

1578 SF.

PAD FOOTINGS

120 KPa. NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa. ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 7/16" L (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 7/16" L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L)
L2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L)
L3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L)
L4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L)
L5 = 6" x 4" x 7/16" L (152x102x11.0L)
L6 = 7" x 4" x 7/16" L (178x102x11.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8" to 9" CEILING	HEIGHT 10" OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

GENERAL NOTES/CONSTRUCTION DETAILS

Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWNHOUSE MODELS

Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

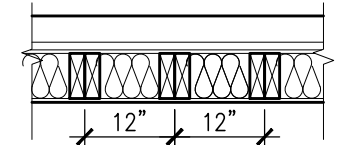
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT
WALL DETAIL

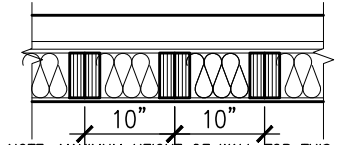
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT
WALL DETAIL

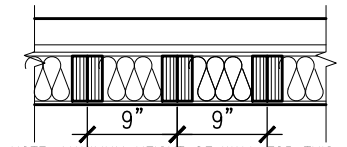
2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT
WALL DETAIL

2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1.(7))			
IVY-1 ELEVATION 1	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	448.35 S.F.	80.68 S.F.	17.99 %
LEFT SIDE	876.03 S.F.	11.33 S.F.	1.29 %
RIGHT SIDE	876.03 S.F.	20.5 S.F.	2.34 %
REAR	448.35 S.F.	115.91 S.F.	25.85 %
TOTAL SQ. FT.	2648.76 S.F.	228.42 S.F.	8.62 %
TOTAL SQ. M.	246.08 S.M.	21.22 S.M.	8.62 %

AREA CALCULATIONS

GROUND FLOOR AREA 726 SF
SECOND FLOOR AREA 852 SF

TOTAL FLOOR AREA 1578 SF
(146.60 m2)

FIRST FLOOR OPEN AREA XX SF
SECOND FLOOR OPEN AREA XX SF
ADD TOTAL OPEN AREAS +XX SF
ADD FINISHED BSMT AREA +XX SF

GROSS FLOOR AREA 1578 SF
(146.60 m2)

GROUND FLOOR COVERAGE 726 SF
GARAGE COVERAGE/AREA 315 SF
PORCH COVERAGE/AREA 89 SF

COVERAGE W/ PORCH 1130 SF
(104.98 m2)

COVERAGE W/O PORCH 1041 SF
(96.71 m2)

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1.(7))			
IVY-1 ELEVATION 2	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	448.35 S.F.	69.07 S.F.	15.41 %
LEFT SIDE	876.03 S.F.	11.33 S.F.	1.29 %
RIGHT SIDE	876.03 S.F.	20.5 S.F.	2.34 %
REAR	448.35 S.F.	115.91 S.F.	25.85 %
TOTAL SQ. FT.	2648.76 S.F.	216.81 S.F.	8.19 %
TOTAL SQ. M.	246.08 S.M.	20.14 S.M.	8.19 %

AREA CALCULATIONS

GROUND FLOOR AREA 726 SF
SECOND FLOOR AREA 852 SF

TOTAL FLOOR AREA 1578 SF
(146.60 m2)

FIRST FLOOR OPEN AREA XX SF
SECOND FLOOR OPEN AREA XX SF
ADD TOTAL OPEN AREAS +XX SF
ADD FINISHED BSMT AREA +XX SF

GROSS FLOOR AREA 1578 SF
(146.60 m2)

GROUND FLOOR COVERAGE 726 SF
GARAGE COVERAGE/AREA 315 SF
PORCH COVERAGE/AREA 89 SF

COVERAGE W/ PORCH 1130 SF
(104.98 m2)

COVERAGE W/O PORCH 1041 SF
(96.71 m2)

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1.(7))			
IVY-1 ELEVATION 3	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	448.35 S.F.	66.00 S.F.	14.72 %
LEFT SIDE	876.03 S.F.	11.33 S.F.	1.29 %
RIGHT SIDE	876.03 S.F.	20.5 S.F.	2.34 %
REAR	448.35 S.F.	115.91 S.F.	25.85 %
TOTAL SQ. FT.	2648.76 S.F.	213.74 S.F.	8.07 %
TOTAL SQ. M.	246.08 S.M.	19.86 S.M.	8.07 %

AREA CALCULATIONS

GROUND FLOOR AREA 726 SF
SECOND FLOOR AREA 860 SF

TOTAL FLOOR AREA 1586 SF
(147.34 m2)

FIRST FLOOR OPEN AREA XX SF
SECOND FLOOR OPEN AREA XX SF
ADD TOTAL OPEN AREAS +XX SF
ADD FINISHED BSMT AREA +XX SF

GROSS FLOOR AREA 1586 SF
(147.34 m2)

GROUND FLOOR COVERAGE 726 SF
GARAGE COVERAGE/AREA 315 SF
PORCH COVERAGE/AREA 89 SF

COVERAGE W/ PORCH 1130 SF
(104.98 m2)

COVERAGE W/O PORCH 1041 SF
(96.71 m2)



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	ISSUED FOR PERMIT.	MAR. 01/17	GW	Richard Vink 24488
6	ISSUED FOR PRICING.	DEC. 21/16	GW	signature BCIN
5	REVISED PER CLIENT.	OCT 3/16	GW	name registration information
4	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	VA3 Design Inc. 42658
3	REPLACED PATIO DR. w/ GARDEN DOOR.	AUG 25/16	GW	
2	PLANS/ELEV. REVISED.	AUG. 22/16	GW	
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



ENERGY STAR- V 12.7



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



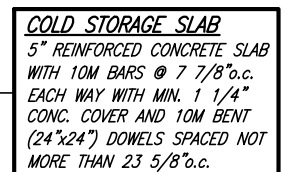
project name		municipality		project no.
LECCO RIDGE DEV. INC.		TOWN OF MILTON		16015
date	checked by	scale	file name	drawing no.
JULY 2016	ARM	3/16" = 1'-0"	16015-IVY-1	A0
TYPICAL NOTES AND AREAS				
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\WY\WY 1\16015-IVY-1.dwg - Wed - Mar 1 2017 - 8:29 AM				

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MAR 2/0 2017

John G. Williams Limited, Architect



ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

BASEMENT PLAN - ELEV. 1



BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

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7	ISSUED FOR PERMIT.	MAR. 01/17	GW	Richard Vink
6	ISSUED FOR PRICING.	DEC. 21/16	GW	signature
5	REVISED PER CLIENT.	OCT 3/16	GW	name
4	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	registration information
3	REPLACED PATIO DR. w/ GARDEN DOOR.	AUG 25/16	GW	VA3 Design Inc.
2	CEILING/ELEV. REVISED.	AUG. 22/16	GW	4265
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings not to be scaled.
no.	description	date	by	



VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name
LECCO RIDGE DEV. INC.

TOWN OF MILTON
municipality

BASEMENT PLAN - ELEV. 1

date
JULY 2016

drawn by

ARM	
GREG	USA

checked

GW
PARKING 2010

scale

16" = 1'

IVY-1

1

10

project no.
6015

ing no.

1

11

1

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1578 SF.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

GARAGE AIR BARRIER

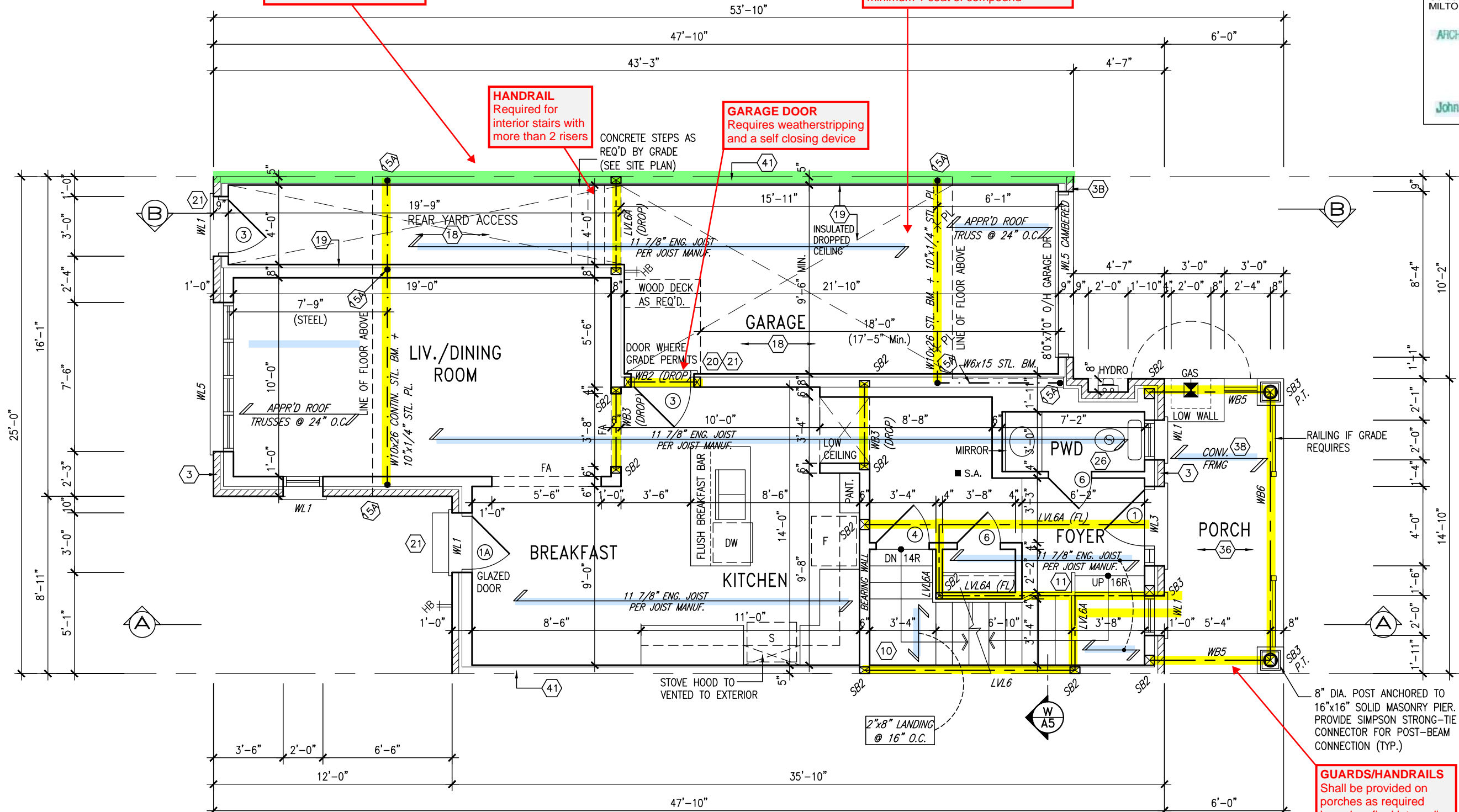
Garage walls/ceiling required to
include an air barrier system. Gypsum
board used as an air barrier requires
all joints to be sealed with tape and a
minimum 1 coat of compound

HANDRAIL

Required for
interior stairs with
more than 2 risers

GARAGE DOOR

Requires weatherstripping
and a self closing device



GUARDS/HANDRAILS

Shall be provided on
porches as required
based on final lot grading

ENGINEERED FLOOR SYSTEM

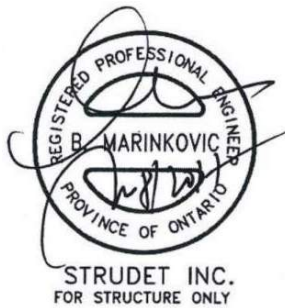
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

GROUND FLOOR PLAN - ELEV. 1

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

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2	PLANS/ELEV. REVISED.	AUG. 22/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658

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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON

date
JULY 2016 checked by
ARM scale
3/16" = 1'-0"

file name
16015-IVY-1
drawing no.
A2

IVY-1
ENERGY STAR/PANEL

IVY-1

project no.
16015

drawing no.
A2

GROUND FLOOR PLAN - ELEV. 1

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MAR 29, 2017
IVY 1
BUILDING DIVISION

1578 SF.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

TOWNHOUSE MODELS

Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING

See standard details page 8
for required main bathroom
grab bar reinforcing

SECOND FLOOR PLAN - ELEV. 1

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

**TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL**

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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1			
no.	description	date	by

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qualification information
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signature BCIN
VA3 Design Inc. 42658
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**VA3
DESIGN**

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON

date
JULY 2016
drawn by
ARM

checked by
GW
scale
3/16" = 1'-0"

SECOND FLOOR PLAN - ELEV. 1

IVY-1

project no.
16015

drawing no.
A3

1578 SF.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

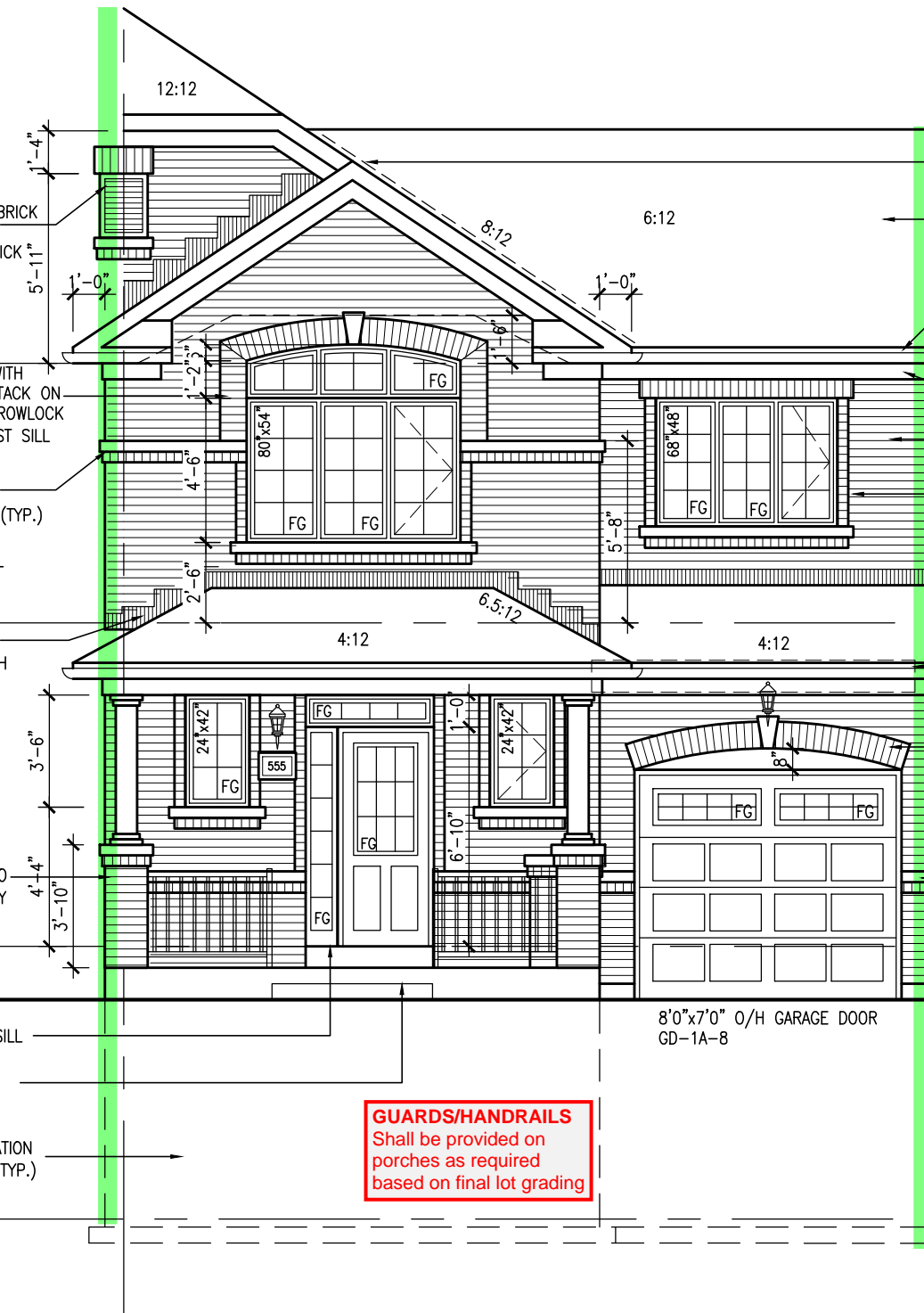
ROOF PLAN
ELEV. 1



REAR ELEVATION
ELEV. 1

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

FRONT ELEVATION
ELEV. 1

IVY-1
ENERGY STAR/PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7	ISSUED FOR PERMIT.	MAR. 01/17	GW	qualification information
6	ISSUED FOR PRICING.	DEC. 21/16	GW	Richard Vink 24488
5	REVISED PER CLIENT.	OCT 3/16	GW	signature BCIN
4	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	name registration information
3	REPLACED PATIO DR. w/ GARDEN DOOR.	AUG 25/16	GW	VA3 Design Inc. 42658
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no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

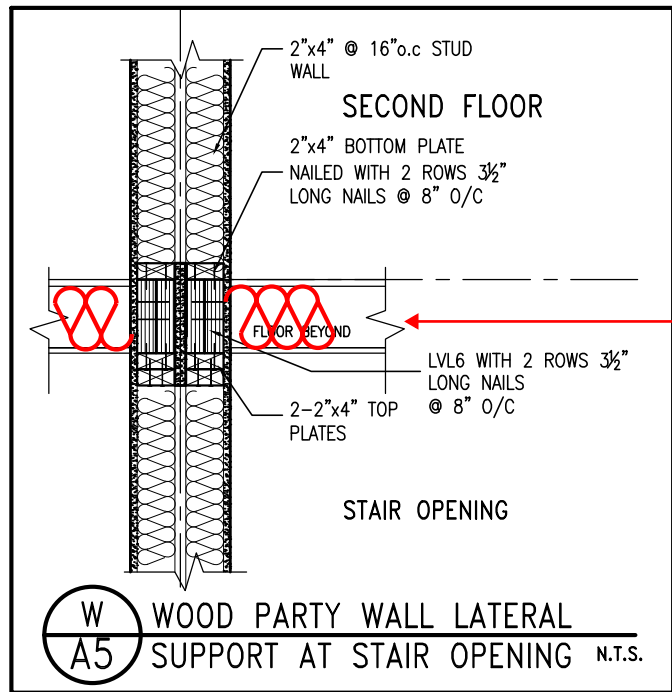
Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
JULY 2016
drawn by
ARM
checked by
GW
scale
3/16" = 1'-0"
file name
16015-IVY-1
drawing no.
A4

IVY-1
-
project no.
16015
drawing no.
A4

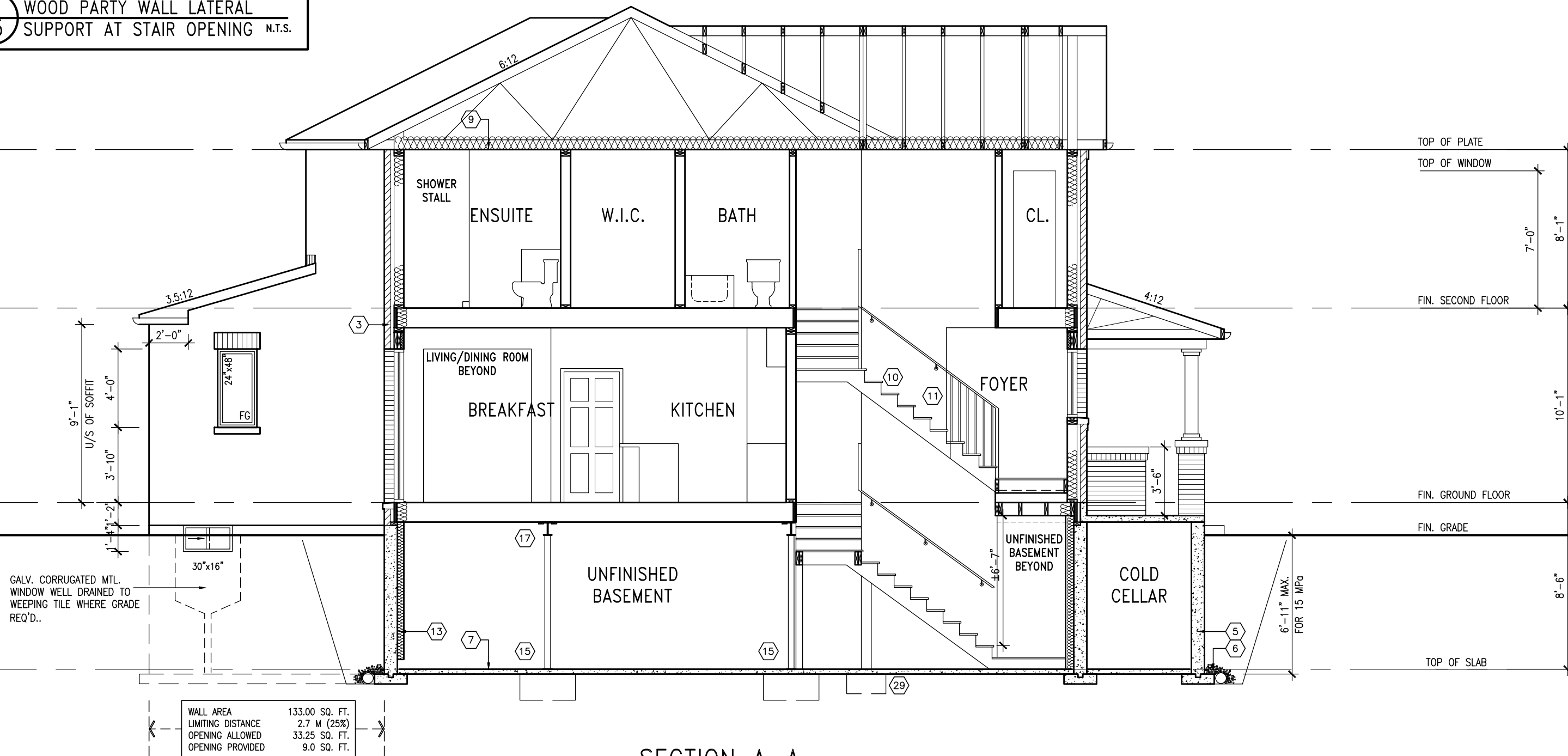
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PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



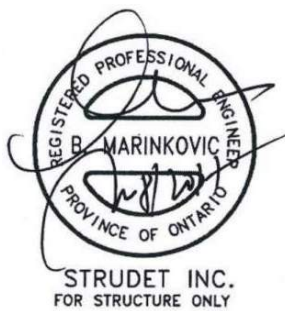
SECTION A-A
ELEV. 1

IVY-1
ENERGY STAR/PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

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qualification information
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signature
name
registration information
VA3 Design Inc. 42658
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VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON

date
JULY 2016
drawn by
ARM
checked by
GW
scale
3/16" = 1'-0"

SECTION A-A, ELEV. 1
file name
16015-IVY-1
drawing no.
A5

GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\1\16015-IVY-1.dwg - Mon - Apr 10 2017 - 3:41 PM

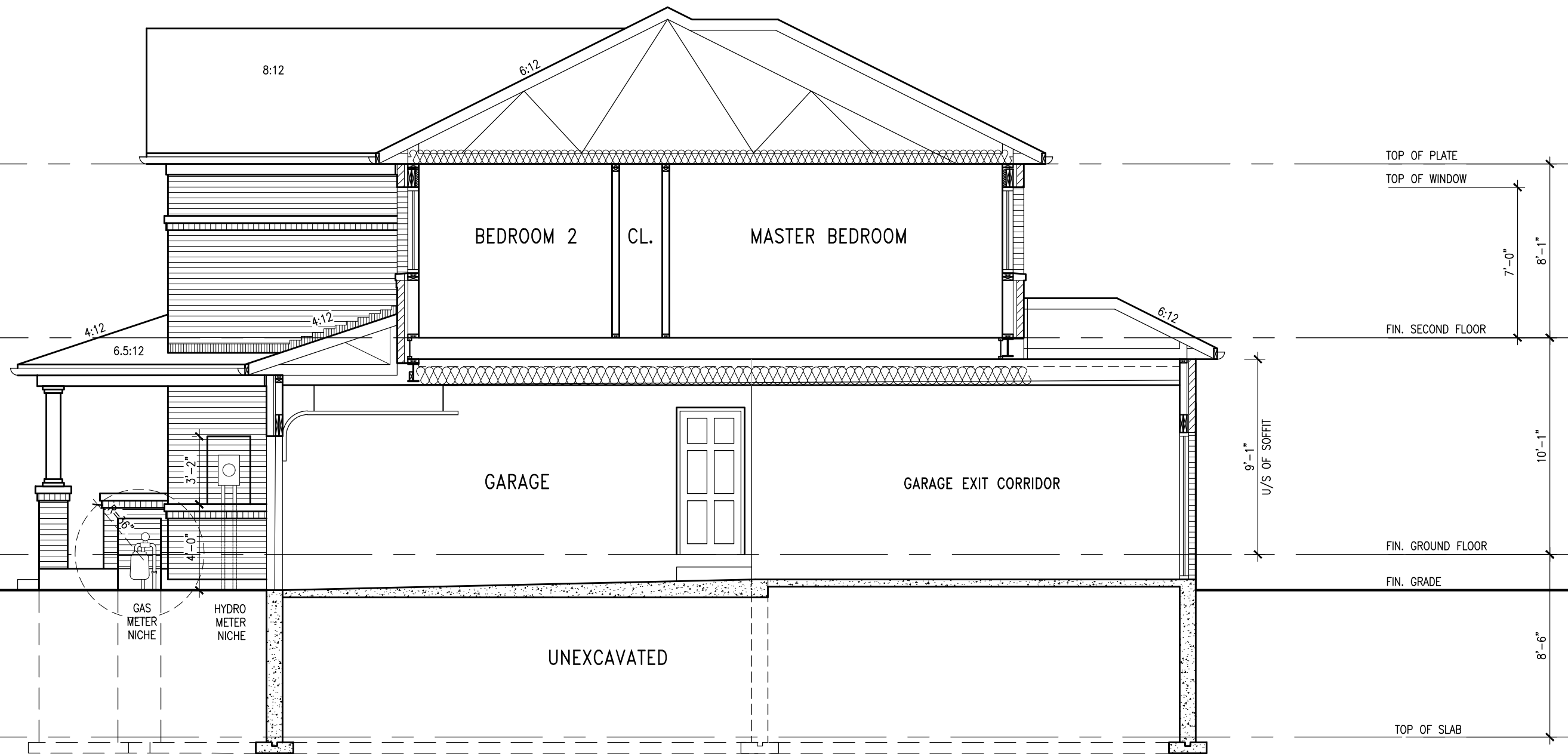
IVY-1
project no.
16015

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

1578 SF.


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SECTION B-B
ELEV. 1

IVY-1
ENERGY STAR/PANEL



TOWN OF MILTON

PLANNING AND DEVELOPMENT

IVY 1 MODEL

BUILDING: REVIEWED

SCOTT SHERRIFFS

PLANS EXAMINER

APR 18, 2017

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REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

PROVINCE OF ONTARIO

STRUDET INC.

FOR STRUCTURE ONLY

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no.	description	date	by	

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qualification information

Richard Vink

signature

24488

BCIN

name

registration information

VA3 Design Inc.

42658

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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name
LECCO RIDGE DEV. INC.

municipality
TOWN OF MILTON

IVY-1

project no.
16015

date
JULY 2016
drawn by
ARM
checked by
GW
scale
3/16" = 1'-0"

SECTION B-B, ELEV. 1

file name
16015-IVY-1

drawing no.
A6

GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 1\16015-IVY-1.dwg - Mon - Apr 10 2017 - 3:41 PM

1578 SF.

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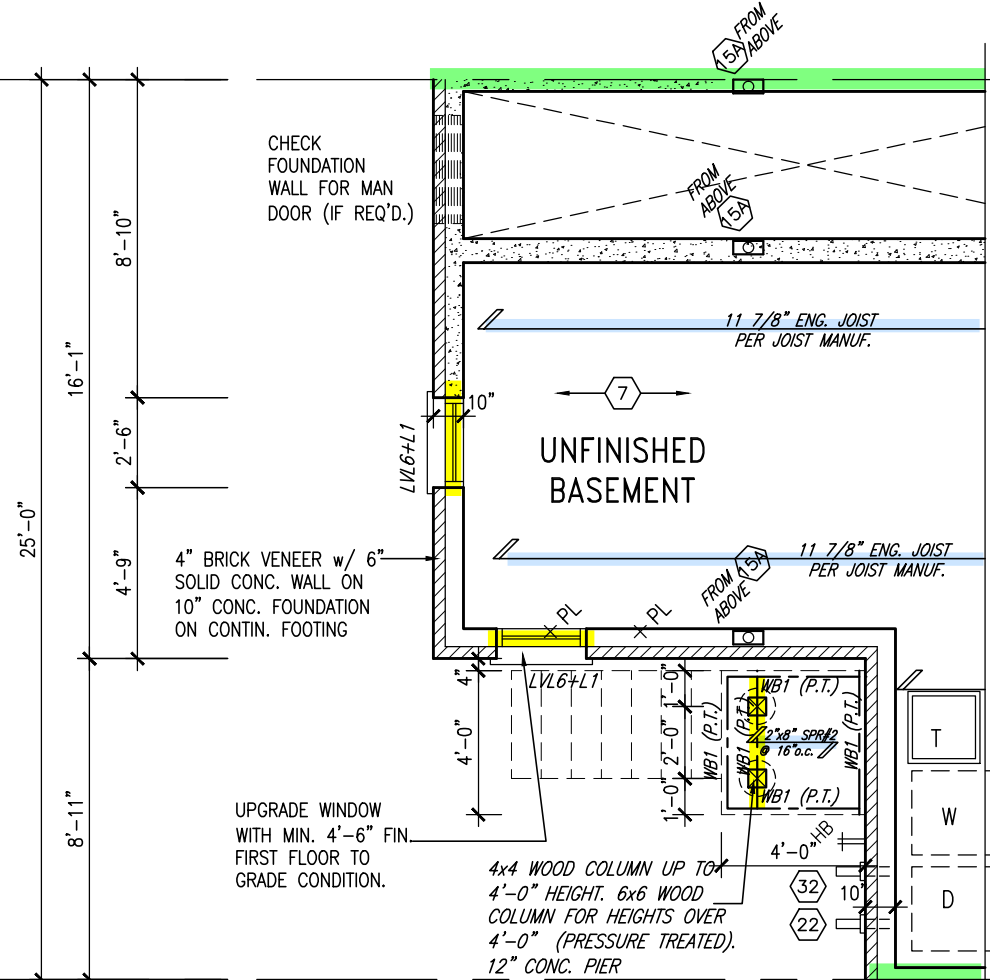
ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

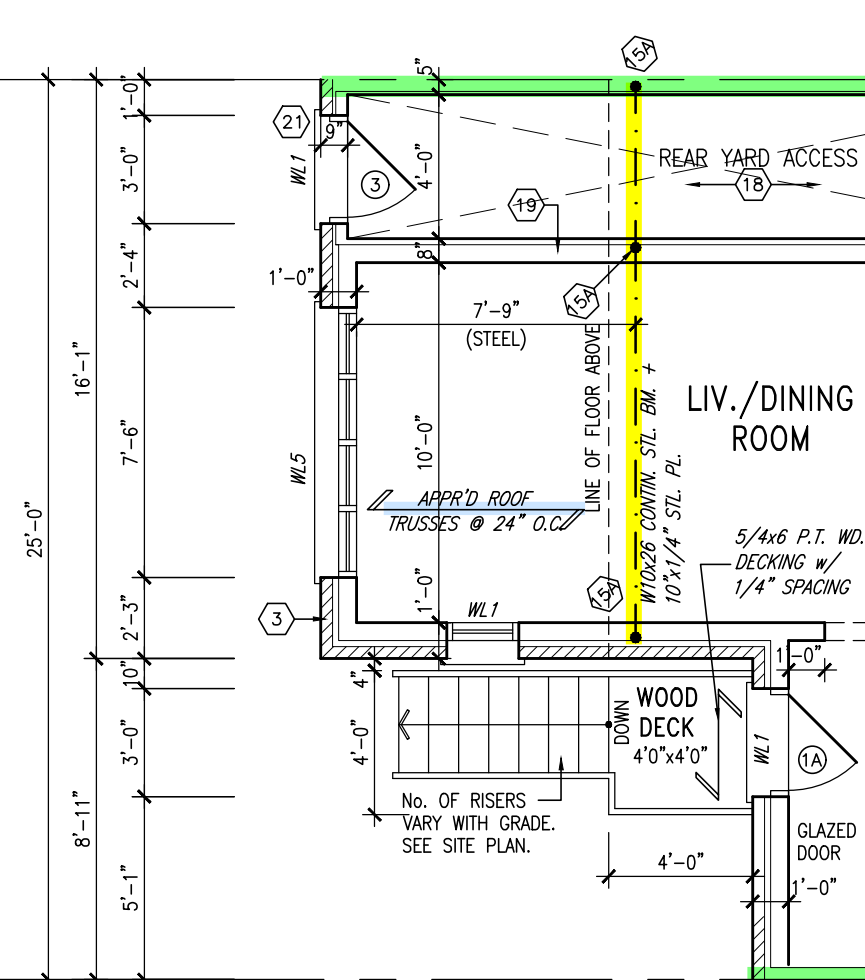
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL (FIRE SEPARATION)

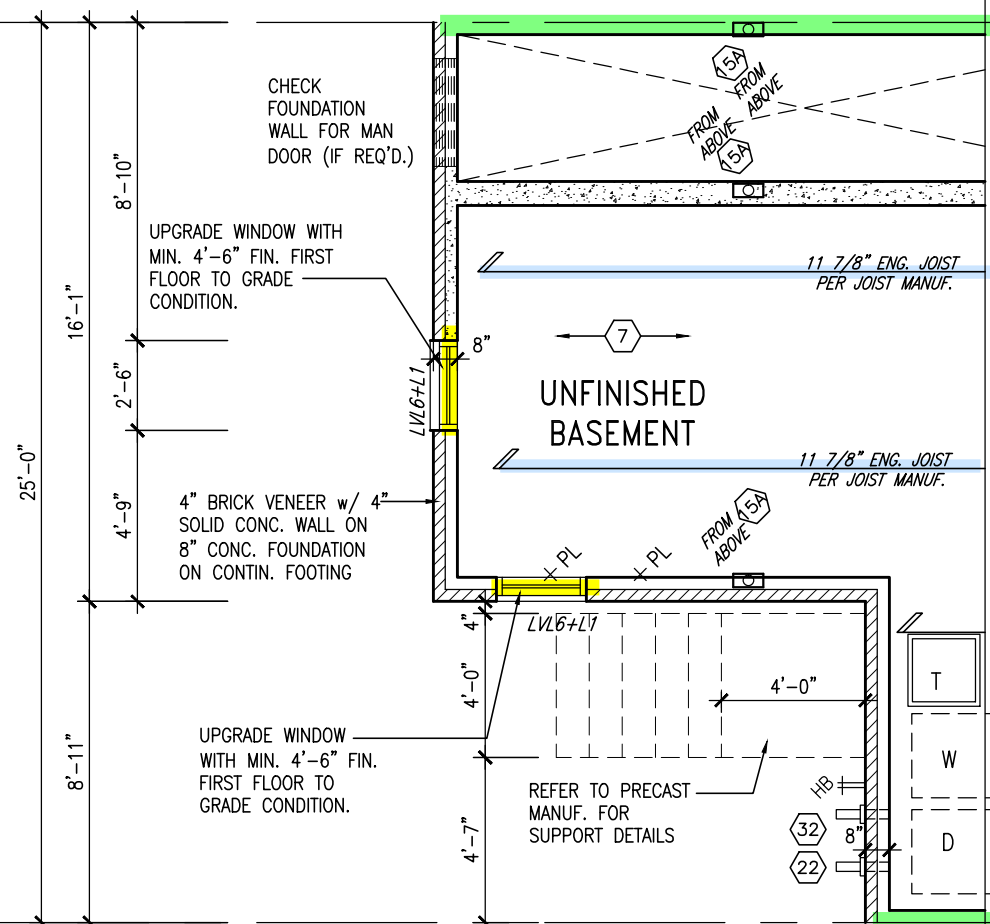
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



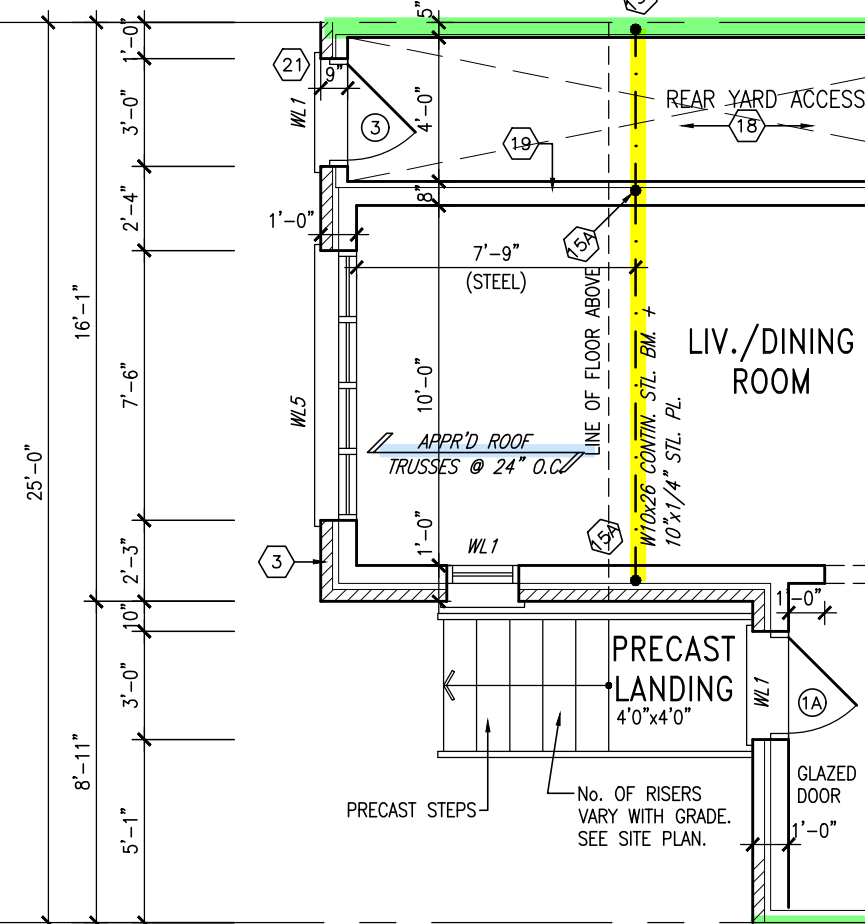
PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)



PART. BASEMENT PLAN W.O.D
CONDITION (7R MAX.)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications for anchorage details for Parson's precast stair/landing

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

IVY-1
ENERGY STAR/PANEL



VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

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no.	description	date	by

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qualification information
Richard Vink 24488
name registration information BCIN
VA3 Design Inc. 42658
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VA3
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Toronto ON M2J 1R4
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va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
JULY 2016
checked by
ARM
scale
3/16" = 1'-0"
file name
16015-IVY-1
drawing no.
A7

1578 SF.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL
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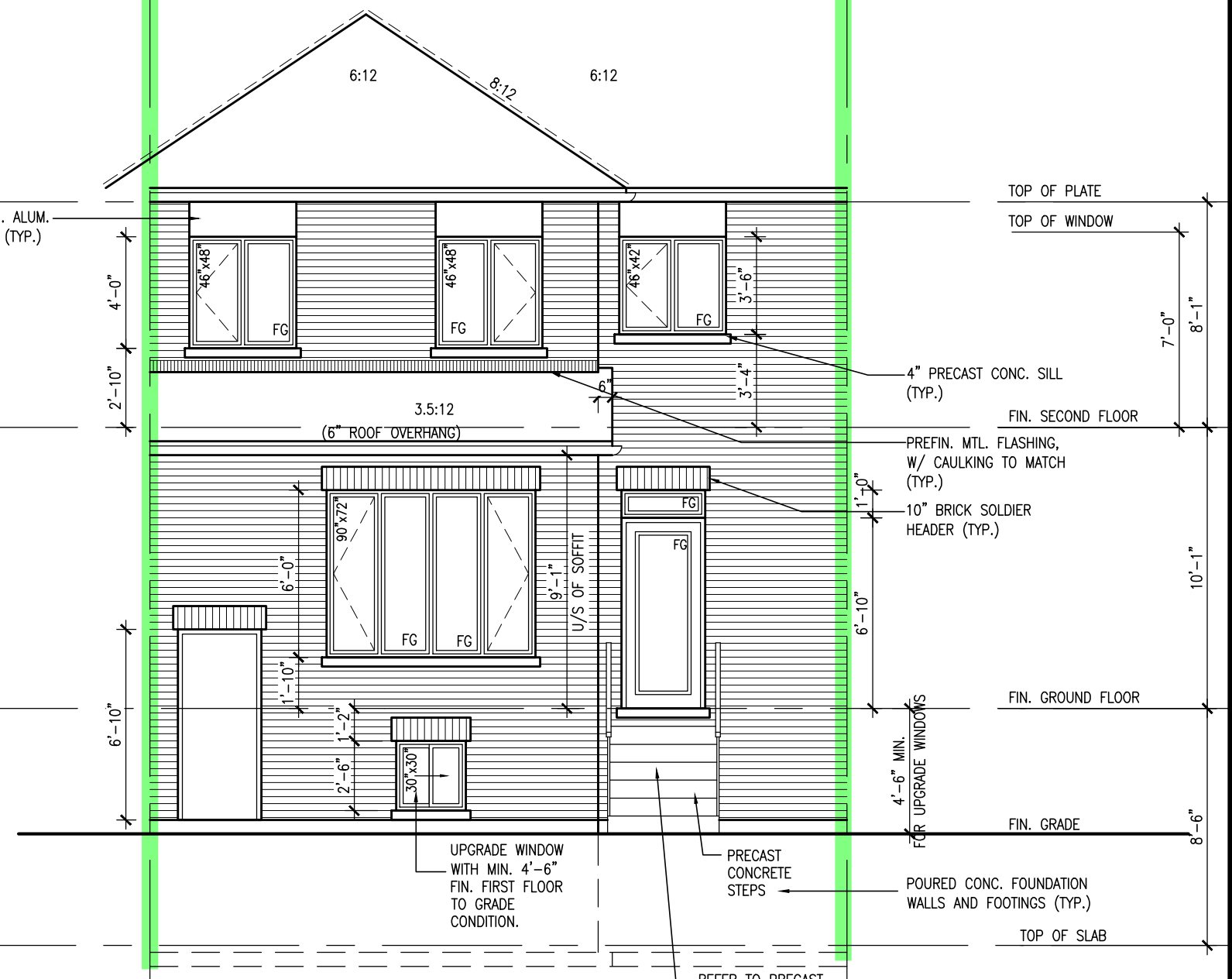
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



REAR ELEVATION ELEV. 1
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

IVY-1
ENERGY STAR/PANEL

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEV. INC.

project no.
16015

date
JULY 2016

drawn by
ARM

checked by
GW

scale
3/16" = 1'-0"

drawing no.
A8

IVY-1

ENERGY STAR/PANEL

REAR ELEVATION ELEV.1 - DECK CONDITION

file name
16015-IVY-1

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1578 SF.

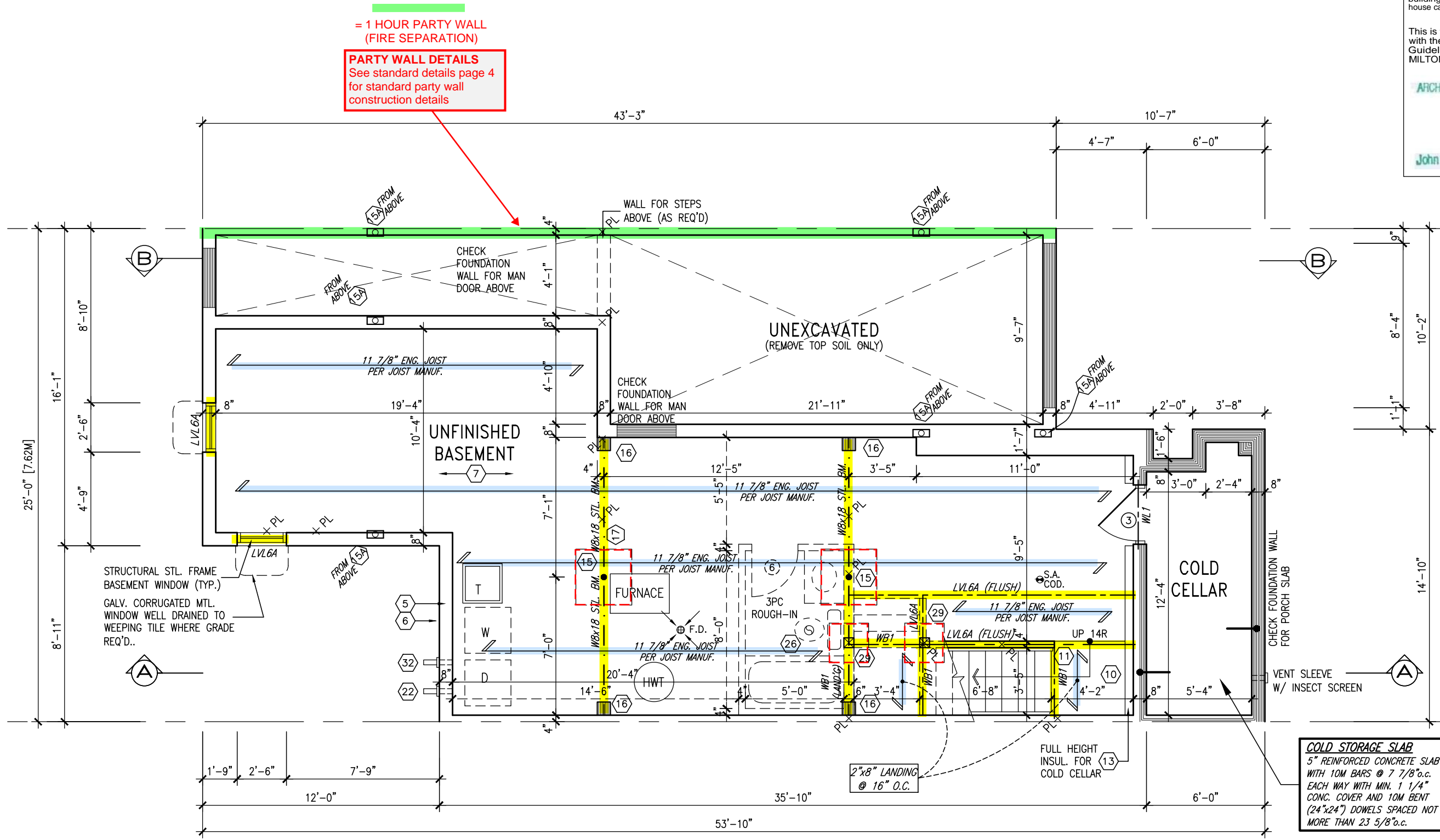
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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect



BASEMENT PLAN - ELEV. 2

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
APR 18, 2017
DATE

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Greenpark.

project name
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date
JULY 2016

checked by
ARM

scale
3/16" = 1'-0"

project no.
16015

drawing no.
A1a

BASEMENT PLAN - ELEV. 2

IVY-1

ENERGY STAR/PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

1578 SF.

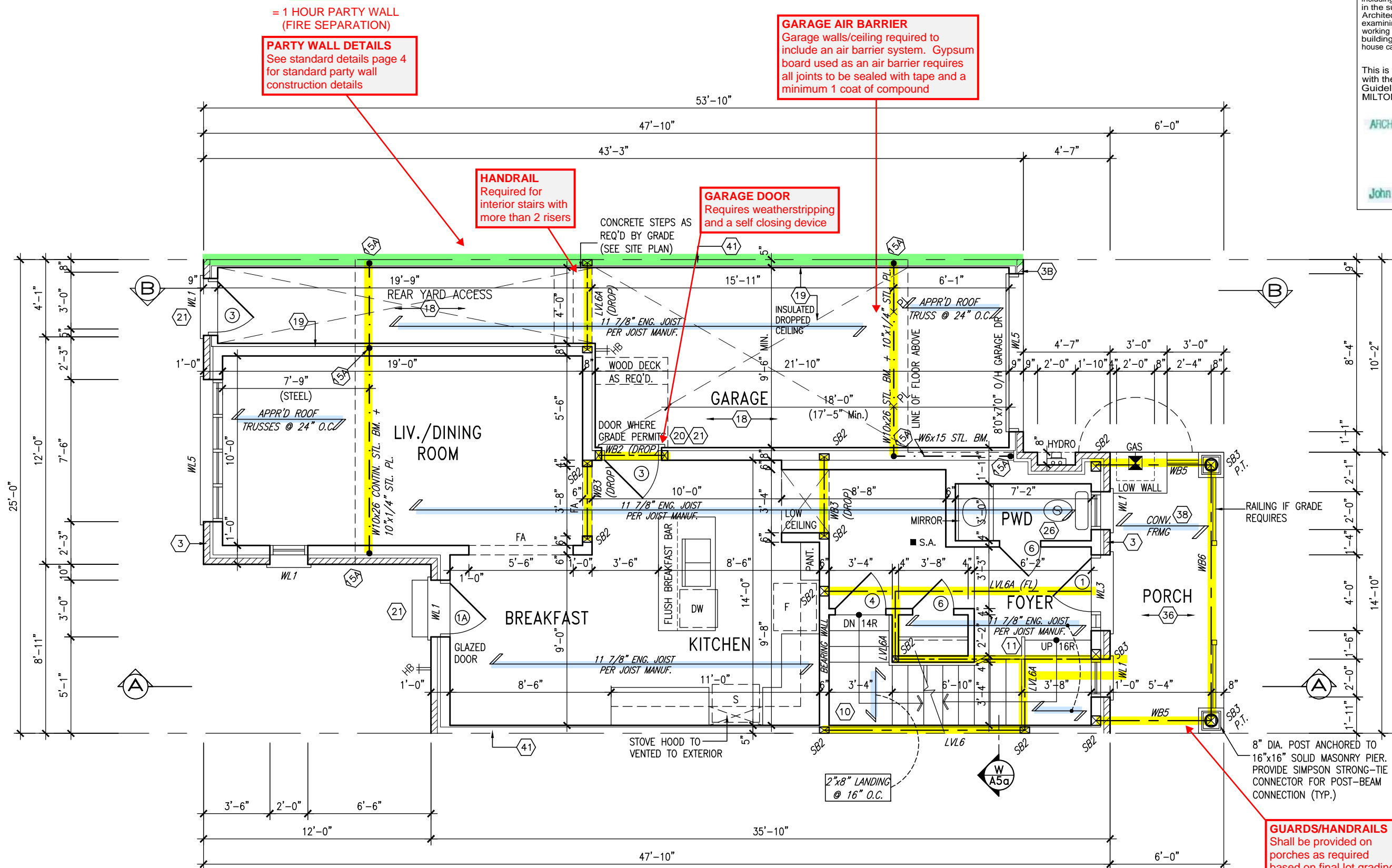
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MAR 20 2017

John G. Williams Limited, Architect



GROUND FLOOR PLAN - ELEV. 2

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be read in conjunction with reviewed engineered floor system layout

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

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PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

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va3design.com

project name	LECCO RIDGE DEV. INC.	municipality	TOWN OF MILTON	project no.	16015
date	JULY 2016	checked by	scale	3/16" = 1'-0"	16015-IVY-1
drawn by	ARM	checked by	scale	3/16" = 1'-0"	16015-IVY-1
GROUND FLOOR PLAN - ELEV. 2					drawing no.
					A2a

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IVY-1
ENERGY STAR/PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

John G. Williams Limited, Architect



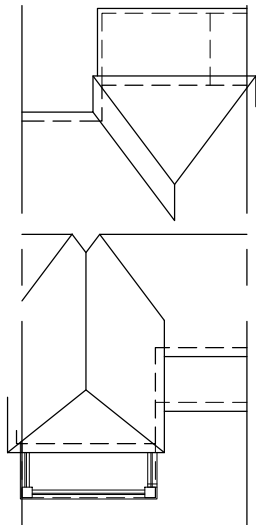
A3a

1578 SF.

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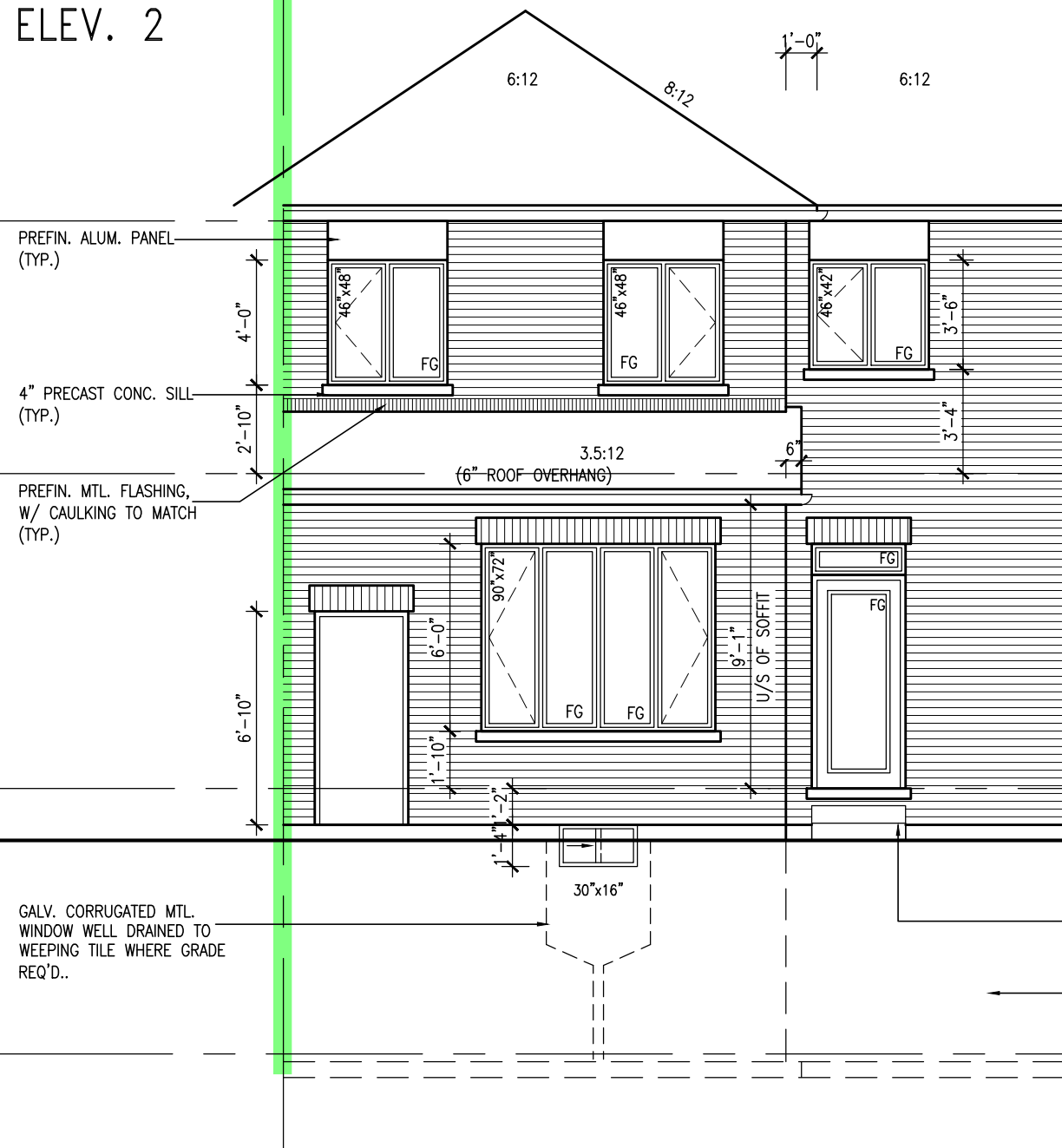
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect



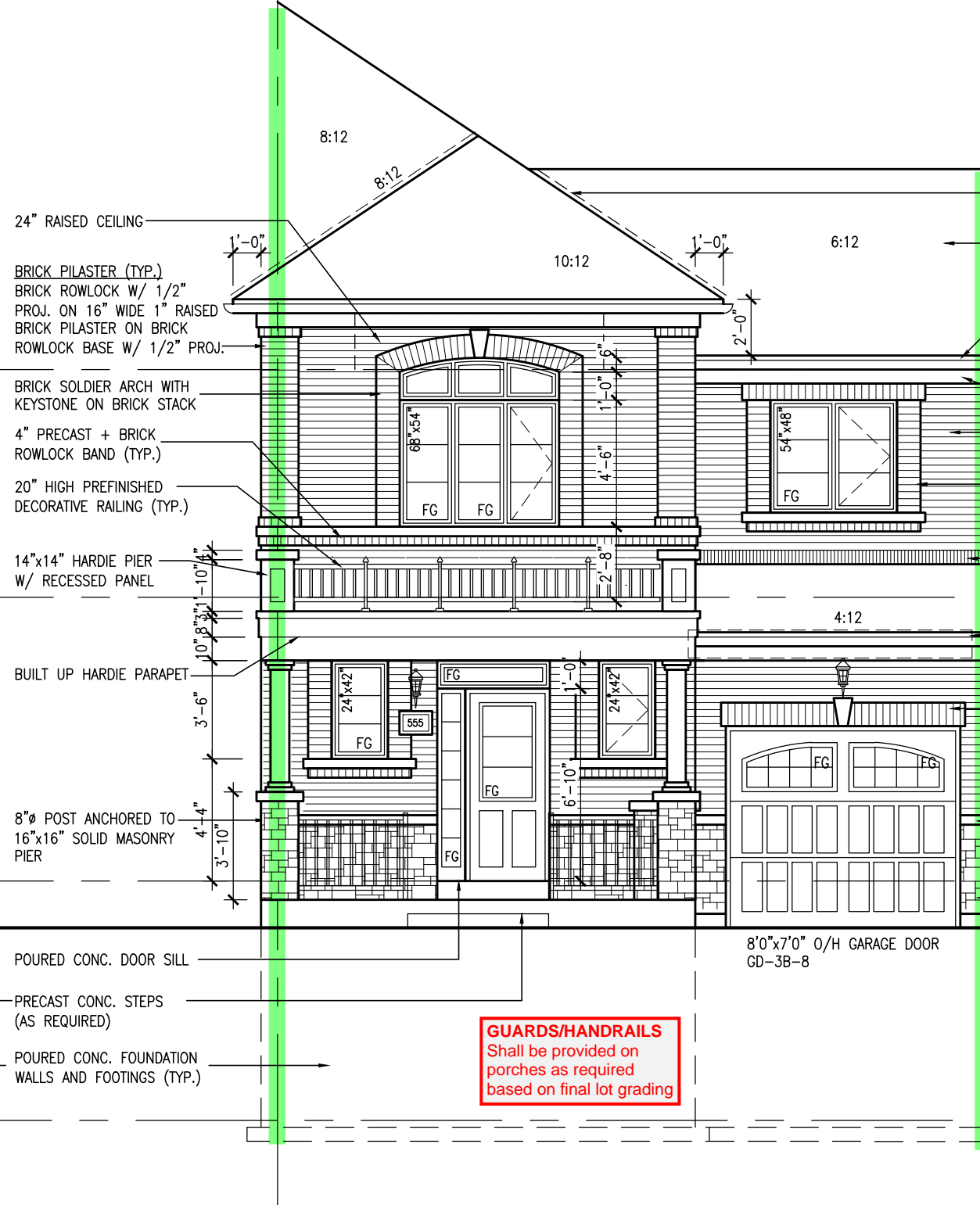
ROOF PLAN
ELEV. 2

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION
ELEV. 2



FRONT ELEVATION
ELEV. 2

IVY-1
ENERGY STAR/PANEL

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

TOWN OF MILTON
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IVY 1 MODEL
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5	REVISED PER CLIENT.	OCT 3/16	GW	name registration information BCIN
4	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	VA3 Design Inc. 42658
3	REPLACED PATIO DR. w/ GARDEN DOOR.	AUG 25/16	GW	
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no.	description	date	by	

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
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va3design.com

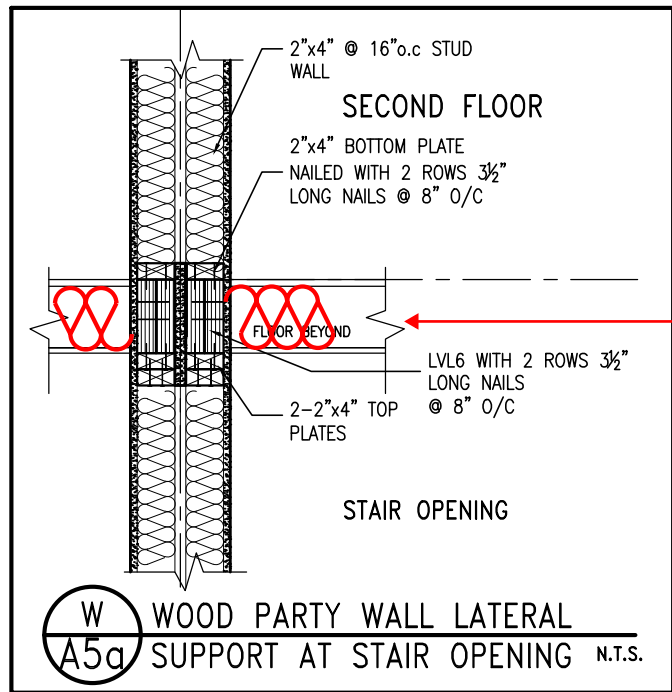
Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON
date
JULY 2016
drawn by
ARM
checked by
GW
scale
3/16" = 1'-0"
file name
16015-IVY-1
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\UNITS\IVY\IVY 1\16015-IVY-1.dwg - Mon - Apr 10 2017 - 3:41 PM

IVY-1
project no.
16015
drawing no.
A4a

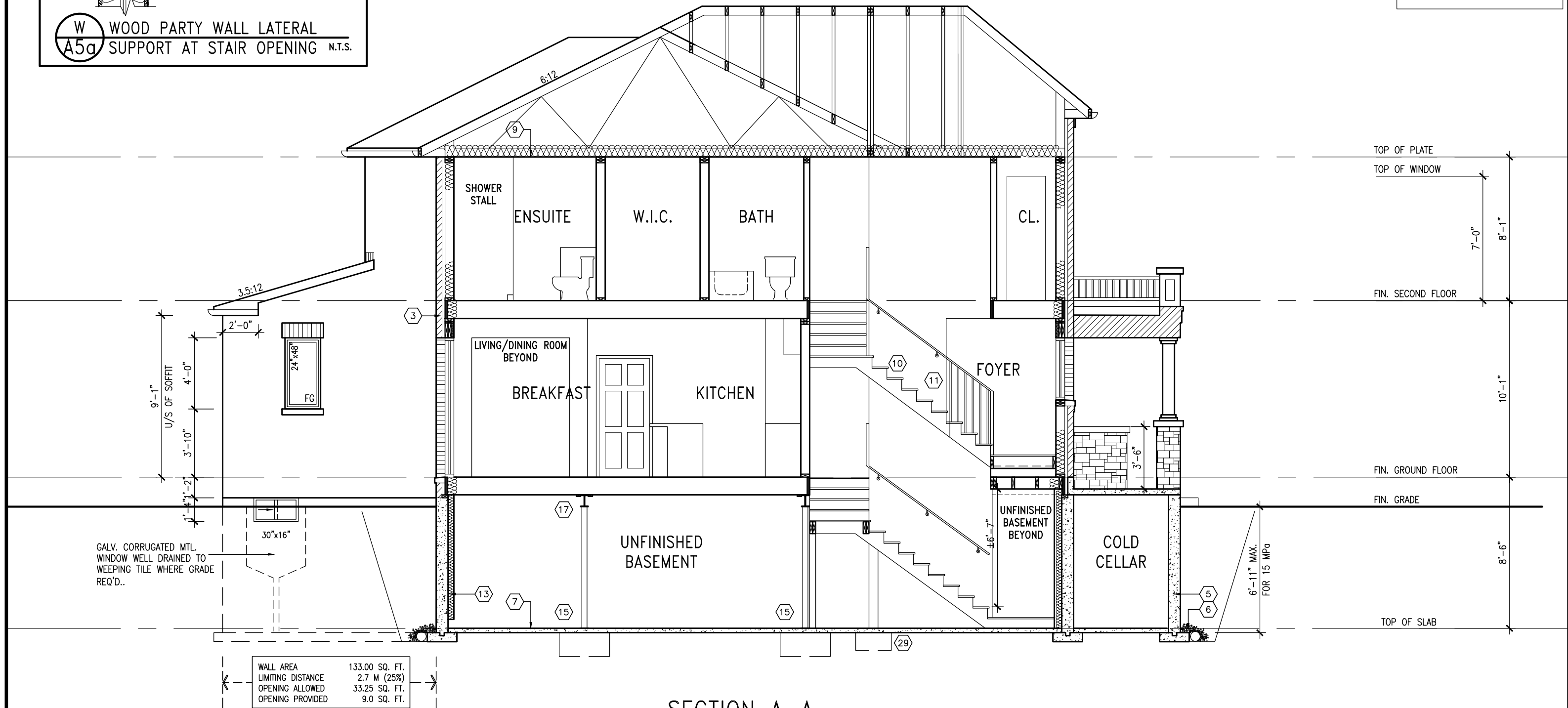
1578 SF.

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PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details



SECTION A-A
ELEV. 2

IVY-1
ENERGY STAR/PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

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qualification information
Richard Vink 24488
signature BCIN
name registration information
VA3 Design Inc. 42658

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va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON

date
JULY 2016
drawn by
ARM
checked by
GW
scale
3/16" = 1'-0"

SECTION A-A, ELEV. 2
file name
16015-IVY-1
drawing no.
A5a

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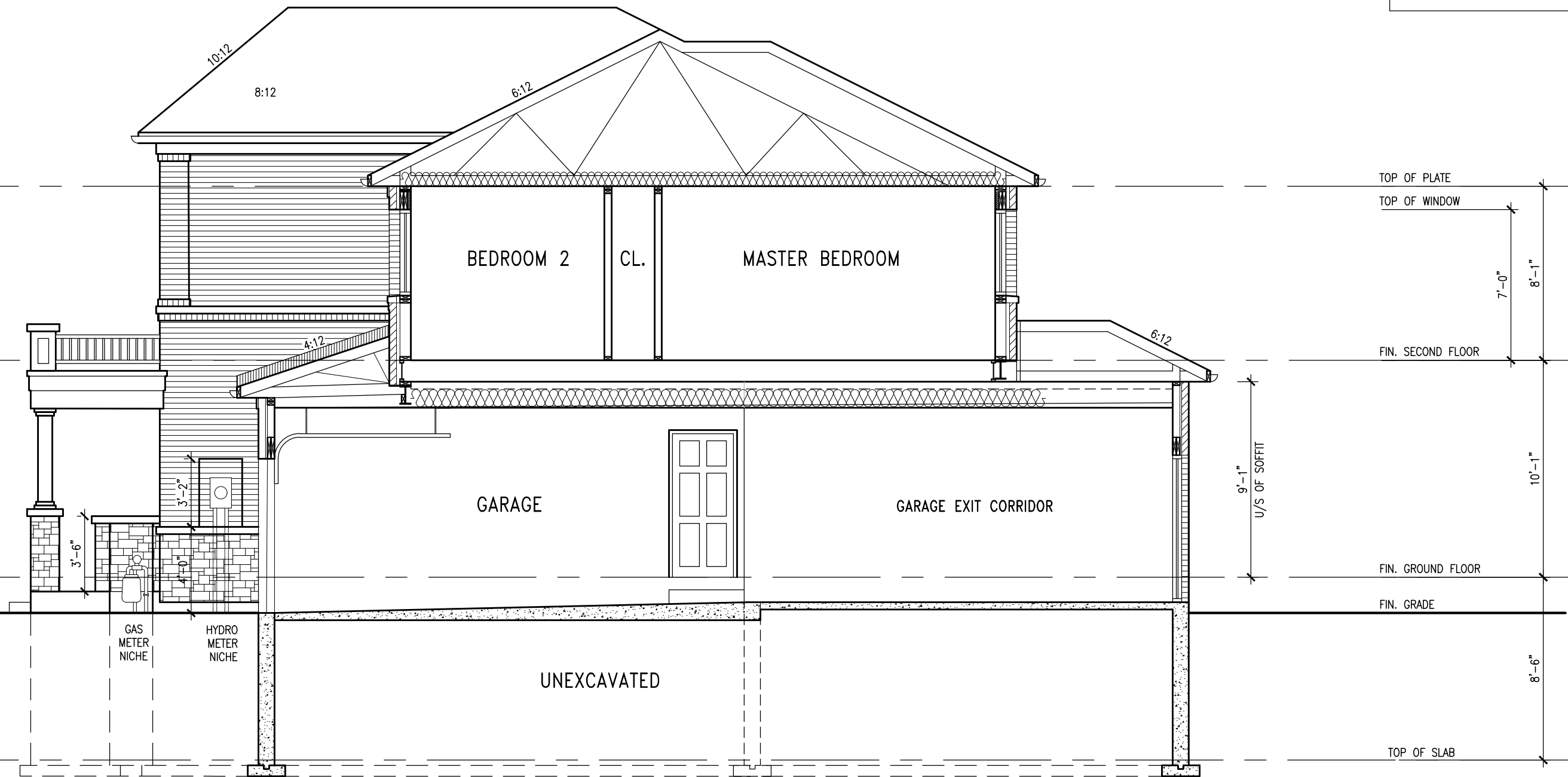
IVY-1
project no.
16015

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

1578 SF.


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SECTION B-B
ELEV. 2

IVY-1
ENERGY STAR/PANEL



TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS

DATE
APR 18, 2017

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DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 **Greenpark.**

project name **LECCO RIDGE DEV. INC.** municipality **TOWN OF MILTON**

date **JULY 2016** checked by **ARM** scale **3/16" = 1'-0"**

SECTION B-B, ELEV. 2
file name **16015-IVY-1**

IVY-1

project no. **16015**

drawing no. **A6a**

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TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED

SCOTT SHERRIFFS **APR 18, 2017**

PLANS EXAMINER **DATE**

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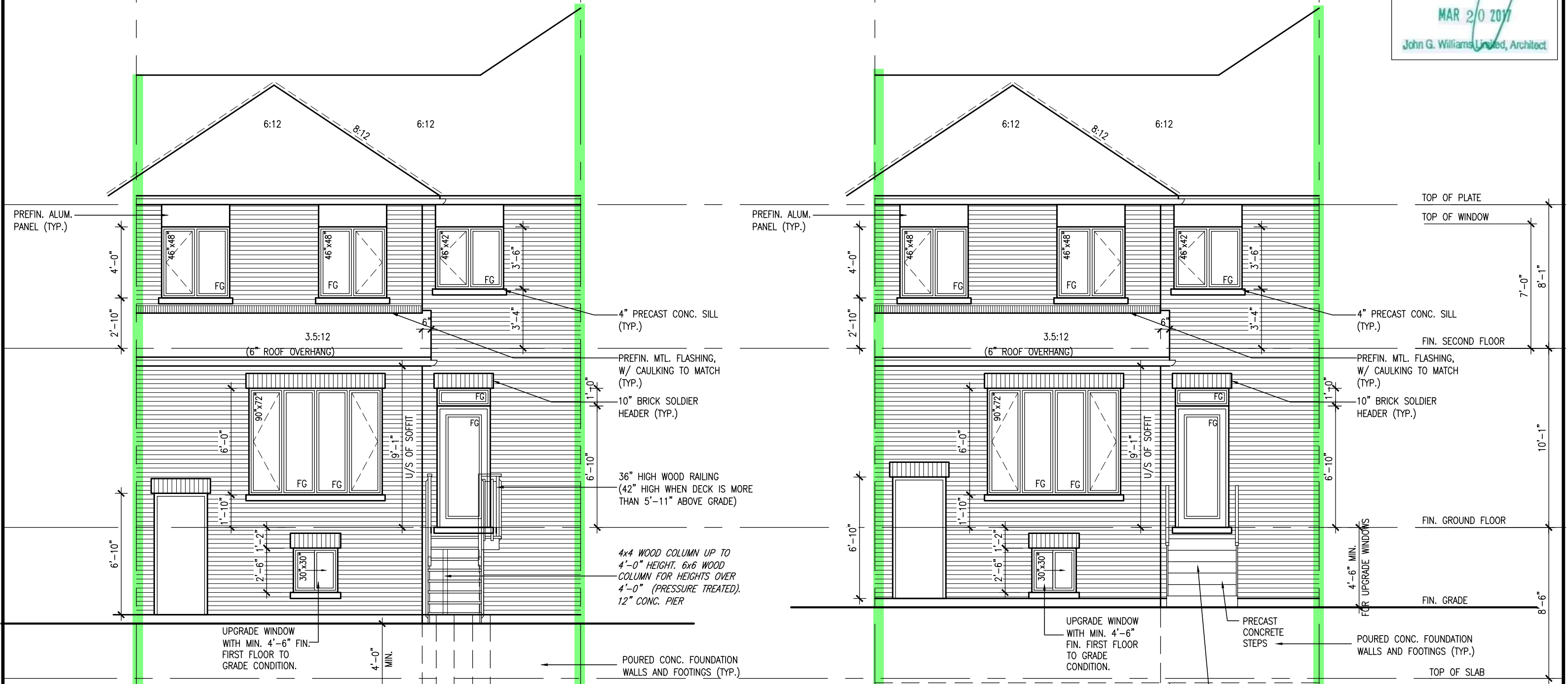
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 2
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details


REAR ELEVATION ELEV. 2
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

IVY-1
ENERGY STAR/PANEL

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		IVY-1 -	
project name LECCO RIDGE DEV. INC.		municipality TOWN OF MILTON	
date JULY 2016		project no. 16015	
drawn by ARM		drawing no. A8a	
checked by GW		scale 3/16" = 1'-0"	
file name 16015-IVY-1		title REAR ELEVATION ELEV. 2 - DECK CONDITION	
(G:\GRC - H:\ARCHIVE\WORKING\2016\16015 GRC\UNITS\IVY\IVY 1\16015-IVY-1.dwg - Mon - Apr 10, 2017 - 3:41 PM)			

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

1578 SF.

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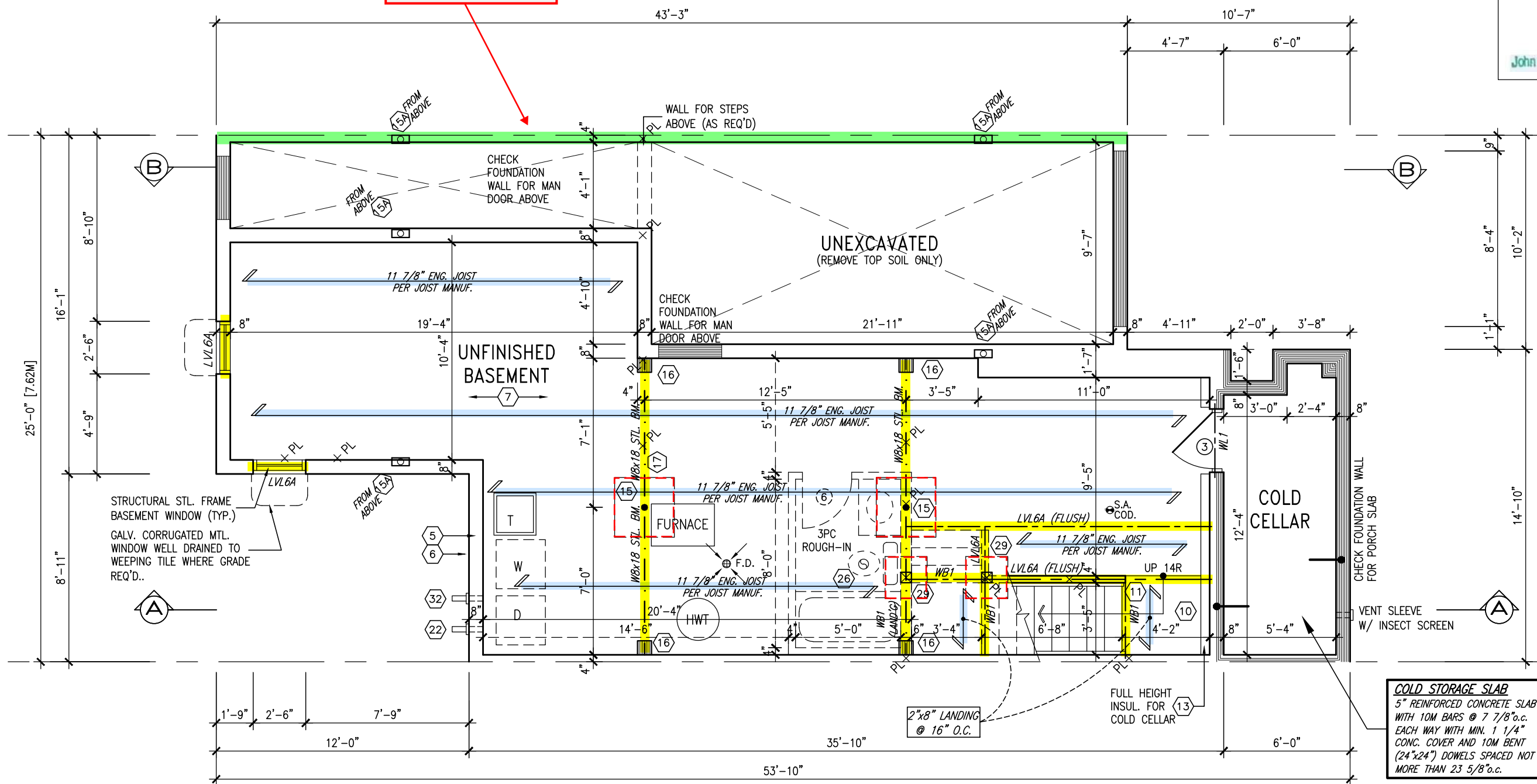
ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



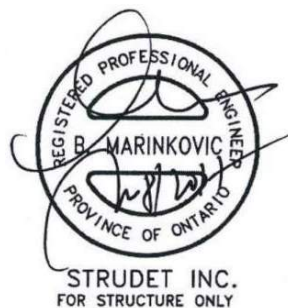
BASEMENT PLAN - ELEV. 3

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

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signature
name registration information
VA3 Design Inc. 42658

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va3design.com

Greenpark.
project name
LECCO RIDGE DEV. INC. municipality
TOWN OF MILTON

date
JULY 2016
drawn by
ARM
checked by
GW
scale
3/16" = 1'-0"

BASEMENT PLAN - ELEV. 3
file name
16015-IVY-1
drawing no.
A1b

IVY-1
ENERGY STAR/PANEL

IVY-1

project no.
16015

drawing no.
A1b

1578 SF.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

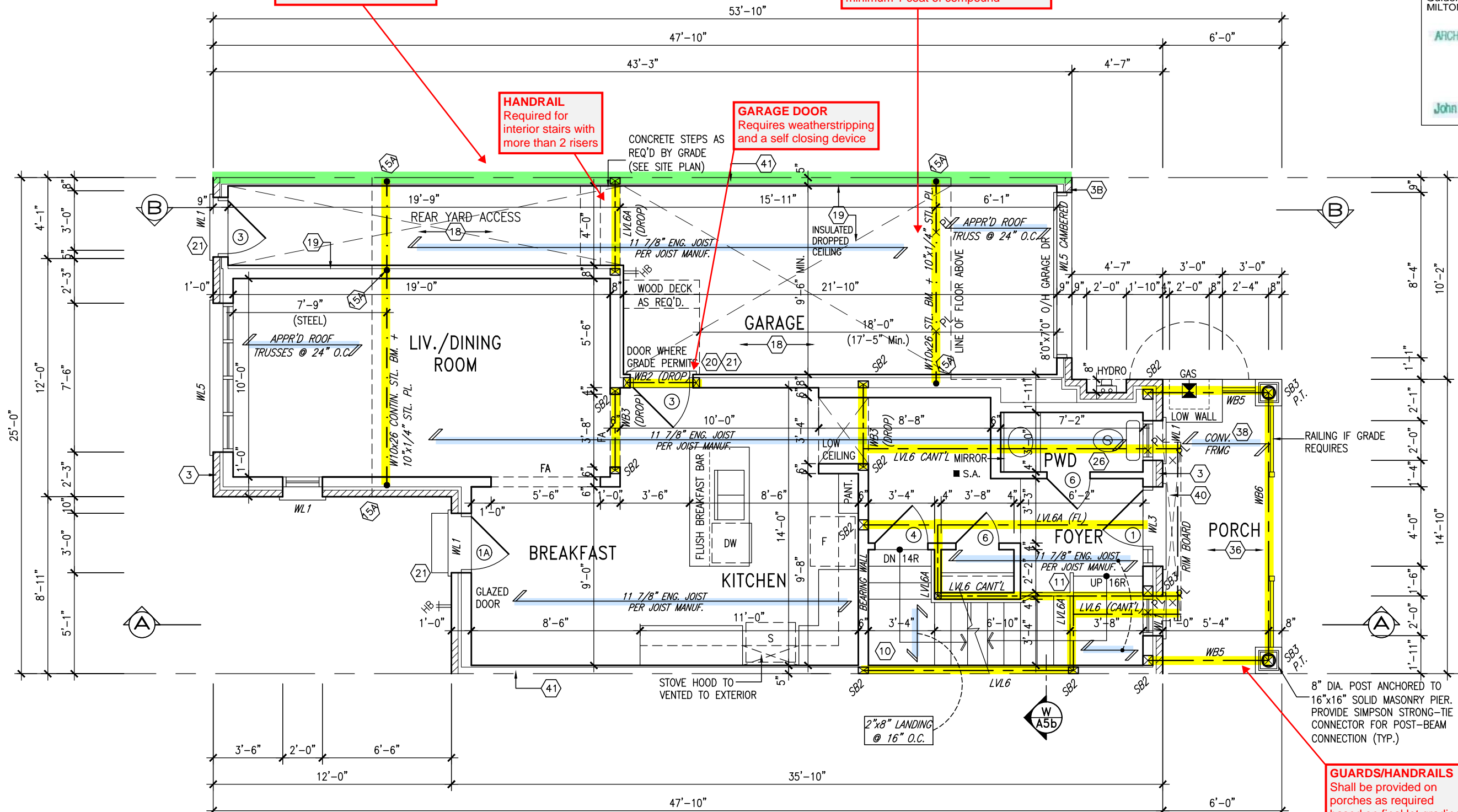
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

GARAGE AIR BARRIER

Garage walls/ceiling required to
include an air barrier system. Gypsum
board used as an air barrier requires
all joints to be sealed with tape and a
minimum 1 coat of compound

HANDRAIL
Required for
interior stairs with
more than 2 risers

GARAGE DOOR
Requires weatherstripping
and a self closing device



GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

GROUND FLOOR PLAN - ELEV. 3

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

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Greenpark.
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drawing no.
A2b

IVY-1
ENERGY STAR/PANEL

IVY-1

project no.

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drawing no.

A2b

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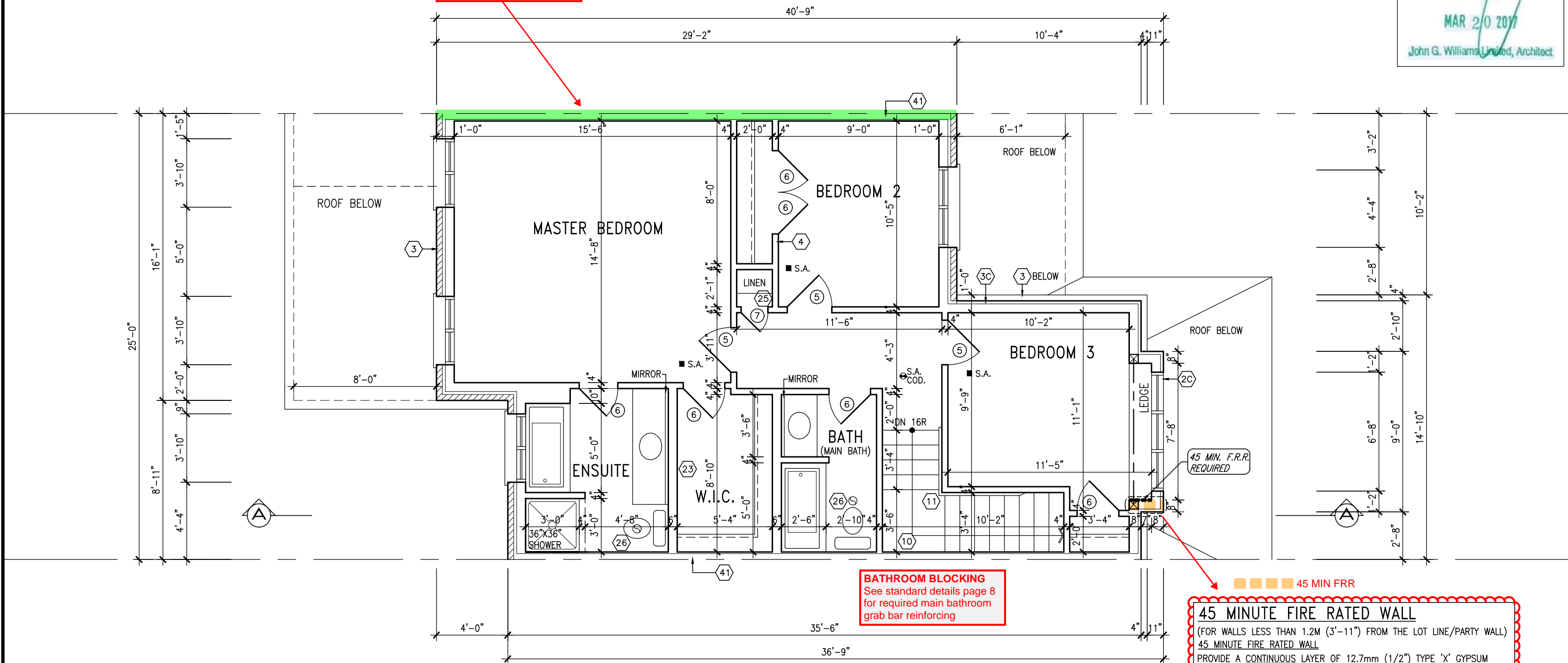
ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

SECOND FLOOR PLAN - ELEV. 3

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATING @ HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

45 MINUTE FIRE RATED WALL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE/PARTY WALL)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION for BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS) PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING (REFER TO OBC. DIV. B-9.10.14.5.(2) OR 9.10.15.5.(3))

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR SECOND FLOOR STRUCTURAL INFORMATION.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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Greenpark.

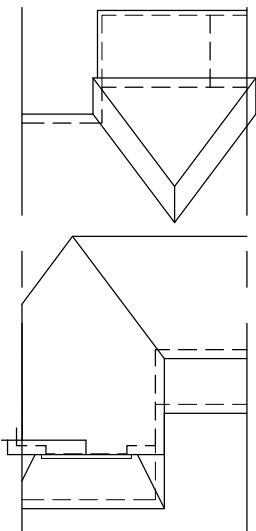
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municipality
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JULY 2016
drawn by
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checked by
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scale
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drawing no.
A3b
SECOND FLOOR PLAN - ELEV. 3
16015
project no.
16015
IVY-1
ENERGY STAR/PANEL

1578 SF.

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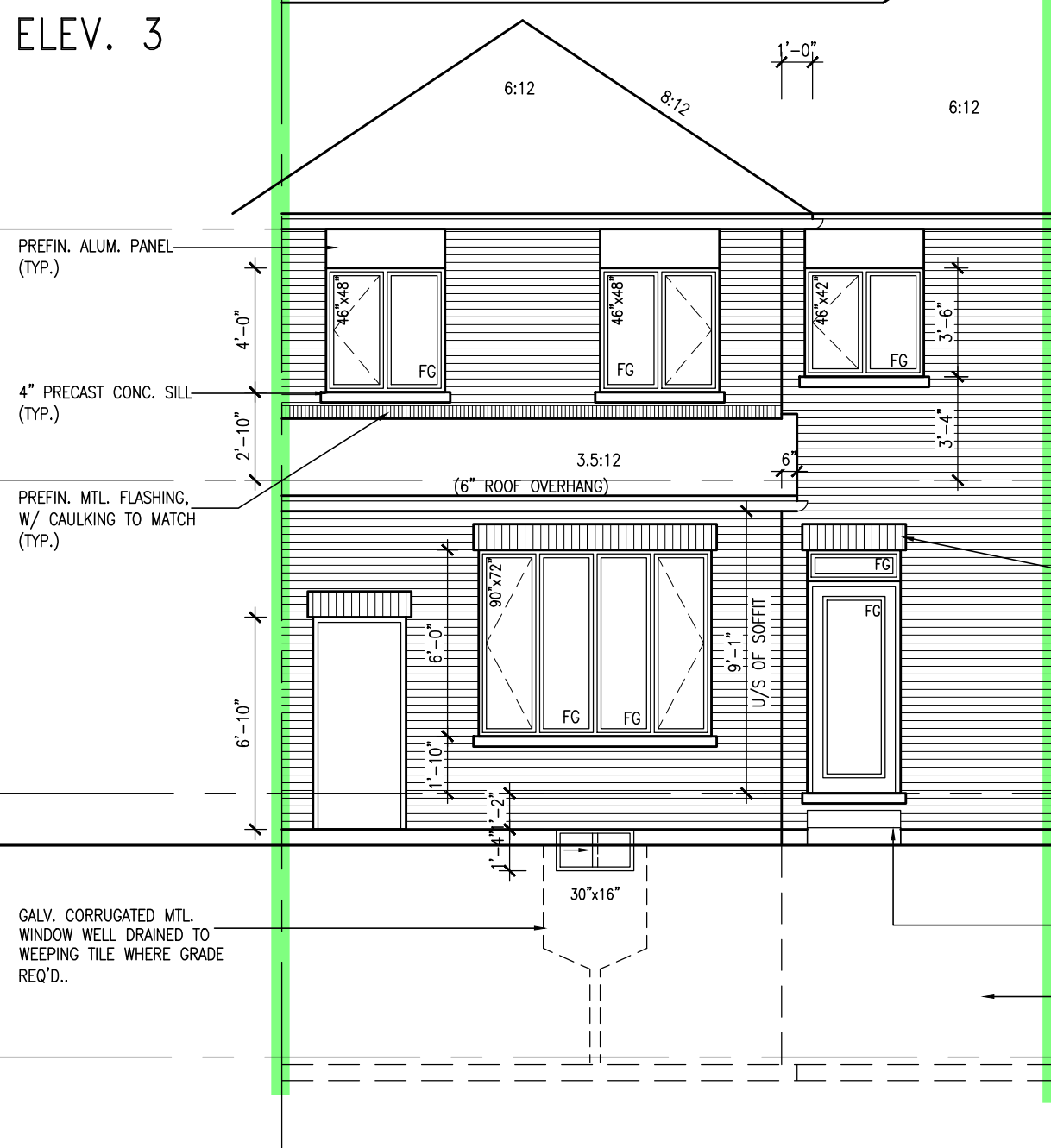
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect



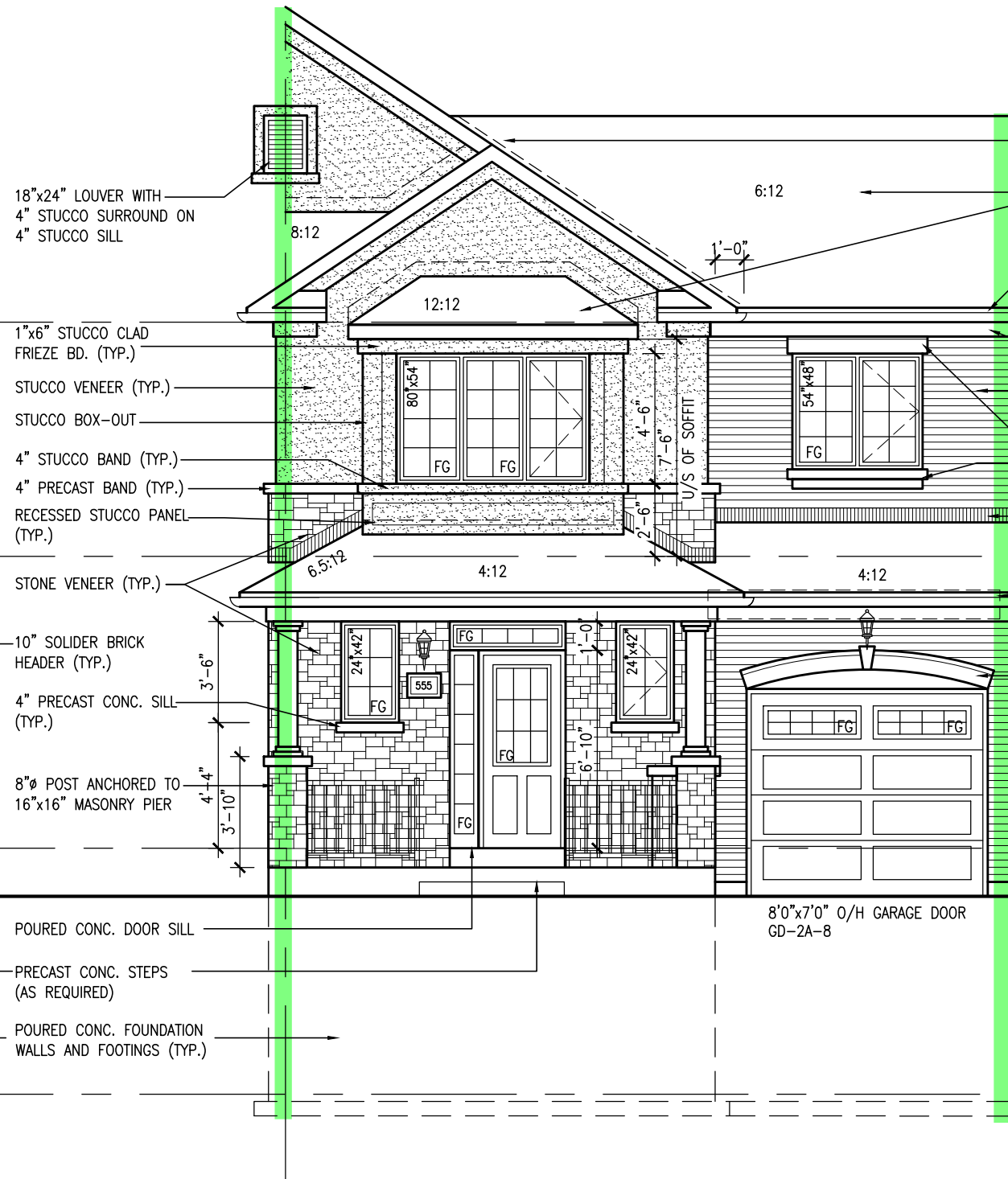
ROOF PLAN
ELEV. 3

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION
ELEV. 3



FRONT ELEVATION
ELEV. 3

VALLEY FLASHING (TYP.)
ASPHALT SHINGLES (TYP.)
PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
TOP OF PLATE
1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
TOP OF WINDOW
FACE BRICK (TYP.)
8" PRECAST CONC. HEADER (TYP.)
DOUBLE PRECAST CONC. SILL (TYP.)
PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)
FIN. SECOND FLOOR
LOCATION OF STEEL BEAM
TOP OF DOOR
8" ARCHED PRECAST CONC. HEADER WITH KEYSTONE (TYP.)
U/S OF SOFFIT
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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IVY 1
BUILDING DIVISION

9	REVISED PER BLDG. DEPT. COMMENTS.	APR. 10/17	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7	ISSUED FOR PERMIT.	MAR. 01/17	GW	qualification information
6	ISSUED FOR PRICING.	DEC. 21/16	GW	Richard Vink 24488
5	REVISED PER CLIENT.	OCT 3/16	GW	name registration information BCIN
4	2nd FLOOR WINDOW PANELS ADDED.	SEP 06/16	GW	VA3 Design Inc. 42658
3	REPLACED PATIO DR. w/ GARDEN DOOR.	AUG 25/16	GW	
2	PLANS/ELEV. REVISED.	AUG. 22/16	GW	
1	ISSUED FOR CLIENT REVIEW	AUG 08/16	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

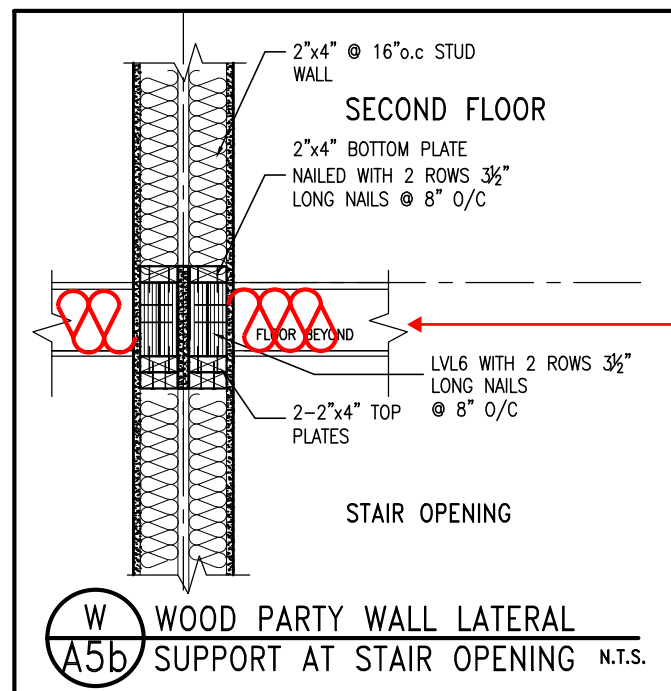
Greenpark.
project name
LECCO RIDGE DEV. INC.
municipality
TOWN OF MILTON

IVY-1
ENERGY STAR/PANEL

IVY-1
project no.
16015

date
JULY 2016
drawn by
ARM
checked by
GW
scale
3/16" = 1'-0"
file name
16015-IVY-1
drawing no.
A4b

1578 SF.



PARTY WALL SOUND RATING
Provide insulation in all joist spaces at main floors and landings to maintain required min 50 STC rating. See standard details page 4 for standard party wall construction details

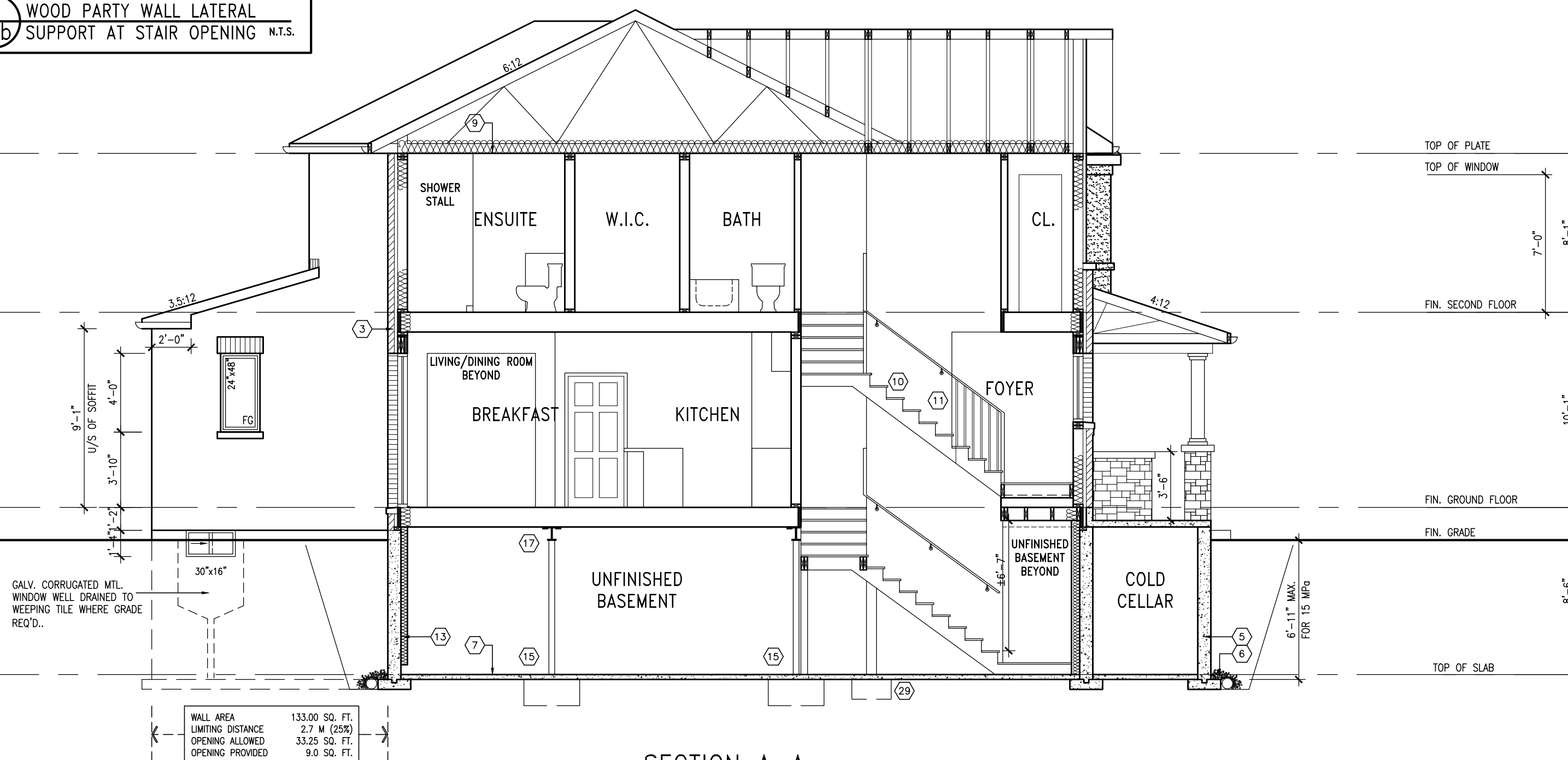
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect



SECTION A-A
ELEV. 3

IVY-1
ENERGY STAR/PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton



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qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658

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va3design.com

Greenpark.

project name LECCO RIDGE DEV. INC.	municipality TOWN OF MILTON	project no. 16015
date JULY 2016	checked by ARM	scale 3/16" = 1'-0"
SECTION A-A, ELEV. 3	file name 16015-IVY-1	drawing no. A5b

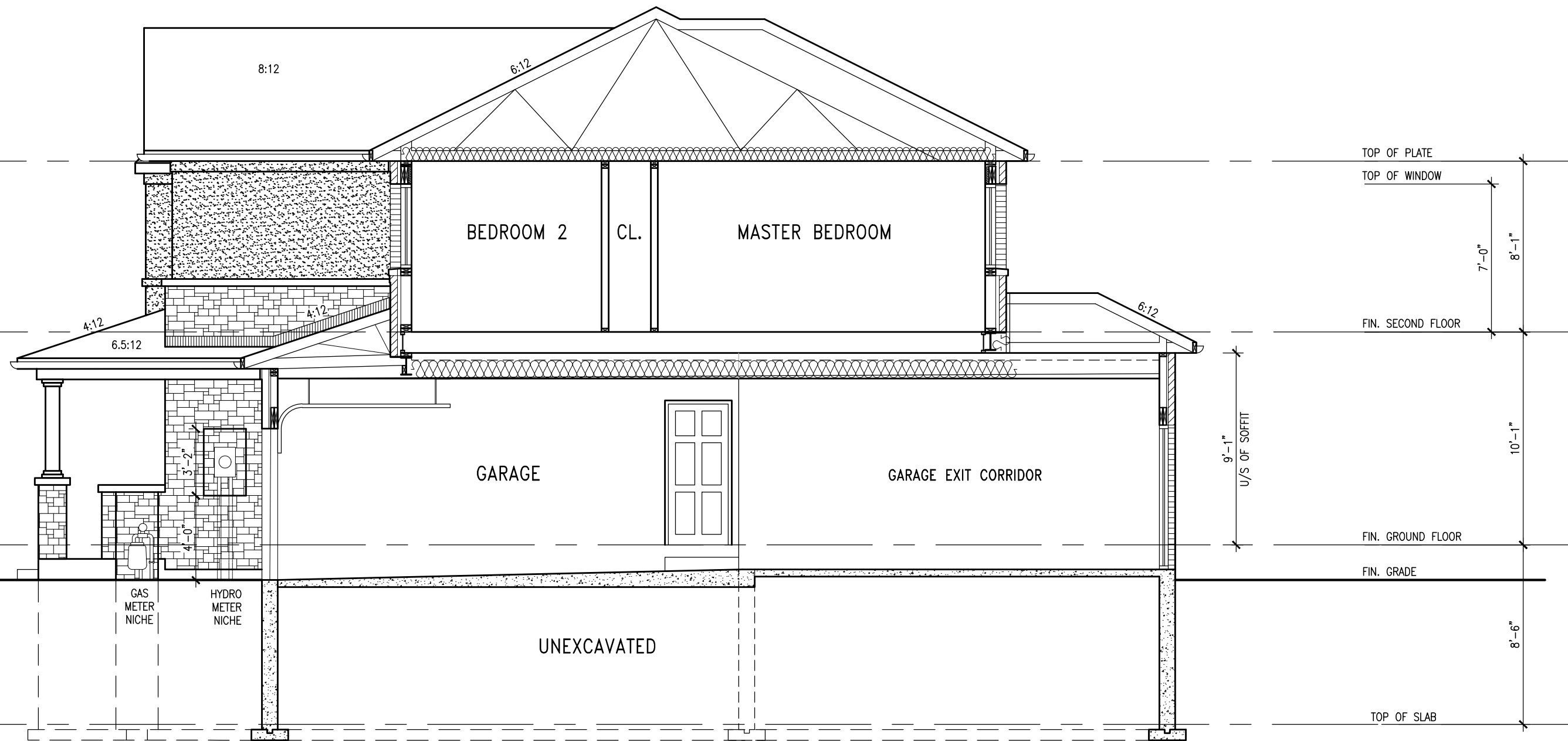
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1578 SF.

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MAR 20 2017
John G. Williams Limited, Architect



SECTION B-B
ELEV. 3

IVY-1
ENERGY STAR/PANEL

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 18, 2017
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Greenpark.

project name LECCO RIDGE DEV. INC. municipality TOWN OF MILTON

date JULY 2016 checked by scale 3/16" = 1'-0"

drawn by ARM GW 16015-IVY-1
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IVY-1

project no. 16015

drawing no. A6b

RECEIVED
TOWN OF MILTON
MAR 29, 2017
IVY 1
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
IVY 1 MODEL
BUILDING: REVIEWED
SCOTT SHERRIFFS
DATE
APR 18, 2017
PLANS EXAMINER
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1578 SF.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 3
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



REAR ELEVATION ELEV. 3
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

IVY-1
ENERGY STAR/PANEL

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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REAR ELEVATION ELEV. 3 - DECK CONDITION

file name
16015-IVY-1
drawing no.
A8b

project no.
16015

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