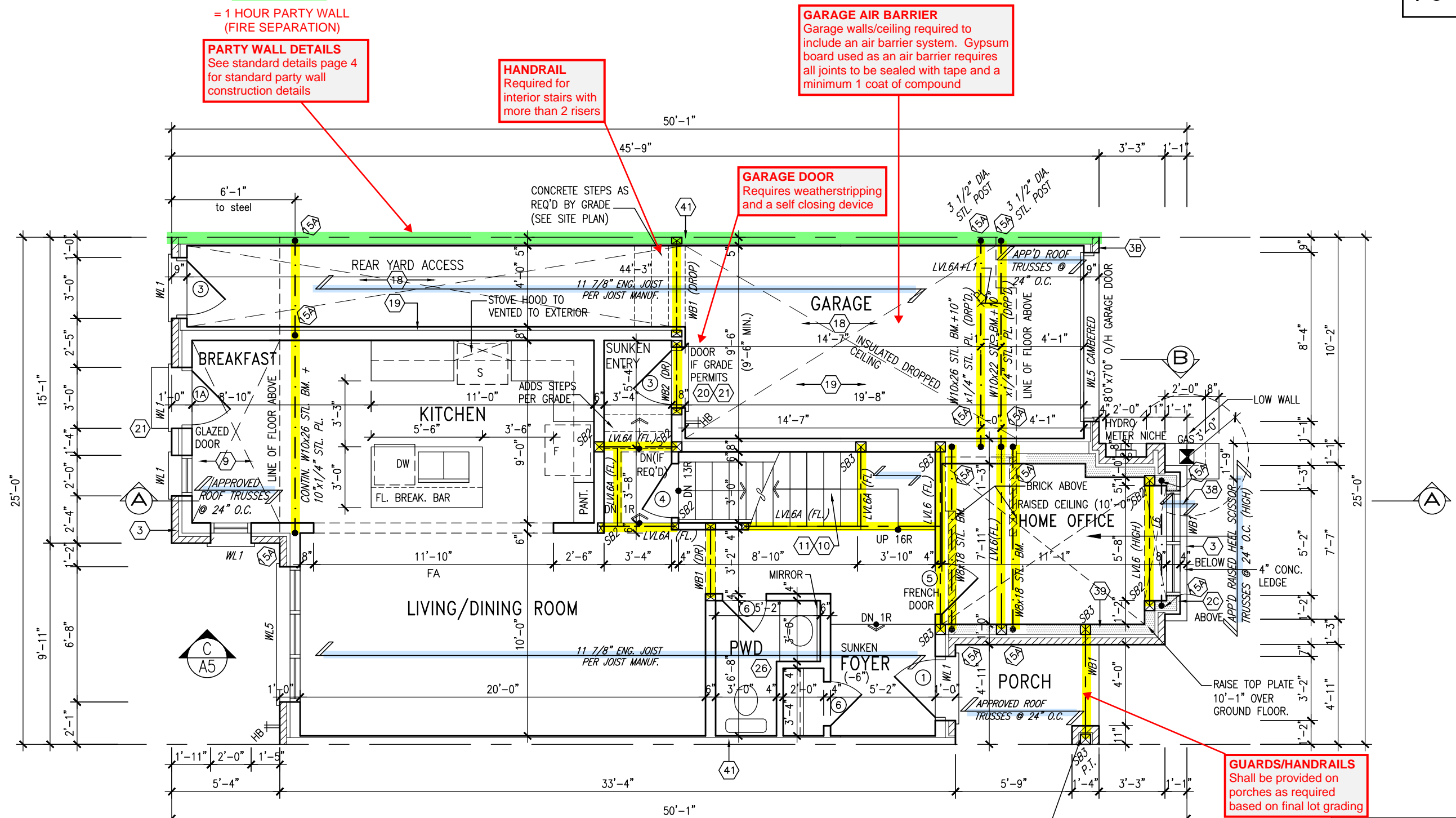
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
2016-07
drawn by
AF
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-2
drawing no.
A1

IVY 2
ENERGY STAR/PANEL

IVY 2
project no.
16015

1641 SF.



GROUND FLOOR PLAN - ELEV. 1

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5.-% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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IVY 2
BUILDING DIVISION



9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 07/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	ISSUED FOR PERMIT.	MAR. 01/17	GW	qualification information
7	ISSUED FOR PRICING.	DEC. 21/16	GW	Richard Vink 24488 BCIN
6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	signature
5	2nd FLR WINDOW PANELS ADDED.	SEP 06/16	GW	name registration information
4	REPLACED PATIO DR. w/ DOOR/WINDOW.	AUG 25/16	GW	VA3 Design Inc. 42658
3	REVISED PLANS/ELEV.	AUG 22/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REV. ELEVATION 3 FRONT.	AUG 12/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
no.	description	date	by	

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Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
2016-07
drawn by
AF
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-2
drawing no.
A2

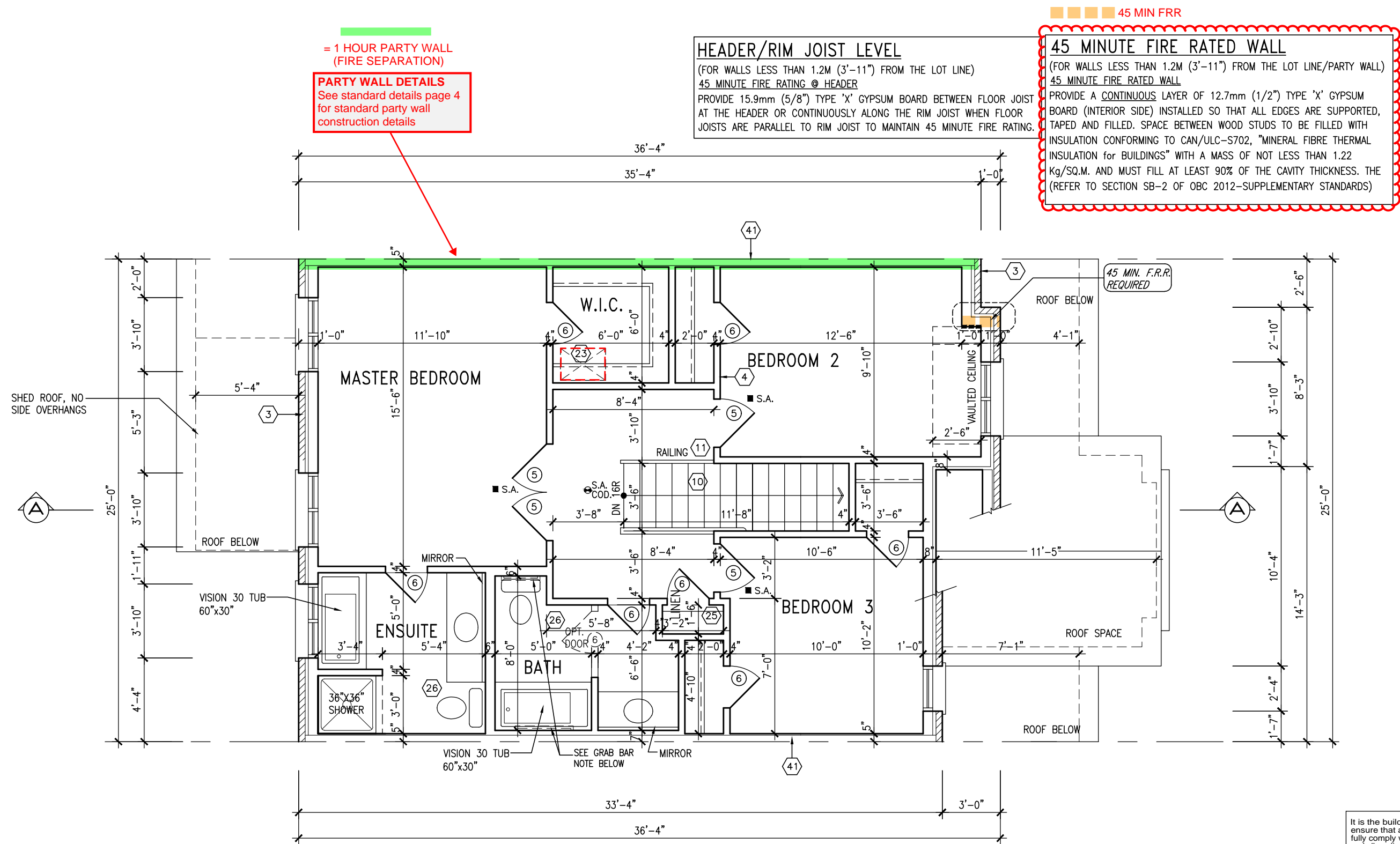
IVY 2
ENERGY STAR/PANEL

IVY 2

project no.
16015

drawing no.
A2

1641 SF.



SECOND FLOOR PLAN – ELEV. 1

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8 for required main bathroom grab bar reinforcing

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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MAR 29, 2017
IVY 2
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
APR 18, 2017
DATE

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9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 07/17	GW
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7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
5	2nd FLR WINDOW PANELS ADDED.	SEP 06/16	GW
4	REPLACED PATIO DR. w/ DOOR/WINDOW.	AUG 25/16	GW
3	REVISED PLANS/ELEV.	AUG 22/16	GW
2	REV. ELEVATION 3 FRONT.	AUG 12/16	GW
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW
no.	description	date	by

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signature
Richard Vink
name
registration information
VA3 Design Inc.
24488
BCIN
42658

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va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON

date
2016-07
drawn by
AF
checked by
scale
3/16" = 1'-0"

SECOND FLOOR PLAN – ELEV. 1
file name
16015-IVY-2
drawing no.
A3

IVY 2
project no.
16015

IVY 2
ENERGY STAR/PANEL

1641 SF.

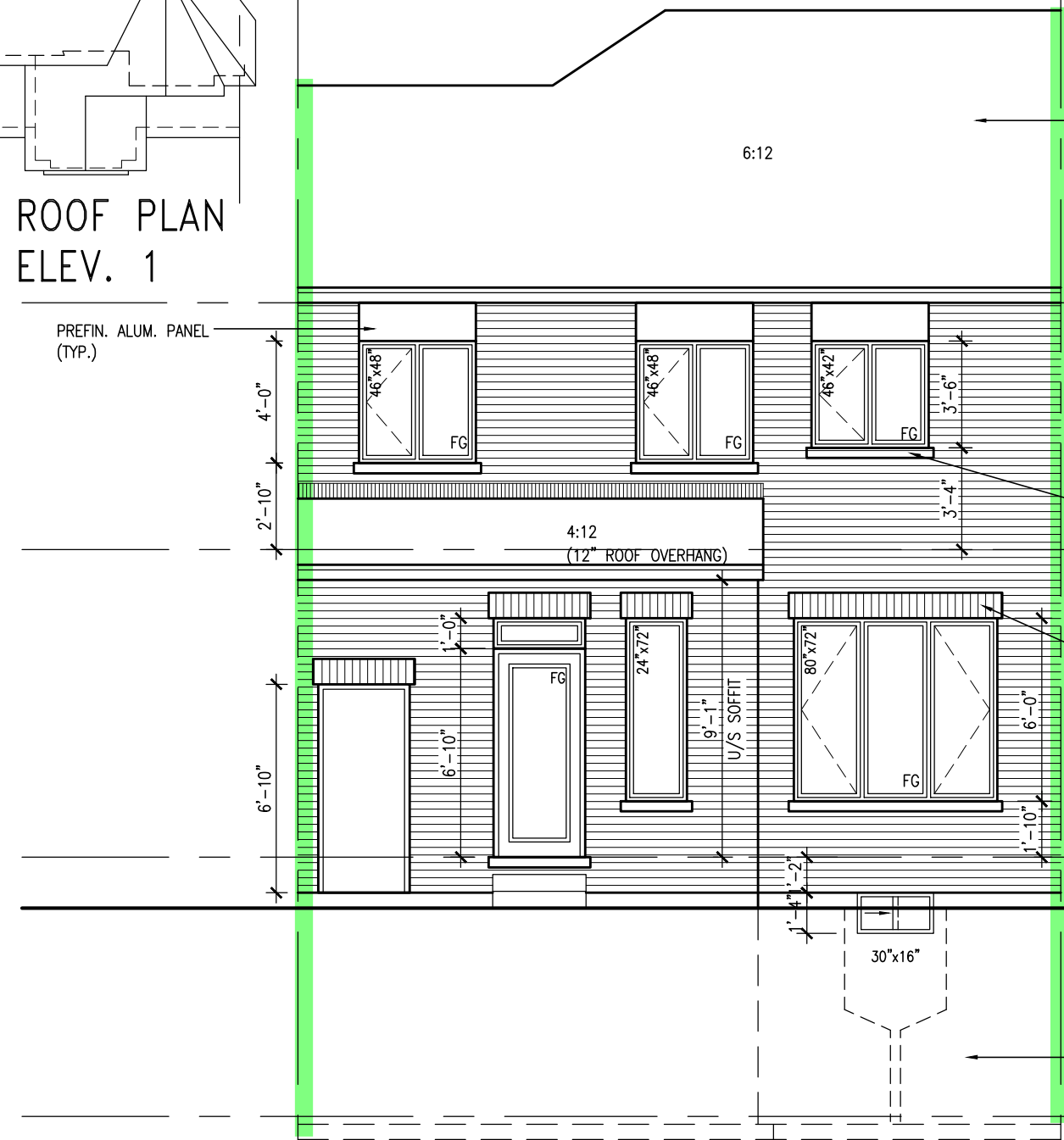
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

ROOF PLAN ELEV. 1

PREFIN. ALUM. PANEL
(TYP.)



REAR ELEVATION ELEV. 1

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

ASPHALT SHINGLES
(TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

PRECAST CONC. SILL
(TYP.)

18" HIGH TRANSOM (FG)

10" BRICK SOLDIER
HEADER (TYP.)

FIN. SUNKEN FOYER

POURED CONC. DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

GALV. CORRUGATED MTL.
WINDOW WELL DRAINED TO
WEEPING TILE WHERE GRADE
REQ'D..

FRONT ELEVATION ELEV. 1

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

IVY 2
ENERGY STAR/PANEL



BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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By-laws of the Region of Halton and Town of Milton

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

no.	description	date	by
9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 07/17	GW
8	ISSUED FOR PERMIT.	MAR. 01/17	GW
7	ISSUED FOR PRICING.	DEC. 21/16	GW
6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT
5	2nd FLR WINDOW PANELS ADDED.	SEP 06/16	GW
4	REPLACED PATIO DR. w/ DOOR/WINDOW.	AUG 25/16	GW
3	REVISED PLANS/ELEV.	AUG 22/16	GW
2	REV. ELEVATION 3 FRONT.	AUG 12/16	GW
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658
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of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

**VA3
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON

date
2016-07
drawn by
AF
checked by
3/16" = 1'-0"
scale
16015-IVY-2
file name
16015-IVY-2
drawing no.
A4

FRONT & REAR ELEVATION

IVY 2

project no.
16015

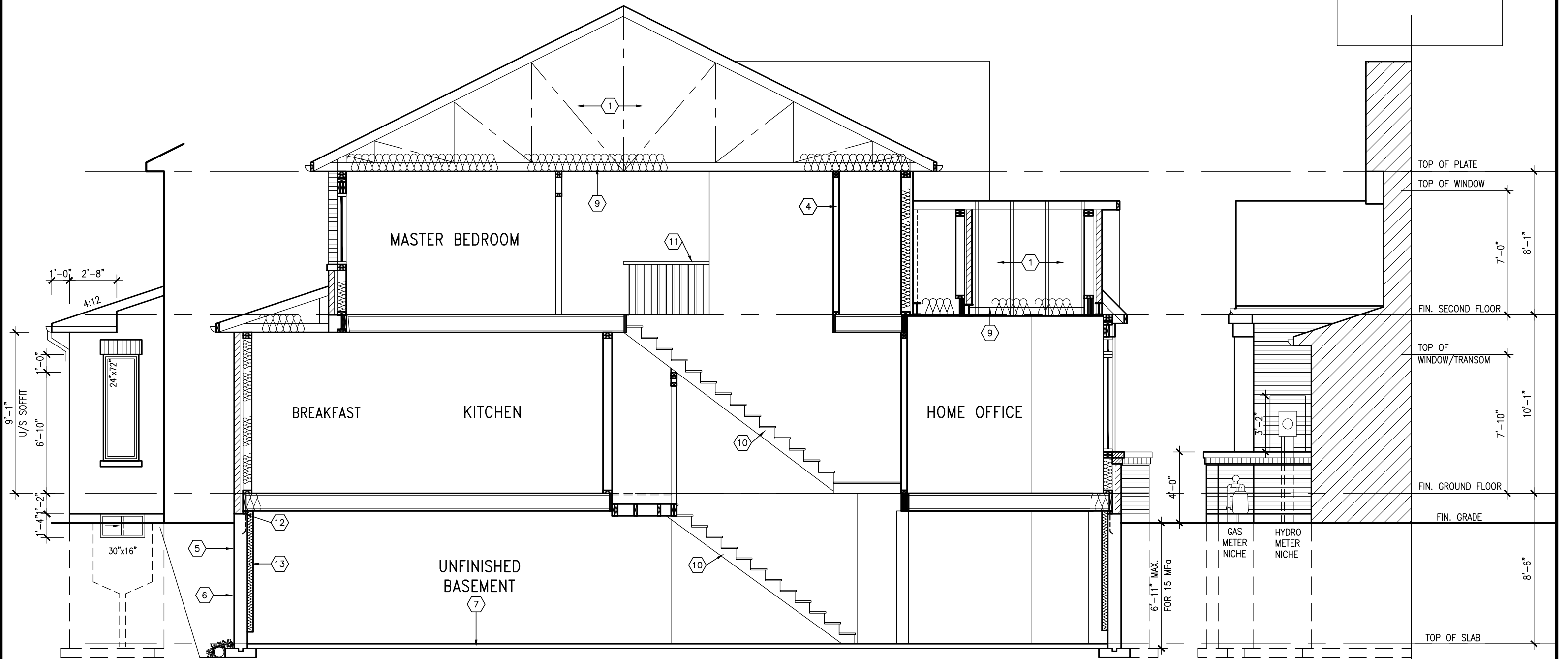
drawing no.
A4

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1641 SF.

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SIDE ELEV.

SECTION A-A ELEV. 1

SECTION B

ALLOWABLE GLAZED OPENINGS
WALL AREA = 57.33 SQ. FT.
LIMITING DISTANCE 2.76 M (33%)
GLAZING ALLOWED = 18.91 SQ. FT.
GLAZING PROVIDED = 12.50 SQ. FT. (GLASS AREA ONLY)

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 2
BUILDING DIVISION



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2	REV. ELEVATION 3 FRONT.	AUG 12/16	GW	
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
2016-07
drawn by
AF
checked by
3/16" = 1'-0"
scale
16015-IVY-2
file name
16015-IVY-2
drawing no.
A5

IVY 2
ENERGY STAR/PANEL

IVY 2
project no.
16015

1641 SF.

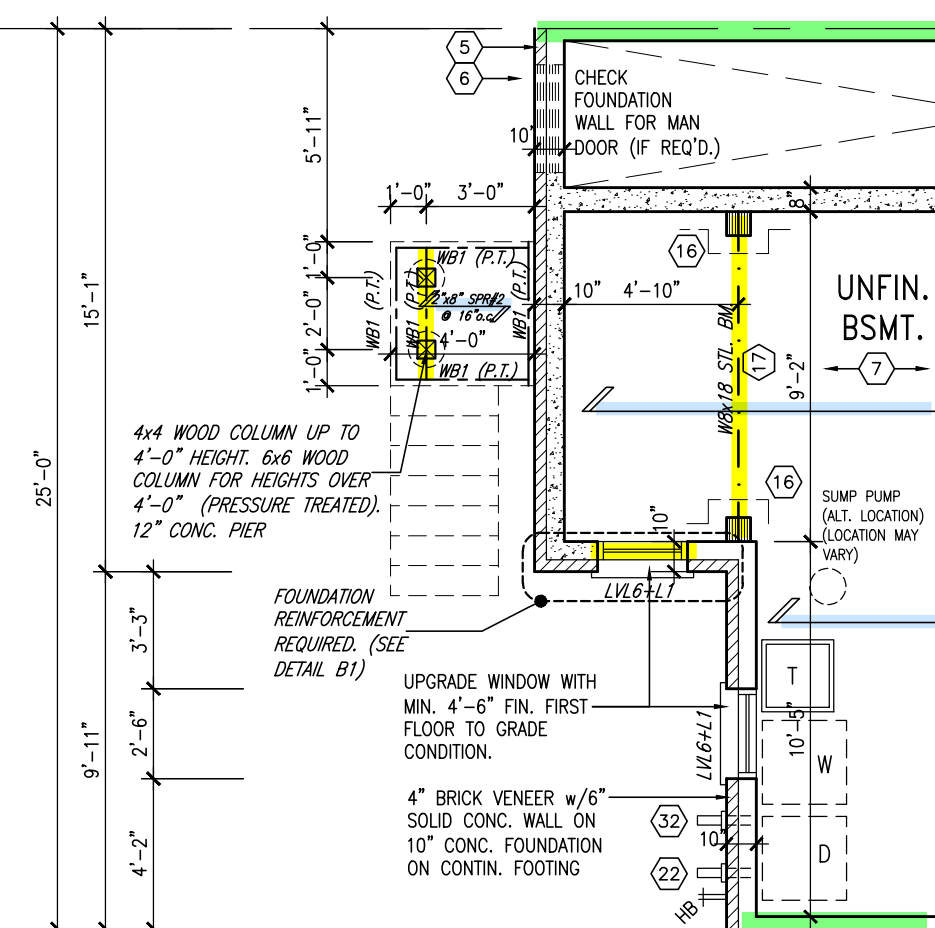
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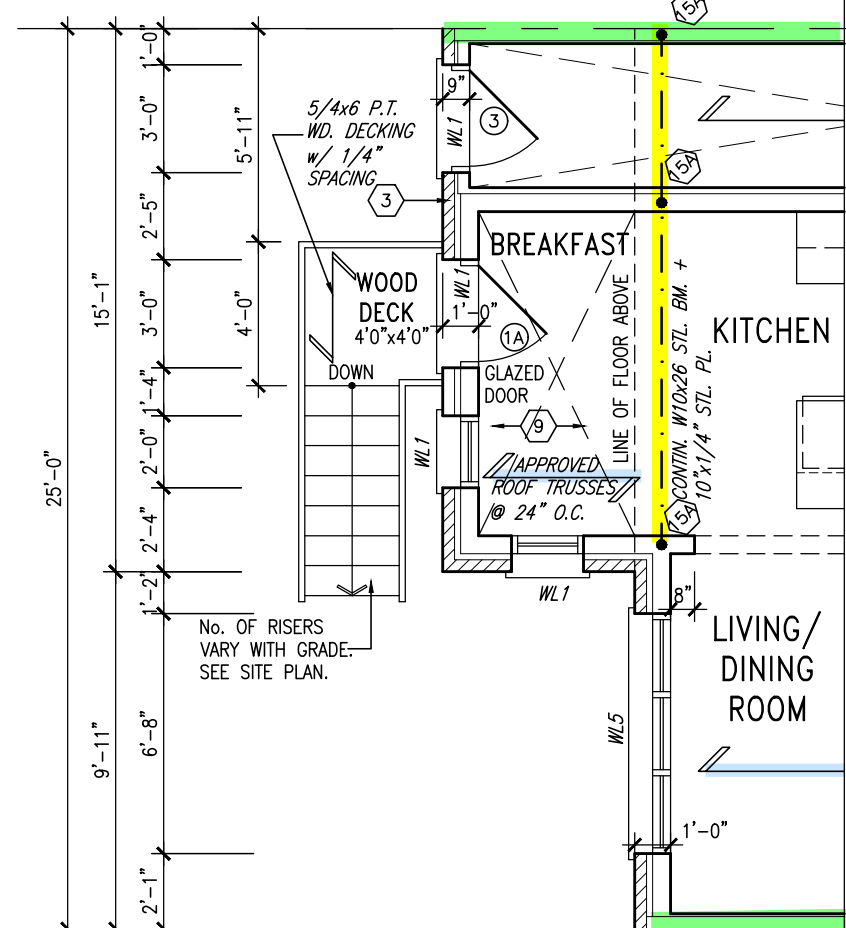
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MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)

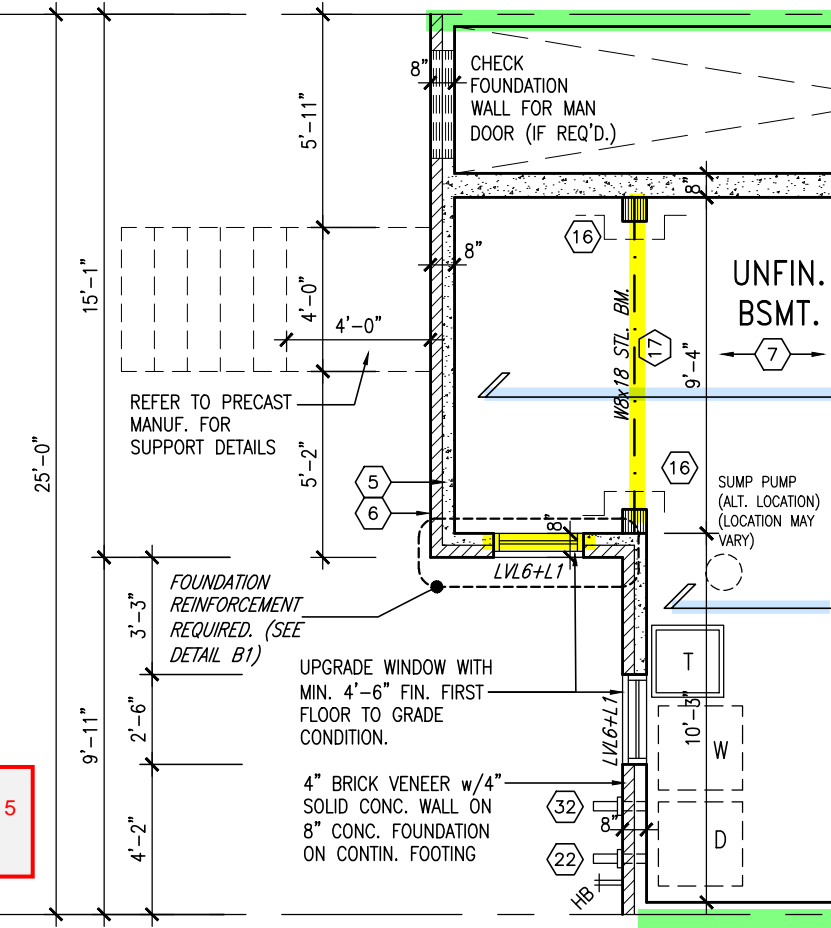


PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)

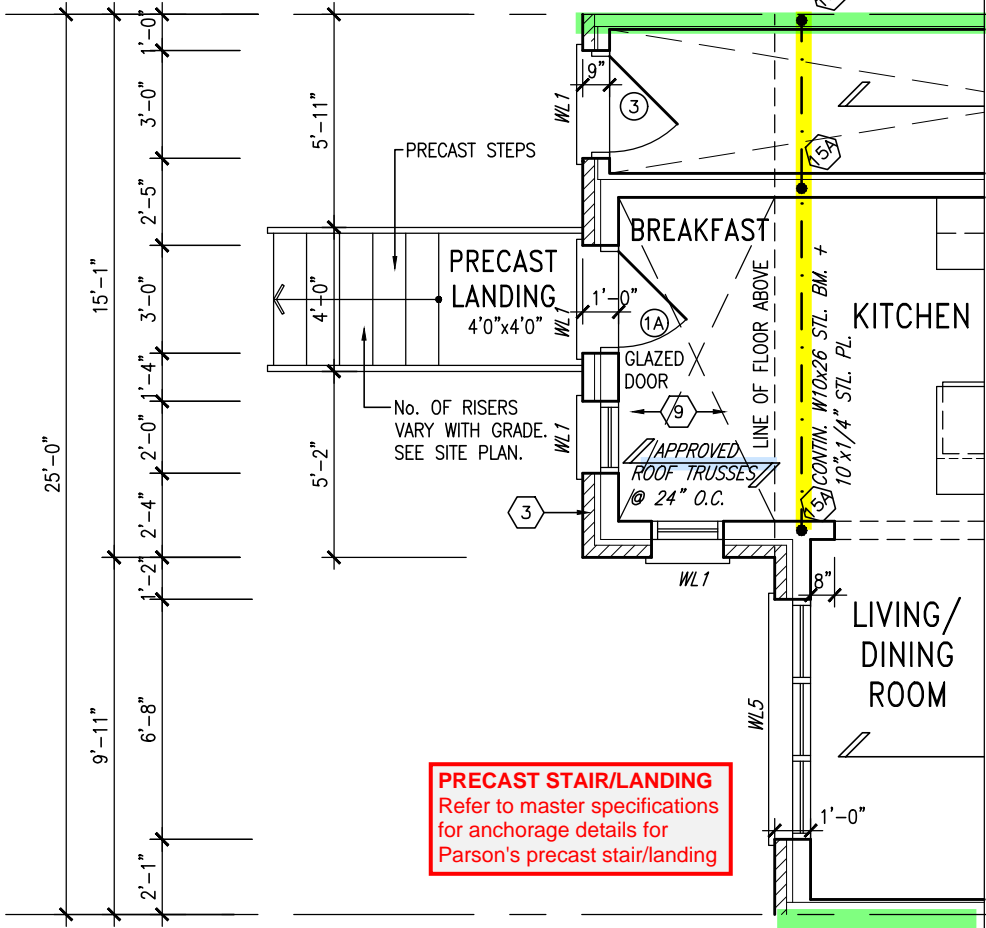
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TOWN OF MILTON
MAR 29, 2017
IVY 2
BUILDING DIVISION

TOWN OF MILTON
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IVY 2 MODEL
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DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



PART. BASEMENT PLAN W.O.D
CONDITION (7R MAX.)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (7R MAX.)

IVY 2
ENERGY STAR/PANEL



VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

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qualification information
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name registration information
VA3 Design Inc. 42658
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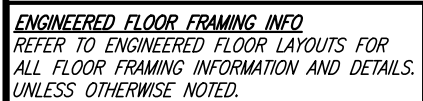
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va3design.com

Greenpark.		project no. 16015	
LECCO RIDGE DEV. INC.		municipality TOWN OF MILTON	
date 2016-07	checked by AF	scale 3/16" = 1'-0"	file name 16015-IVY-2
PART. PLANS - DECK CONDITION		drawing no. A6	

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= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

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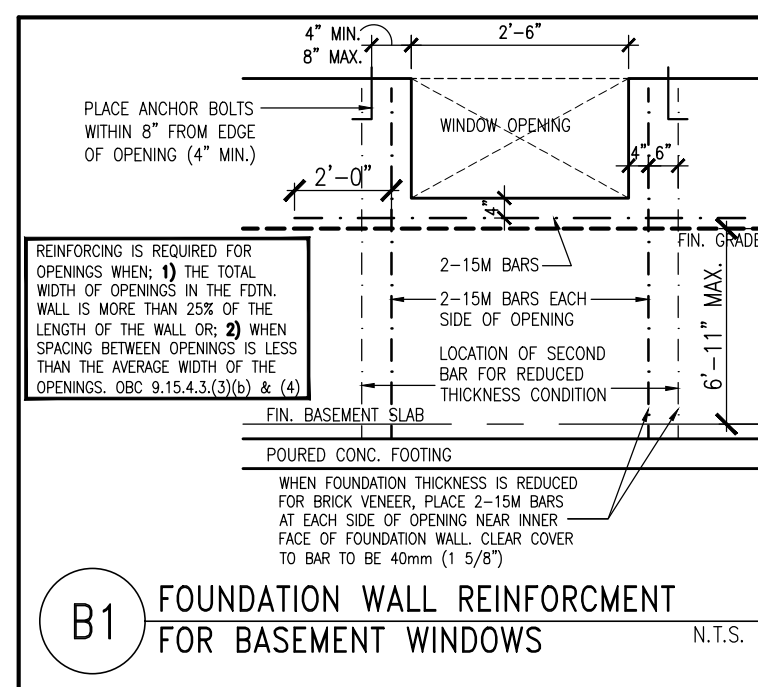
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

IVY 2
ENERGY STAR/PANEL

VY 2

no.

1a



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL

BUILDING: REVIEWED

SCOTT SHERRIFFS


APR 18, 2017

PLANS EXAMINER DATE

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TOWN OF MILTON
MAR 29, 2017
IVY 2
BUILDING DIVISION

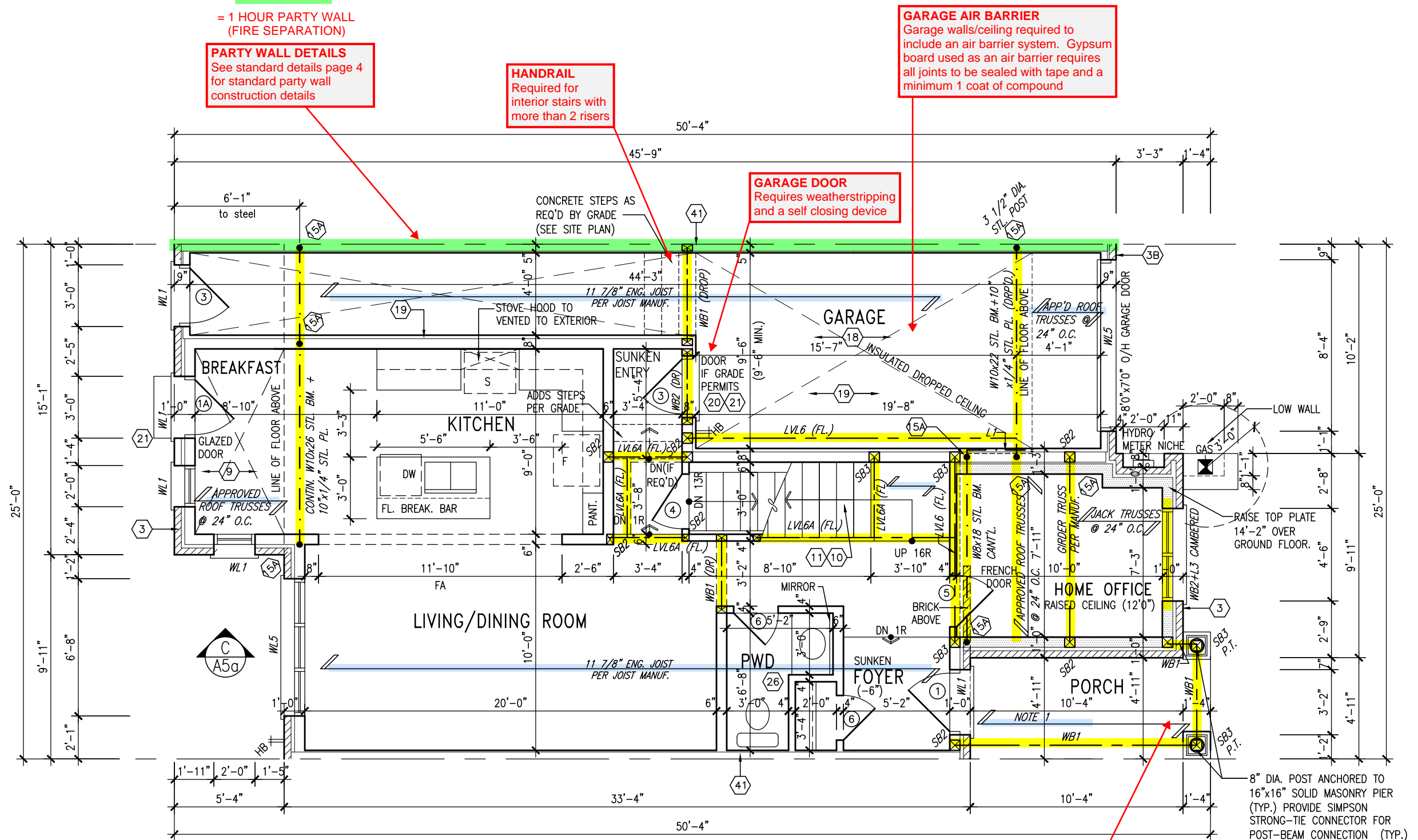
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6	REVISED, ADDED SUNKEN FOYER COND.	OCT 03/16	GW	Richard Vink	2448
5	2nd FLR WINDOW PANELS ADDED.	SEP 06/16	WT	name	
4	REPLACED PATIO DR. w/ DOOR/WINDOW.	AUG 25/16	GW	signature	
3	REVISED PLANS/ELEV.	AUG 22/16	GW	registration information	
2	REV. ELEVATIONS 3 FRONT.	AUG 12/16	GW	VA3 Design Inc.	4265
1	ISSUED FOR CLIENT REVIEW.	AUG 08/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
no.	description	date	by		

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 Greenpark™		IVY 2 -	
project name LECCO RIDGE DEV. INC.	municipality TOWN OF MILTON	project no. 16015	
date 2016-07		drawing no. A1a	
drawn by AF		checked by -	
scale 3/16" = 1'-0"		file name 16015-IVY-2	
(G:\RF - H:\ARCHIVE\WORKING\2016\16015 GREY UNITS\IVY\IVY 2\16015-IVY-2.dwg - Mon - Apr 10 2017 - 4:09 PM			

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1641 SF.



GROUND FLOOR PLAN - ELEV. 2

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
2016-07
drawn by
AF
checked by
3/16" = 1'-0"
scale
16015-IVY-2
file name
16015-IVY-2
drawing no.
A2a

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
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IVY 2
ENERGY STAR/PANEL

IVY 2

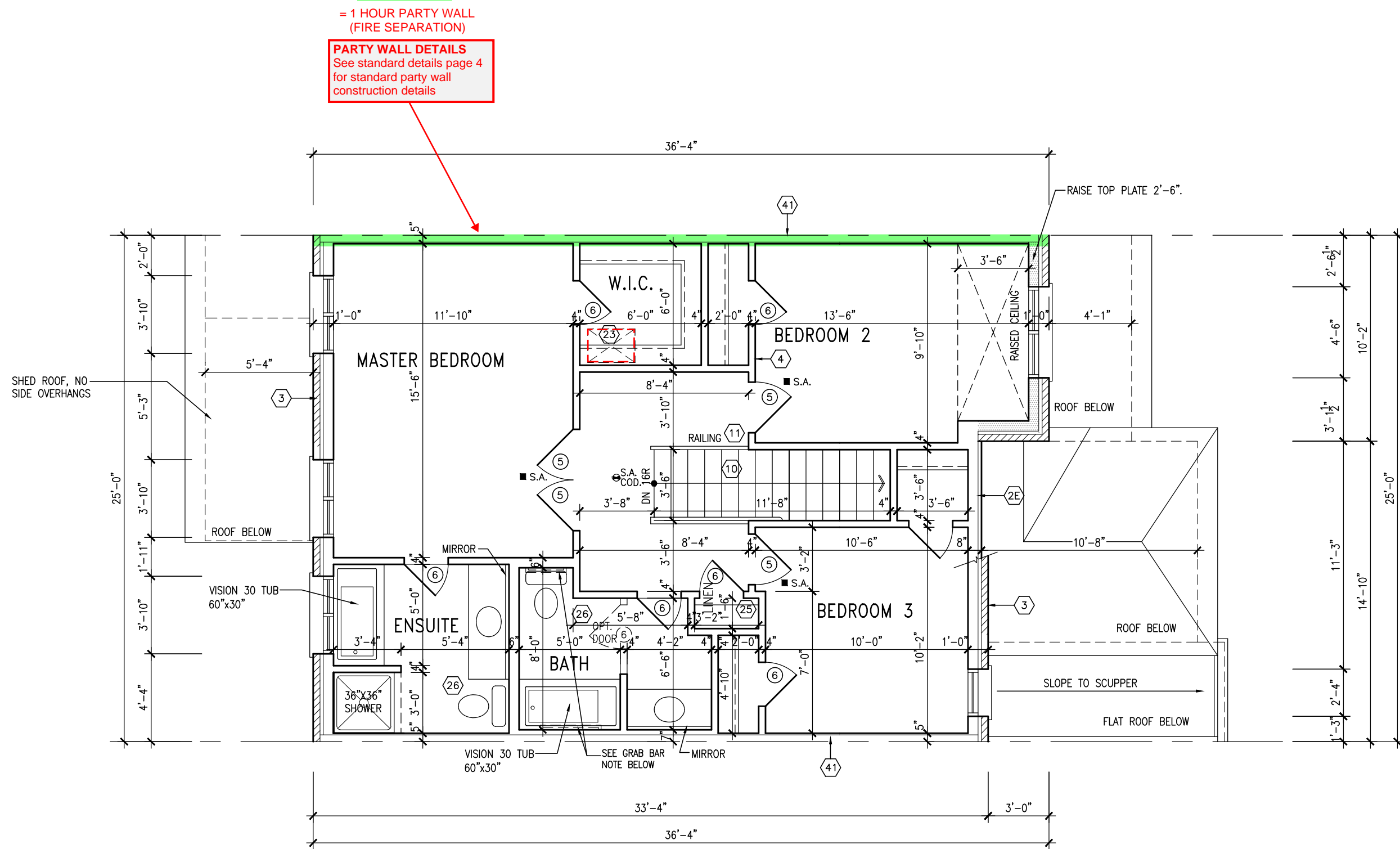
project no.

16015

drawing no.

A2a

1641 SF.



SECOND FLOOR PLAN – ELEV. 2
BLOCK 327

TOWNHOUSE MODELS
Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

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NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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MAR 29, 2017
IVY 2
BUILDING DIVISION

**TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL**
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name
registration information
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Greenpark.
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municipality
TOWN OF MILTON
date
2016-07
drawn by
AF
checked by
3/16" = 1'-0"
scale
SECOND FLOOR PLAN – ELEV. 2
file name
16015-IVY-2
drawing no.
A3a

**IVY 2
ENERGY STAR/PANEL**

IVY 2
project no.
16015

1641 SF.

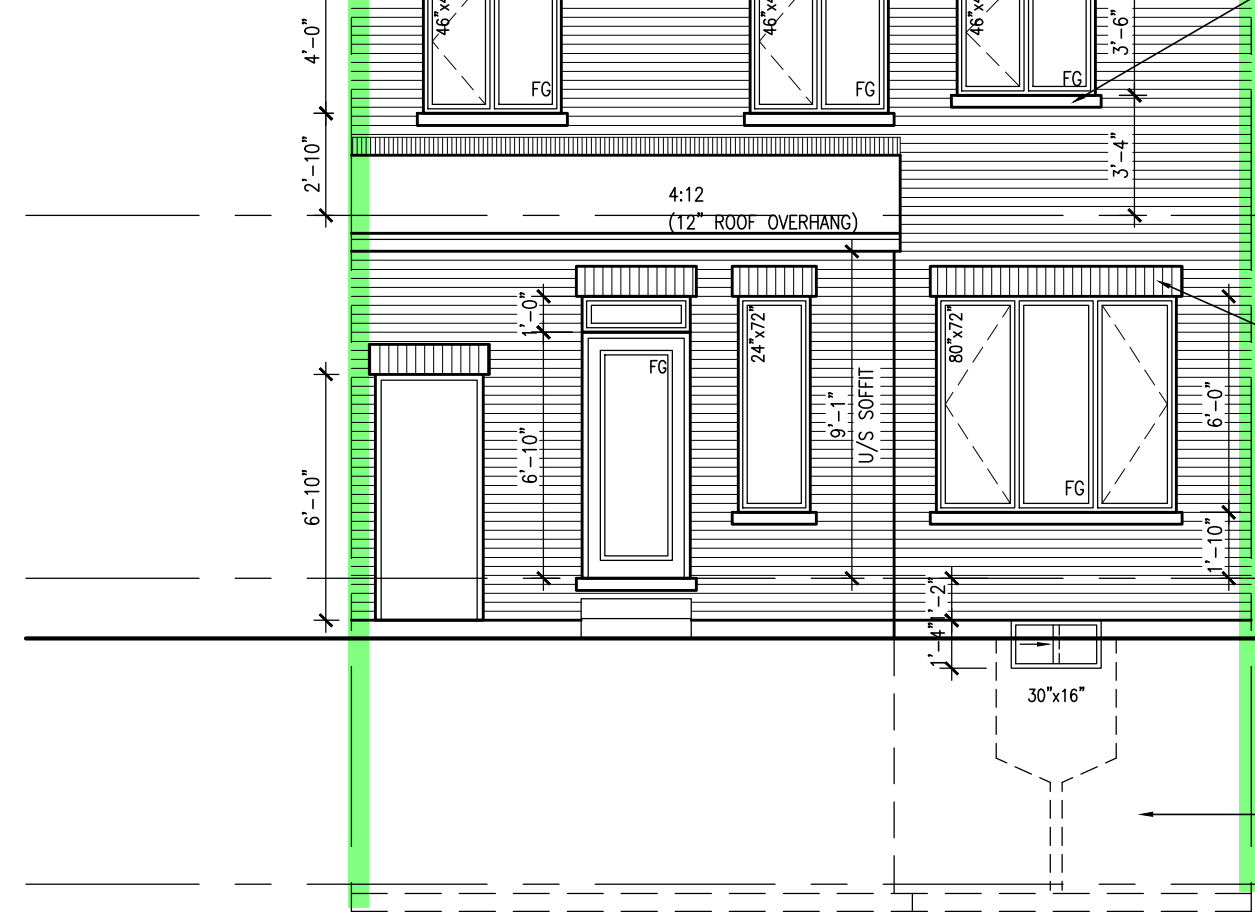
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ROOF PLAN ELEV. 2

PREFIN. ALUM. PANEL
(TYP.)



= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

ASPHALT SHINGLES
(TYP.)

VALLEY FLASHING (TYP.)

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PRECAST CONC. SILL
(TYP.)

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

20\"/>

18\"/>

10\"/>

8\"/>

42\"/>

FIN. SUNKEN FOYER

STONE VENEER (TYP.)

POURED CONC. DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

GALV. CORRUGATED MTL.
WINDOW WELL DRAINED TO
WEeping TILE WHERE GRADE
REQ'D..

FRONT ELEVATION ELEV. 2

GUARDS/HANDRAILS
Shall be provided on
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REAR ELEVATION ELEV. 2

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3'-6\"/>

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON

date
2016-07
drawn by
AF
checked by
3/16\"/>

IVY 2
ENERGY STAR/PANEL

IVY 2

project no.
16015

drawing no.

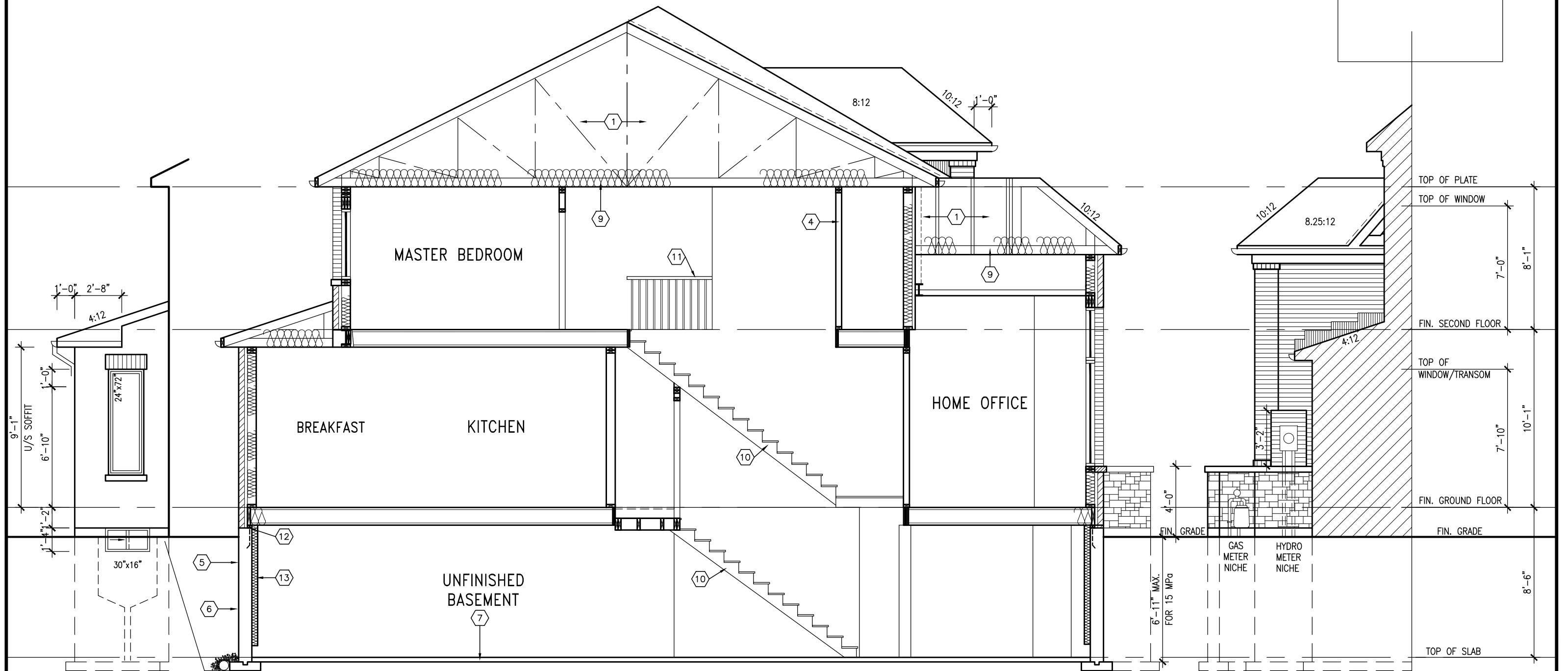
A4a

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1641 SF.

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C SIDE ELEV.

SECTION A-A ELEV. 2

SECTION B

ALLOWABLE GLAZED OPENINGS
WALL AREA =57.33 SQ. FT.
LIMITING DISTANCE 2.76 M (33%)
GLAZING ALLOWED =18.91 SQ. FT.
GLAZING PROVIDED =12.50 SQ. FT. (GLASS AREA ONLY)

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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TOWN OF MILTON
MAR 29, 2017
IVY 2
BUILDING DIVISION



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6	REVISED. ADD SUNKEN FOYER COND.	OCT 03/16	WT	qualification information
5	2nd FLR WINDOW PANELS ADDED.	SEP 06/16	GW	Richard Vink 24488 BCIN
4	REPLACED PATIO DR. w/ DOOR/WINDOW.	AUG 25/16	GW	name registration information
3	REVISED PLANS/ELEV.	AUG 22/16	GW	VA3 Design Inc. 42658
2	REV. ELEVATION 3 FRONT.	AUG 12/16	GW	
1	ISSUED FOR CLIENT REVIEW.	AUG. 08/16	GW	
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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
2016-07
drawn by
AF
checked by
3/16" = 1'-0"
scale
16015-IVY-2
file name
16015-IVY-2
drawing no.
A5a

IVY 2
ENERGY STAR/PANEL

IVY 2
project no.
16015



TOWN OF MILTON

PLANNING AND DEVELOPMENT

IVY 2 MODEL

BUILDING: REVIEWED

SCOTT SHERRIFFS

APR 18, 2017

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

— ASPHALT SHINGLES
(TYP.)

____ ASPHALT SHINGLES
(TYP.)

Diagram illustrating the vertical section of a building, showing the relationship between various levels and dimensions:

- TOP OF PLATE
- TOP OF WINDOW (7'-0" below TOP OF PLATE)
- FIN. SECOND FLOOR (8'-1" below TOP OF PLATE)
- TOP OF WINDOW/TRANSOM (7'-10" below FIN. SECOND FLOOR)
- FIN. GROUND FLOOR (10'-1" below FIN. SECOND FLOOR)
- FIN. GRADE (8'-6" below FIN. SECOND FLOOR)
- FOUNDATION (TYP.) TOP OF SLAB

REAR ELEVATION ELEV. 2
DECK CONDITION (8R OR MORE)

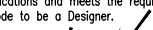
DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

REAR ELEVATION ELEV. 2
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

IVY 2
ENERGY STAR/PANEL

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no.	description	date	by	4265

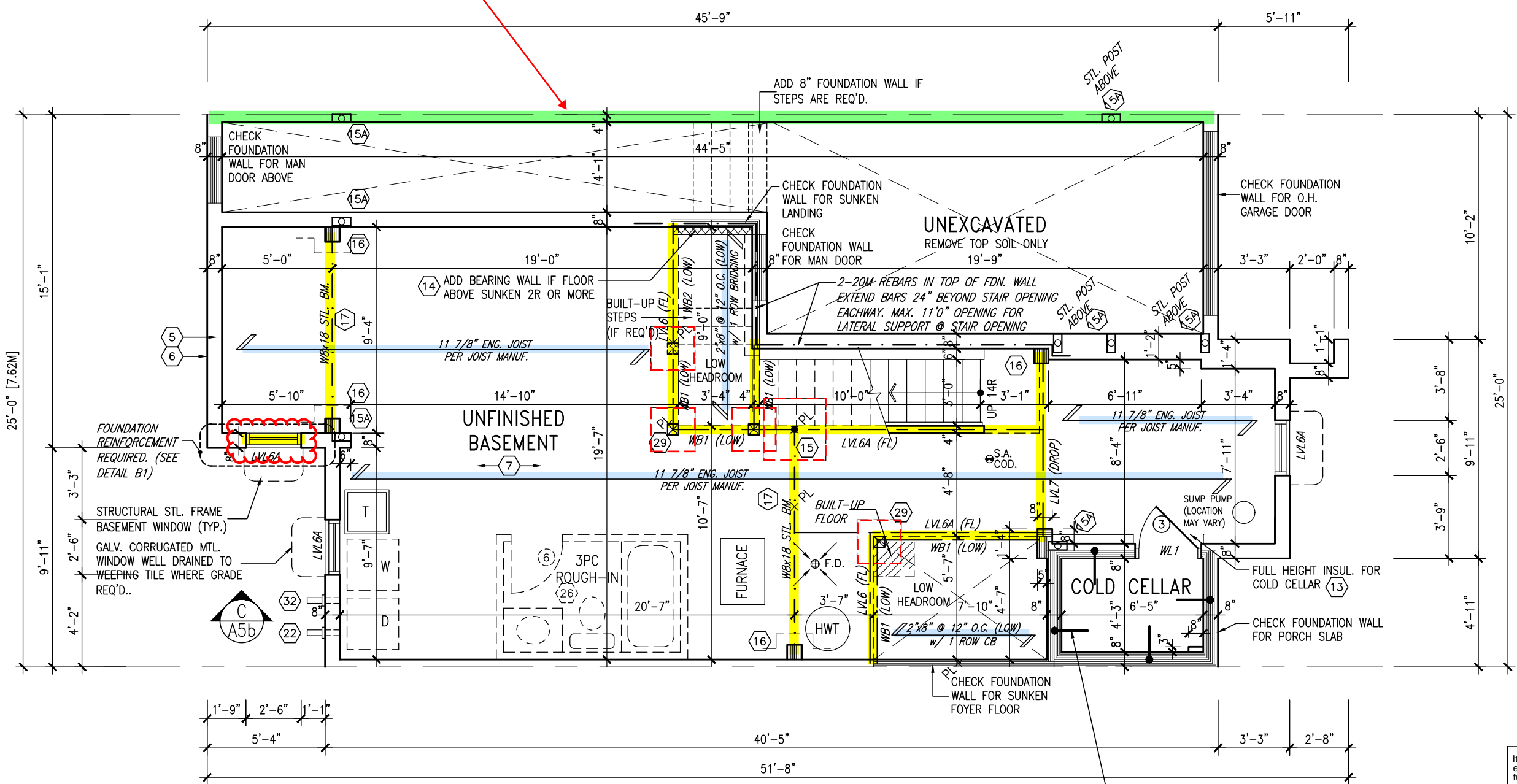
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



project name	municipality		project no.
LECCO RIDGE DEV. INC.	TOWN OF MILTON		16015
date	REAR ELEVATION ELEV. 2 - DECK CONDITION		drawing no.
2016-07			
drawn by	checked by	scale	file name
AF	-	3/16" = 1'-0"	16015-IVY-2
GREFC - H:\ARCHIVE\WORKING\2016\16015 GREF\UNITS\IVY\2\16015-IVY-2.dwg - Mon - Apr 10 2017 - 4:09 PM			A7a

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(FIRE SEPARATION)
PARTY WALL DETAILS
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construction details



ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
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BASEMENT PLAN - ELEV. 3

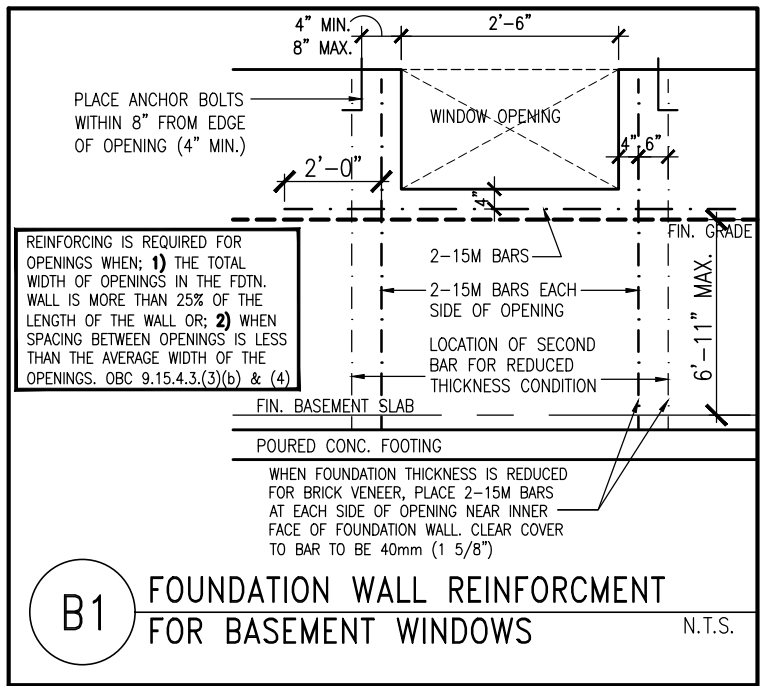
ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7' 7/8" O.C.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" O.C.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect



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TOWN OF MILTON
MAR 29, 2017
IVY 2
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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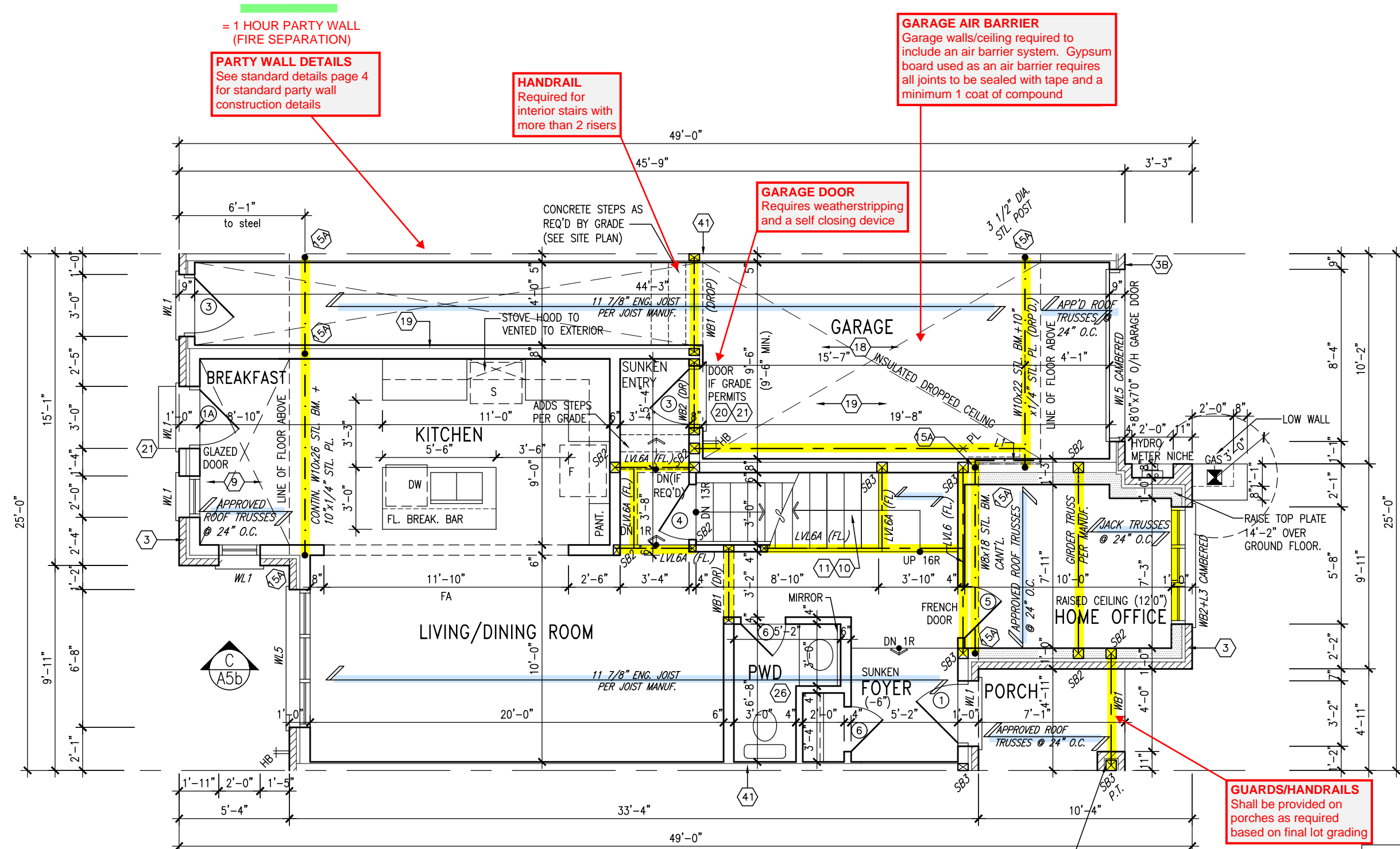
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qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658
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Greenpark.		IVY 2	
project name LECCO RIDGE DEV. INC.		project no. 16015	
municipality TOWN OF MILTON		drawing no. A1b	
date 2016-07	checked by AF	scale 3/16" = 1'-0"	file name 16015-IVY-2
BASEMENT PLAN - ELEV. 3			
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 2\16015-IVY-2.dwg - Mon - Apr 10 2017 - 4:09 PM			

1641 SF.



GROUND FLOOR PLAN - ELEV. 3

PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

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MAR 20 2017
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ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
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signature
name
registration information
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BCIN

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Greenpark.

project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON

date
2016-07
drawn by
AF
checked by
3/16" = 1'-0"
scale
16015-IVY-2
file name
16015-IVY-2
drawing no.
A2b

project no.
16015

IVY 2
ENERGY STAR/PANEL

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MAR 29, 2017
IVY 2
BUILDING DIVISION

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1641 SF.

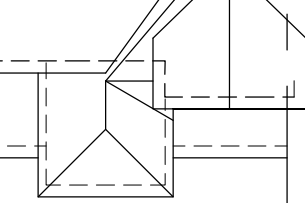
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MAR 20 2017
John G. Williams Limited, Architect

ROOF PLAN ELEV. 3

PREFIN. ALUM. PANEL
(TYP.)



REAR ELEVATION ELEV. 3

FRONT ELEVATION ELEV. 3

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 2 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
DATE: APR 18, 2017

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MAR 29, 2017
IVY 2
BUILDING DIVISION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE AND 3'-0" HIGH RAILING
WHEN PORCH SLAB IS LESS THAN
5'-11" ABOVE FINISHED GRADE

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IVY 2
ENERGY STAR/PANEL

IVY 2

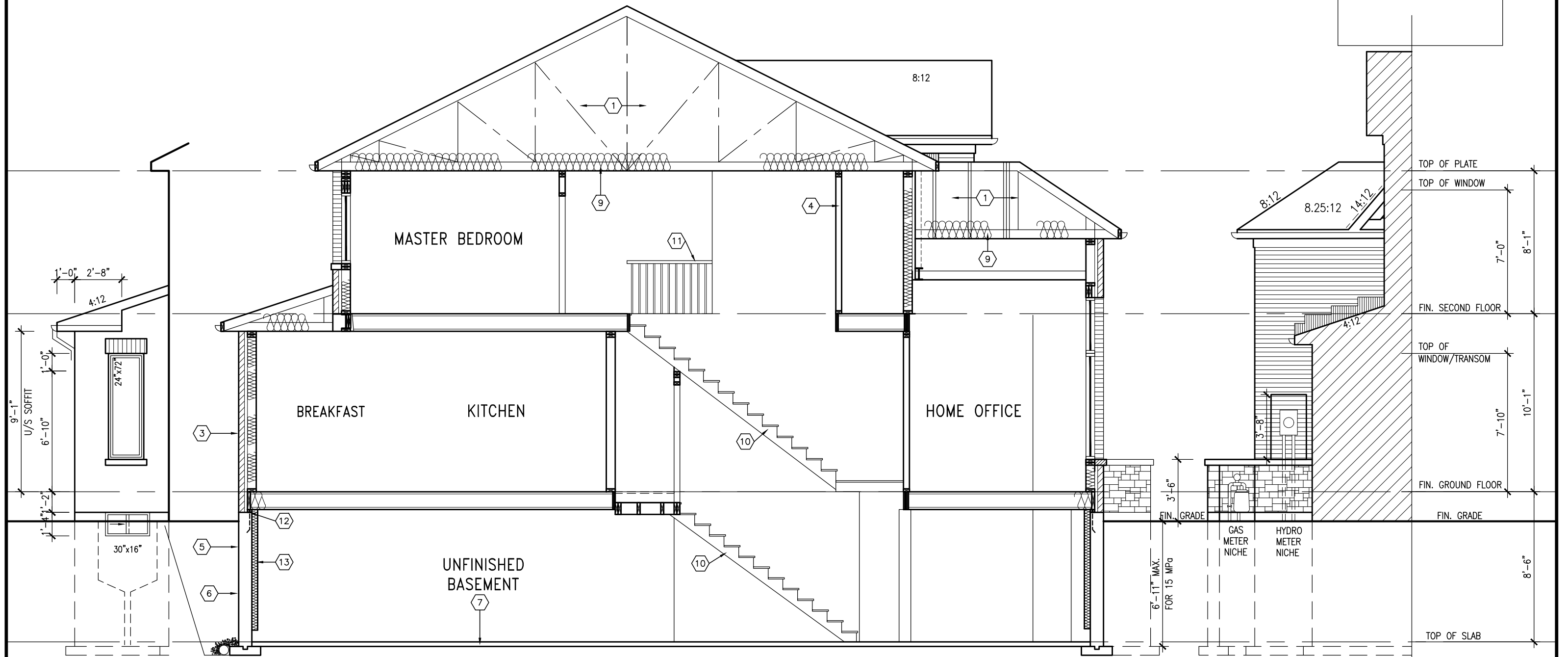
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SIDE ELEV.

SECTION A-A ELEV. 3

SECTION B

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GLAZING PROVIDED =12.50 SQ. FT. (GLASS AREA ONLY)

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scale
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file name
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drawing no.
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IVY 2
ENERGY STAR/PANEL

IVY 2
project no.
16015

1641 SF.

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IVY 2
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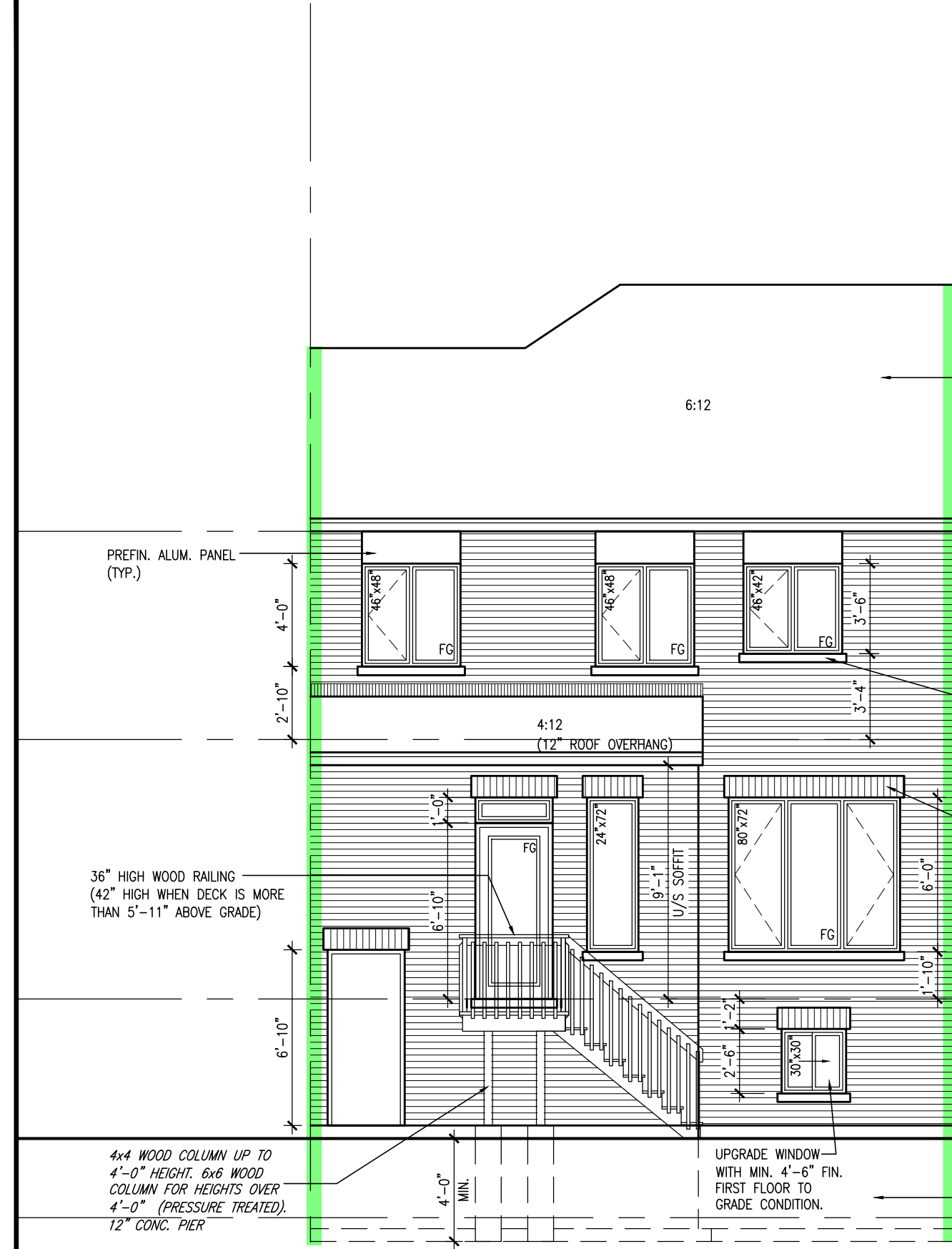
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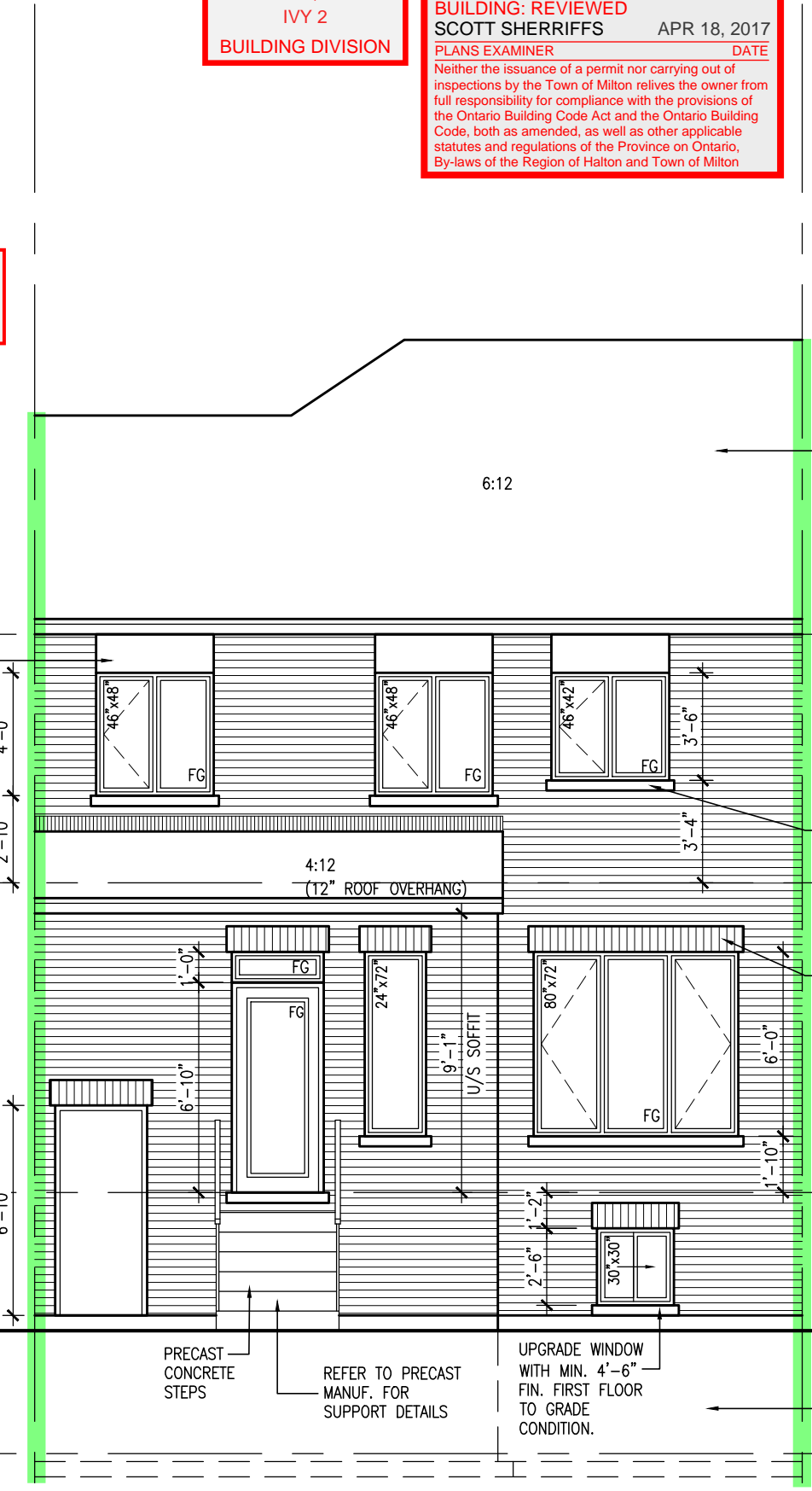
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construction details



REAR ELEVATION ELEV. 3
DECK CONDITION (8R OR MORE)

DECK DETAILS
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construction details

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Greenpark.		IVY 2	
project name LECCO RIDGE DEV. INC.		municipality TOWN OF MILTON	project no. 16015
date 2016-07	drawn by AF		checked by 3/16" = 1'-0"
scale 3/16" = 1'-0"		file name 16015-IVY-2	drawing no. A7b
drawing title REAR ELEVATION ELEV. 3 - DECK CONDITION			
drawing date 2016-07			
drawing time 4:09 PM			