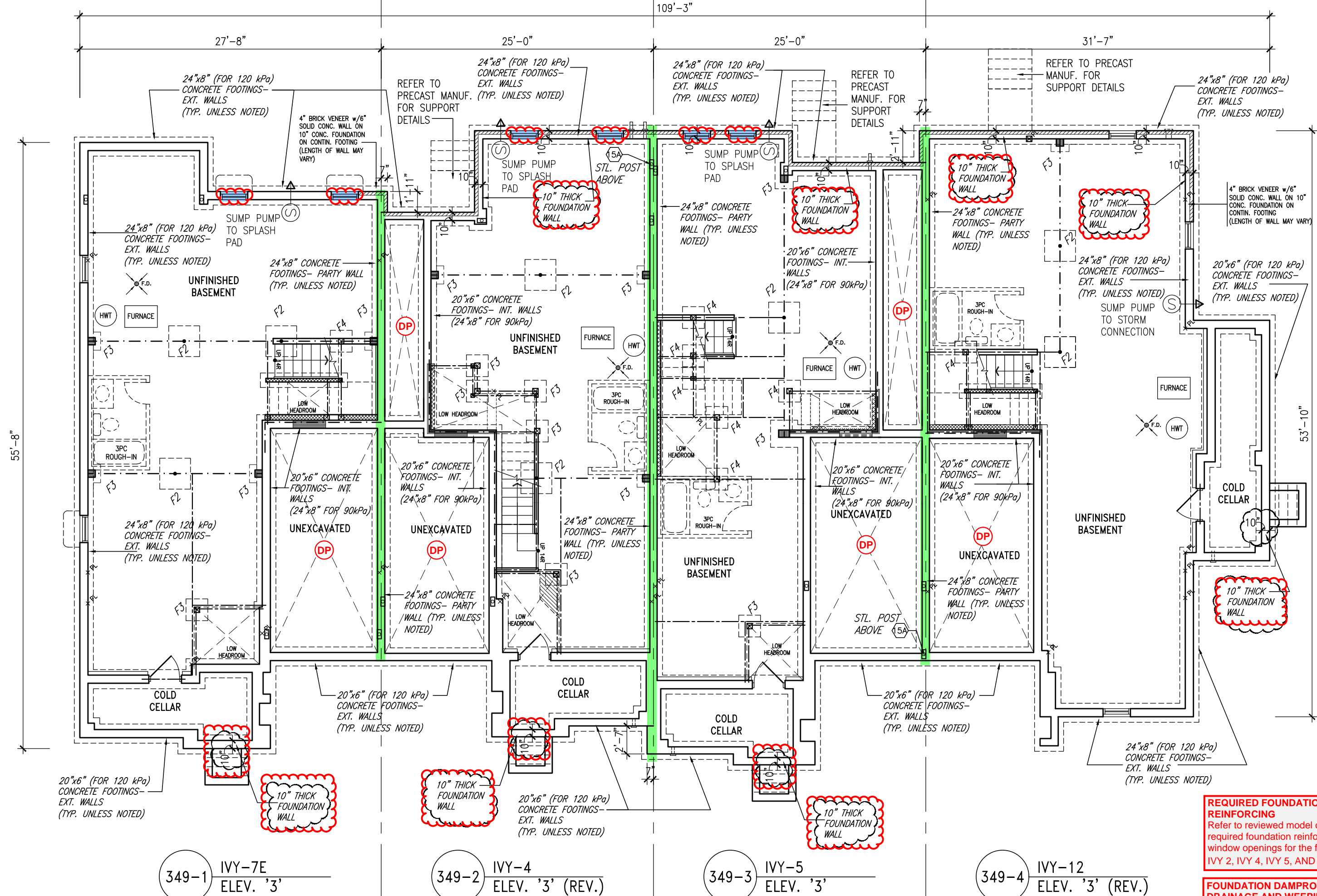


GROUND FLOOR PLAN



BASEMENT PLAN

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5422  
BUILDING: REVIEWED  
SCOTT SHERIFFS  
PLANNING EXAMINER  
APR 26, 2017  
DATE

**RECEIVED**  
TOWN OF MILTON  
MAR 29, 2017  
17-5422  
BUILDING DIVISION

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

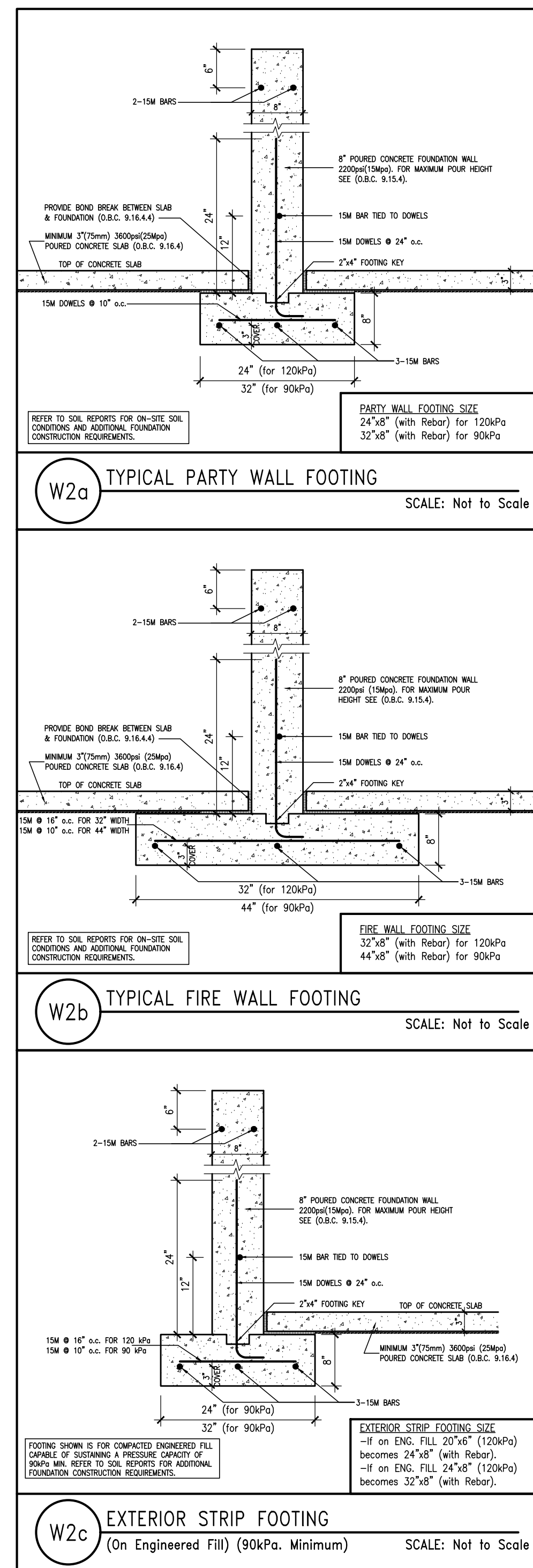
**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications

**NOTE:**  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

**1 HOUR PARTY WALL (FIRE SEPARATION)**  
**PARTY WALL DETAILS**  
See standard details page 4 for standard party wall construction details

**REQUIRED FOUNDATION REINFORCING**  
Refer to reviewed model drawings for required foundation reinforcing around window openings for the following models: IVY 2, IVY 4, IVY 5, AND IVY 7E

**FOUNDATION DAMPROOFING**  
DRAINAGE AND WEETING TILE to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)



**NOTE:**  
REFER TO GRADING PLAN  
FOR NUMBER OF STEPS.



**BLOCK 349  
ELEVATION 3**

**BUILDING AREA**  
5379.94 S.F. (499.81 m<sup>2</sup>)

**PAD FOOTINGS**  
**120 kPa. NATIVE SOIL**  
F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD

**90 kPa. ENGINEERED FILL SOIL**  
F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES**

**FOOTINGS ON NATIVE SOIL (120 kPa.)**  
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)  
24"x6" CONCRETE STRIP FOOTINGS (WITH REINFC.) BELOW PARTY WALLS  
32"x6" CONCRETE STRIP FOOTINGS (WITH REINFC.) BELOW FIRE WALLS

**FOOTINGS ON ENGINEERED FILL (90 kPa.)**  
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN  
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)  
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS  
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90kPa/13.0kPa FOR ENGINEERED FILL  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

**VENEER CUT**  
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING**  
-GROUND FLOOR ROOF STRUCTURE  
-BASEMENT AND GROUND FLOOR LINTELS  
-GROUND FLOOR AND SECOND FLOOR STRUCTURE  
-DOUBLE VOLUME WALL LOCATION AND DETAILS  
-CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any conditions of approval. The Architect is not responsible in any way for examining or approving any building plans or working drawings with respect to any zoning or building code or permit matter of that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

**ARCHITECTURAL REVIEW APPROVAL**  
MAR 20 2017  
John G. Williams, Architect

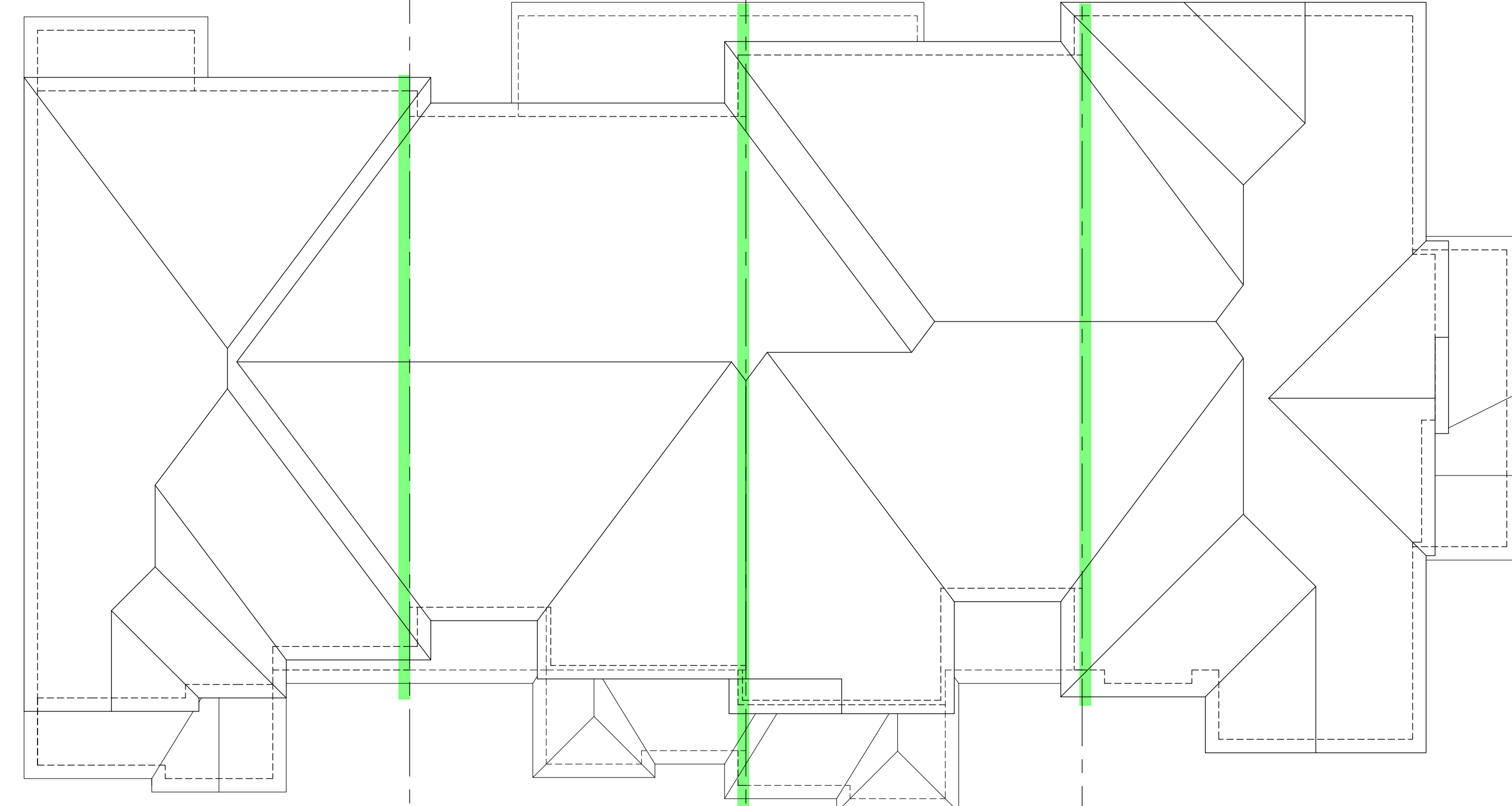
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	ISSUED FOR PERMIT	MAR 01/17	GM
3	ISSUED FOR PERMIT	MAR 01/17	GM
4	ISSUED FOR PERMIT	MAR 01/17	GM
5	ISSUED FOR PERMIT	MAR 01/17	GM
6	ISSUED FOR PERMIT	MAR 01/17	GM
7	ISSUED FOR PERMIT	MAR 01/17	GM
8	ISSUED FOR PERMIT	MAR 01/17	GM
9	ISSUED FOR PERMIT	MAR 01/17	GM
10	ISSUED FOR PERMIT	MAR 01/17	GM

**V3 DESIGN**  
255 Consumers Rd  
Toronto, ON M2J 1R4  
T 416.630.2255  
F 416.630.4182  
v3design.com

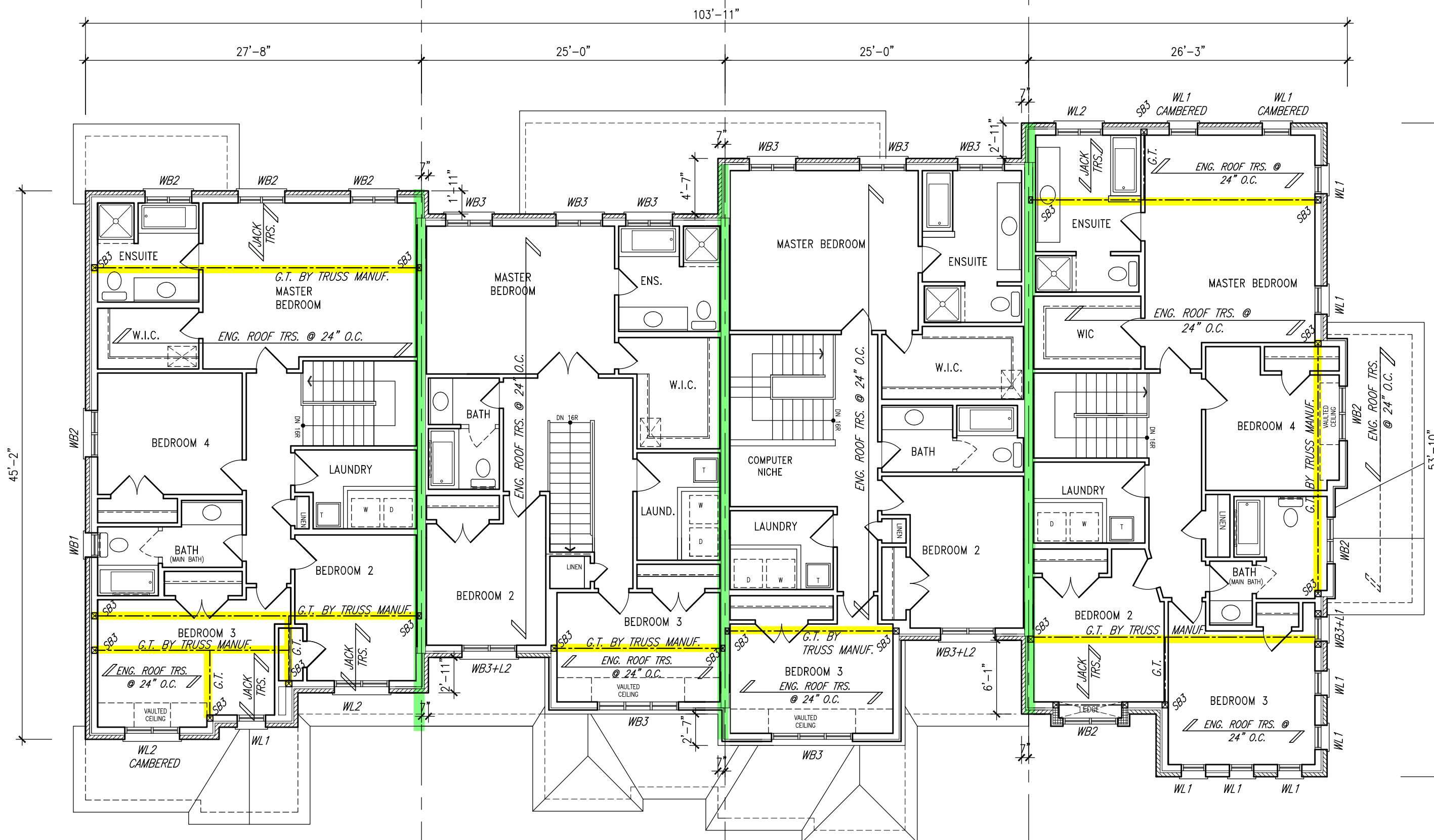
**Greenpark.**  
LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
16015  
BLOCK 349  
ELEVATION 3

**Greenpark.**  
LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
16015  
BLOCK 349  
ELEVATION 3





ROOF PLAN



SECOND FLOOR PLAN

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5422  
BUILDING REVIEWED  
SCOTT SHERRIFFS  
APR 26, 2017  
DATE  
RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-5422  
BUILDING DIVISION

TOWNHOUSE MODELS  
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS  
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NOTE:  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

BUILDING AREA  
5379.94 S.F. (499.81 m<sup>2</sup>)

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F5 = 16"x16"x8" CONCRETE PAD  
90 KPa, ENGINEERED FILL SOIL  
F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
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FOOTINGS ON NATIVE SOIL (120 KPa)  
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FOOTINGS ON ENGINEERED FILL (90 KPa)  
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN  
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WHEN VENEER CUT IS GREATER  
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CONCRETE FOUNDATION WALL IS  
REQUIRED.

REFER TO INDIVIDUAL UNITS  
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-GROUND FLOOR ROOF  
STRUCTURE  
-BASEMENT AND GROUND  
FLOOR LINTELS  
-GROUND FLOOR AND  
SECOND FLOOR STRUCTURE  
-DOUBLE VOLUME WALL  
LOCATION AND DETAILS  
-CONCRETE SLABS

NOTE:  
ROOF TRUSSES AND  
SECOND FLOOR LINTELS  
SHOWN ON BLOCK PLANS

SOFFIT VENTING  
NO SOFFIT VENTING AT ROOF  
OVERLAP OF DEMISING LINE/  
PARTY WALL.

= 1 HOUR PARTY WALL  
(FIRE SEPARATION)  
PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details

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ARCHITECTURAL REVIEW APPROVAL  
MAR 20 2017  
John G. Williams, Architect



10	ISSUED FOR PERMIT	MAR 01/17	CM
9	SUMP PUMP LOCATIONS ADDED, GRADING CHANGES	FEB 02/17	CM
8	ISSUED FOR PRICING	JAN 17/17	CM
7	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	CM
6	ISSUED FOR CLIENT REVIEW		
5			
4			
3			
2			
1			
0			

VA3 DESIGN  
255 Consumers Rd  
Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255  
f 416.630.4182  
va3design.com

Richard Vink  
24488  
signature  
VA3 Design Inc.

Greenpark.  
PROJECT NAME  
LECCO RIDGE DEV. INC.  
PROJECT NO.  
TOWN OF MILTON  
16015  
16015-BLOCK-349  
BLOCK 349  
IVY SERIES  
BLOCK 349 PLANS  
SEPTEMBER 2016  
1/8" = 1'-0"  
B2

BLOCK 349  
ELEVATION 3



NOTE:  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5422  
BUILDING REVIEWED  
SCOTT SHERRIFFS  
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GENERAL NOTES/CONSTRUCTION DETAILS  
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constructions details and specifications



349-4 IVY-12  
ELEV. '3' (REV.)

RIGHT SIDE ELEVATION



349-4 IVY-12  
ELEV. '3' (REV.)

REAR ELEVATION

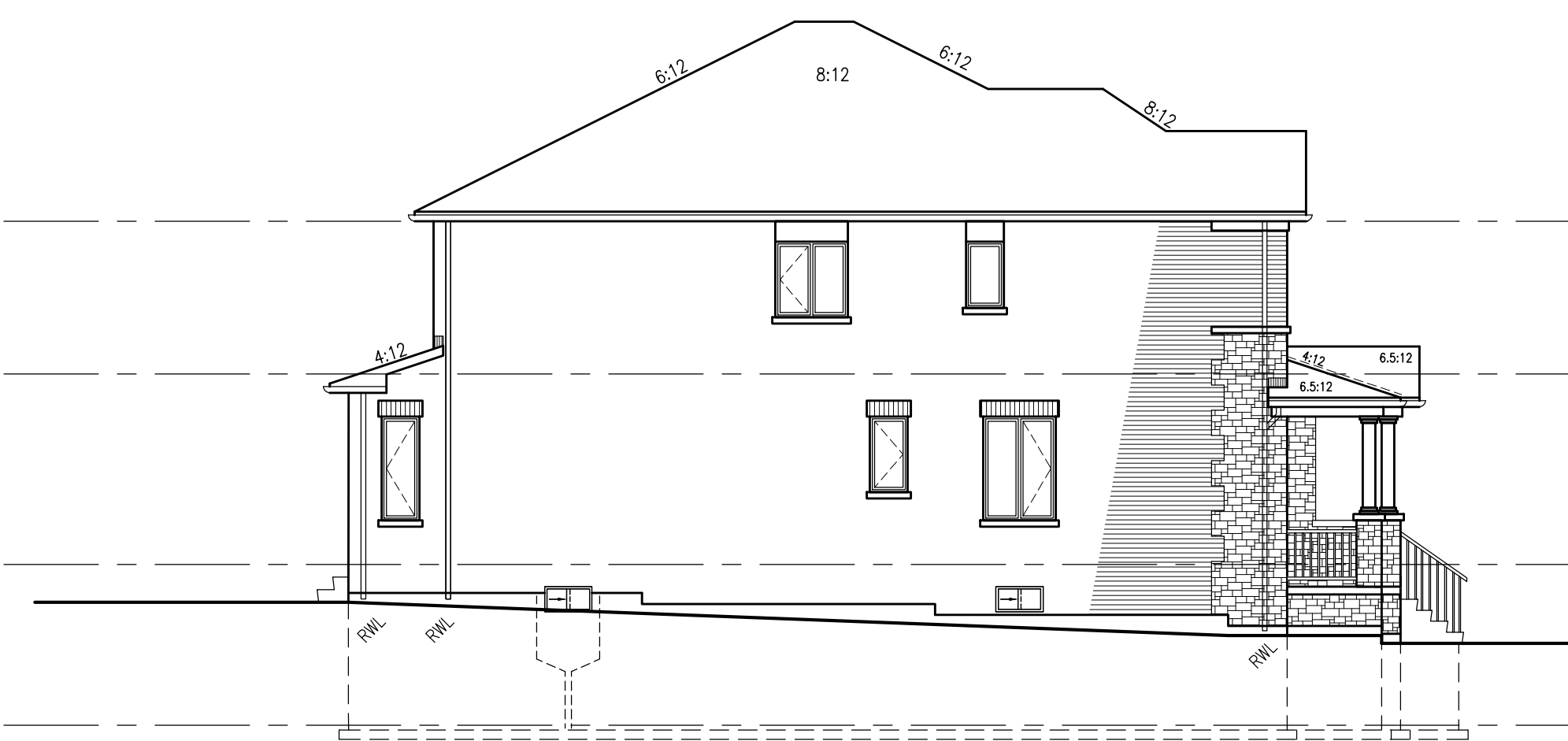
349-3 IVY-5  
ELEV. '3'

349-2 IVY-4  
ELEV. '3' (REV.)

349-1 IVY-7E  
ELEV. '3'

= 1 HOUR PARTY WALL  
(FIRE SEPARATION)

PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details



349-1 IVY-7E  
ELEV. '3'

LEFT SIDE ELEVATION



349-1 IVY-7E  
ELEV. '3'

FRONT ELEVATION

349-2 IVY-4  
ELEV. '3' (REV.)

349-3 IVY-5  
ELEV. '3'

349-4 IVY-12  
ELEV. '3' (REV.)

GUARDSHANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Council  
Architect is not responsible in any way for  
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MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	SUMP PUMP LOCATIONS ADDED, GRADING CHANGES	FEB. 02/17	GM
3	ISSUED FOR PRICING	JAN. 17/17	GM
4	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16	GM
5	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the  
Designer before proceeding with the work. All drawings and specifications are  
instruments of service and the property of the architect which must be returned at  
the completion of the work. Drawings are not to be scaled.

**VAS DESIGN**  
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Suite 120  
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f 416.630.4782  
vasdesign.com

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documents and design are the  
copyright property of VAS DESIGN.  
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whole or in part is strictly  
prohibited without VAS DESIGN's  
written permission.

The architect has reviewed and taken responsibility for this design  
and has the qualifications and meets the requirements set out in the  
Ontario Building Code to be a designer.  
Qualification Information

Richard Vink 24489  
signature  
Vink  
signature information  
VAS Design, Inc. 42858

**Greenpark.**

PROJECT NAME  
LECCO RIDGE DEV. INC.

PROJECT NO.  
16015

TOWN OF MILTON

IVY SERIES

BLOCK 349 ELEVATIONS

SEPTEMBER 2016

1/8" = 1'-0"

16015-BLOCK-349

B3

BLOCK 349  
ELEVATION 3