

BUILDING AREA  
7842.25 S.F. (728.56 m<sup>2</sup>)

**PAD FOOTINGS**  
120 KPa, NATIVE SOIL  
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES**

**FOOTINGS ON NATIVE SOIL (120 KPa.)**  
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).  
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.  
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

**FOOTINGS ON ENGINEERED FILL (90 KPa.)**  
24"x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) AS NOTED ON PLAN  
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (with REINFORCEMENT) (UNLESS OTHERWISE NOTED).  
32"x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW PARTY WALLS.  
44"x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW FIRE WALLS.  
(REFER TO FLOOR PLAN FOR REINFORCEMENT)

ASSUME 120KPa/17.4kg/sq SOIL BEARING CAPACITY FOR NATIVE SOIL  
OR 90KPa/13.0kg/sq FOR ENGINEERED FILL  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

**VENEER CUT**  
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING**

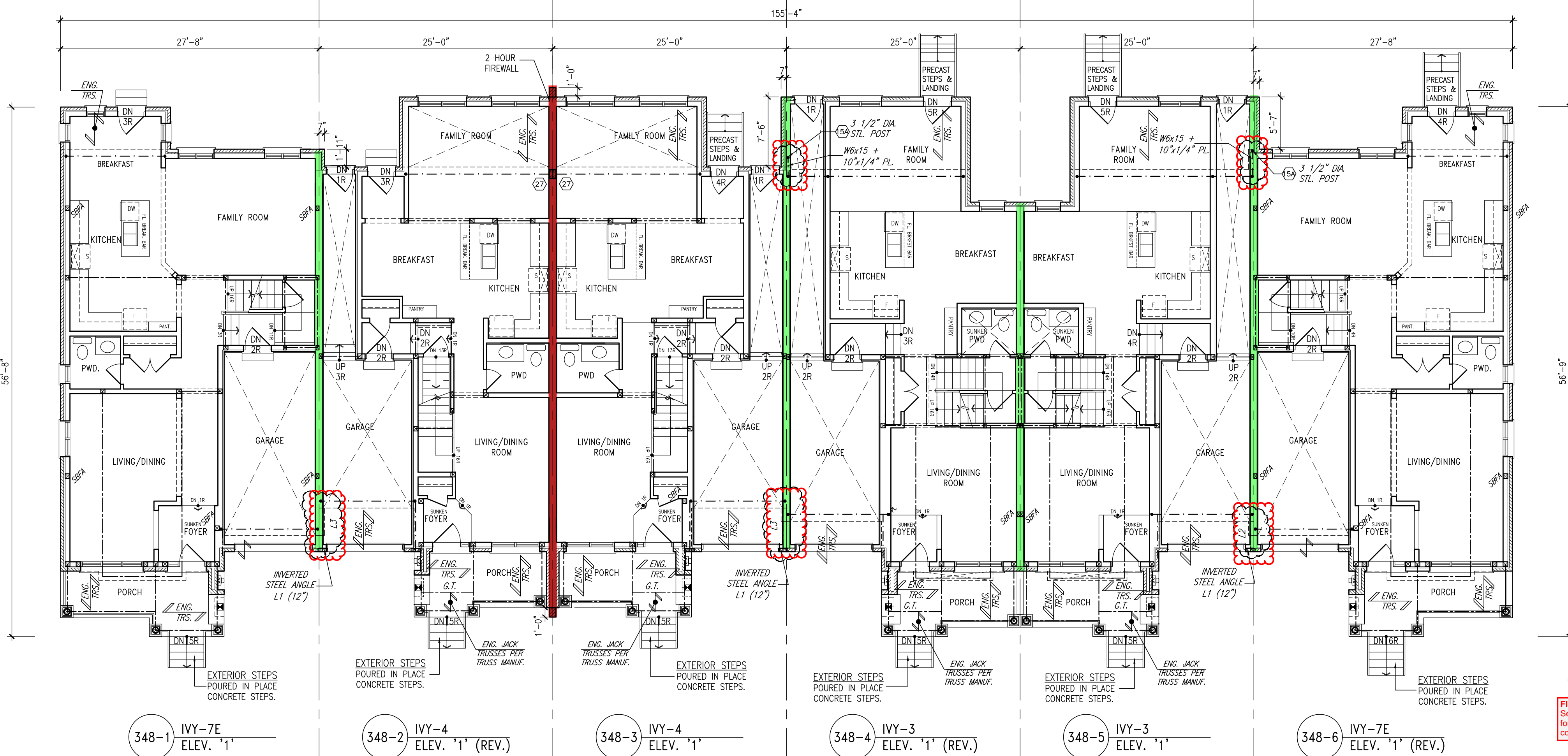
-GROUND FLOOR ROOF STRUCTURE  
-BASEMENT AND GROUND FLOOR LINTELS  
-GROUND FLOOR AND SECOND FLOOR STRUCTURE  
-DOUBLE VOLUME WALL LOCATION AND DETAILS  
-CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

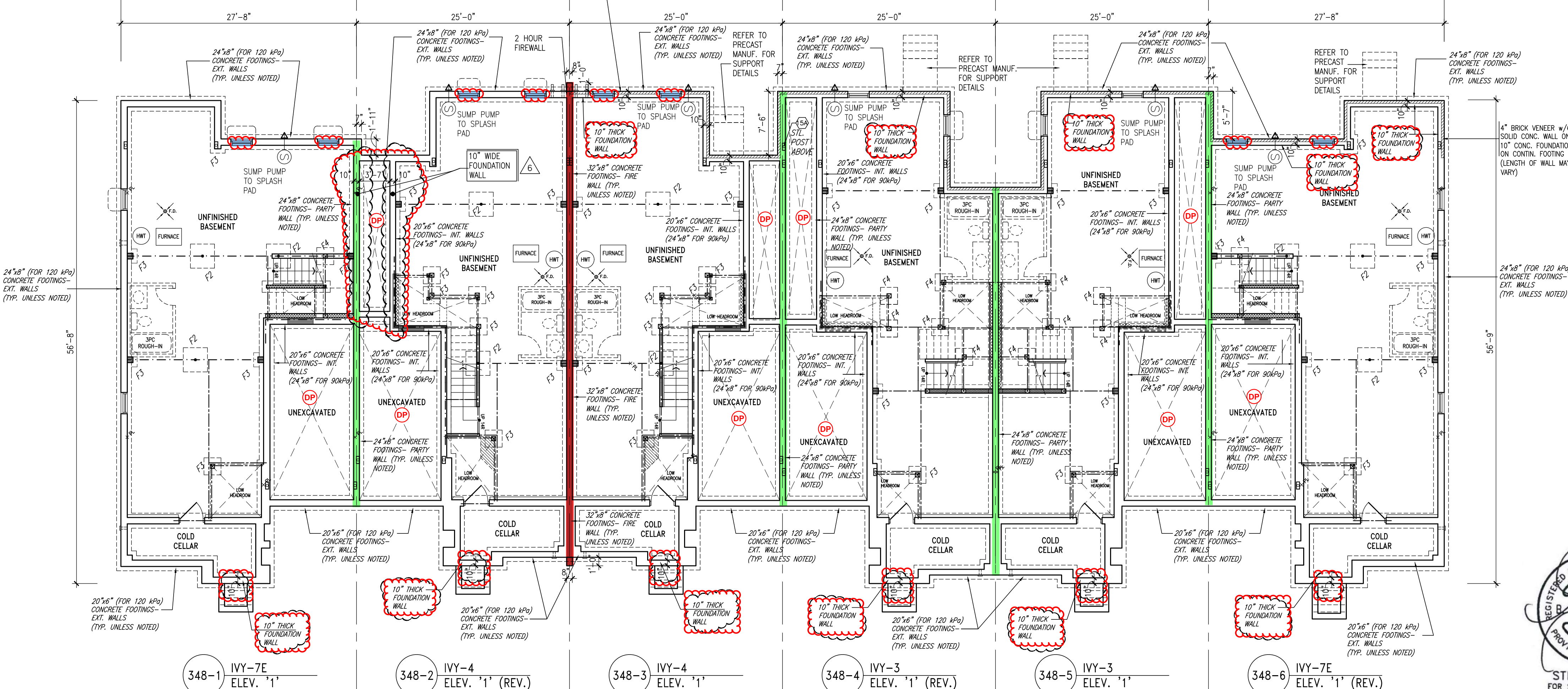
**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

**SUMP PUMP LOCATION**

**NOTE:**  
REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT

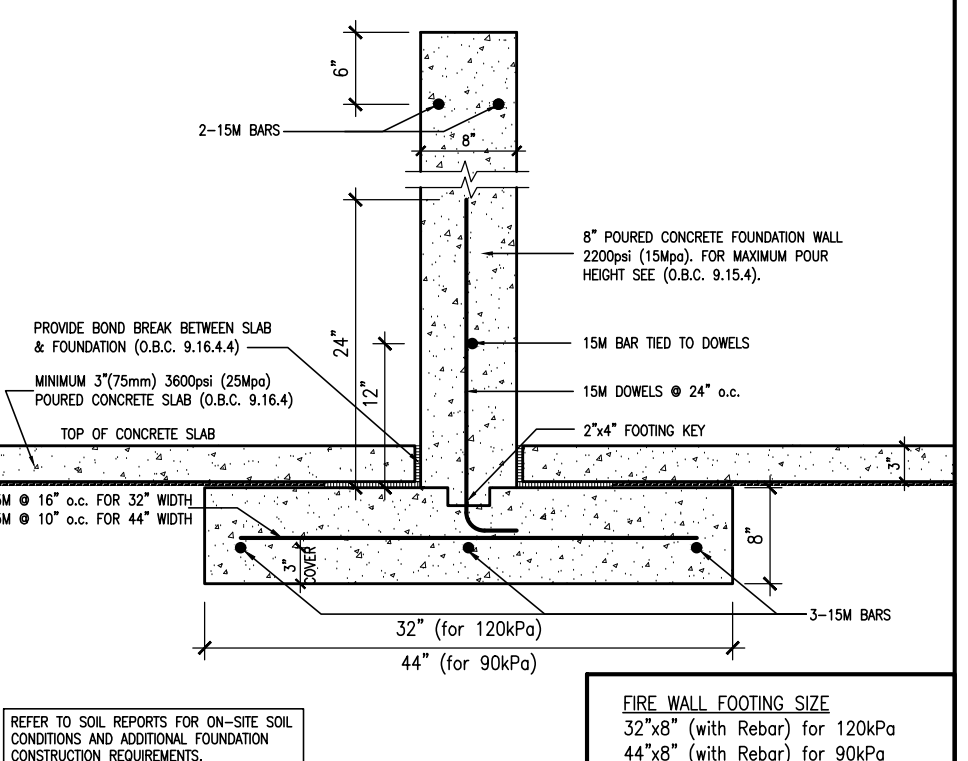


GROUND FLOOR PLAN

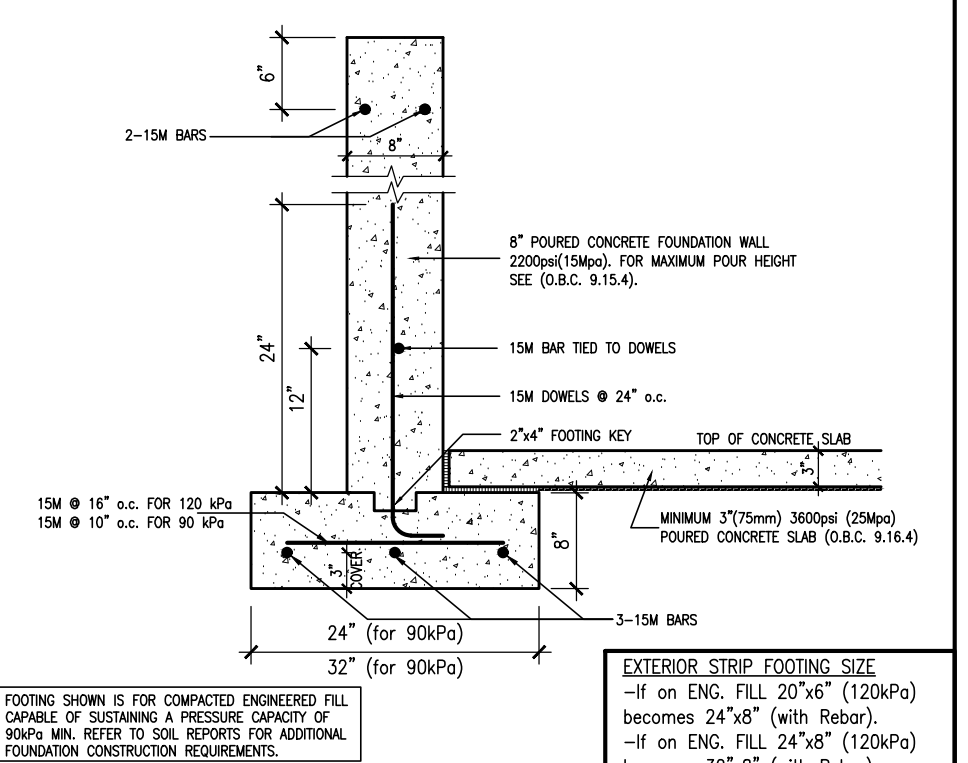


BASEMENT PLAN

**W2a** TYPICAL PARTY WALL FOOTING  
SCALE: Not to Scale



**W2b** TYPICAL FIRE WALL FOOTING  
SCALE: Not to Scale



**W2c** EXTERIOR STRIP FOOTING  
(On Engineered Fill) (90KPa. Minimum) SCALE: Not to Scale

**NOTE:**  
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications.

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system.

**RECEIVED**  
MAR 29, 2017  
BUILDING DIVISION



STRUDET INC.  
FOR STRUCTURE ONLY

**REQUIRED FOUNDATION REINFORCING**  
Refer to reviewed model drawings for required foundation reinforcing around window openings for the following models: IVY 2, IVY 4, IVY 5, AND IVY 7E

**FOUNDATION DAMPROOFING DRAINAGE AND WEeping TILE**  
to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)

**BLOCK 348 ELEVATION 1**

It is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for reviewing or approving any drawings with respect to working drawings with respect to any zoning or building code permit matters or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

MAR 20 2017  
John G. Williams, Licensed Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAY 02/17	DM
2	ISSUED FOR PERMIT	MAY 02/17	DM
3	ISSUED FOR PERMIT	FEB. 02/17	DM
4	ISSUED FOR PERMIT	JAN. 17/17	DM
5	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16	DM
6	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

**V3 DESIGN**  
255 Consumers Rd  
Suite 120  
Toronto, ON M2J 1R4  
T 416.630.2255  
F 416.630.4782  
v3design.com

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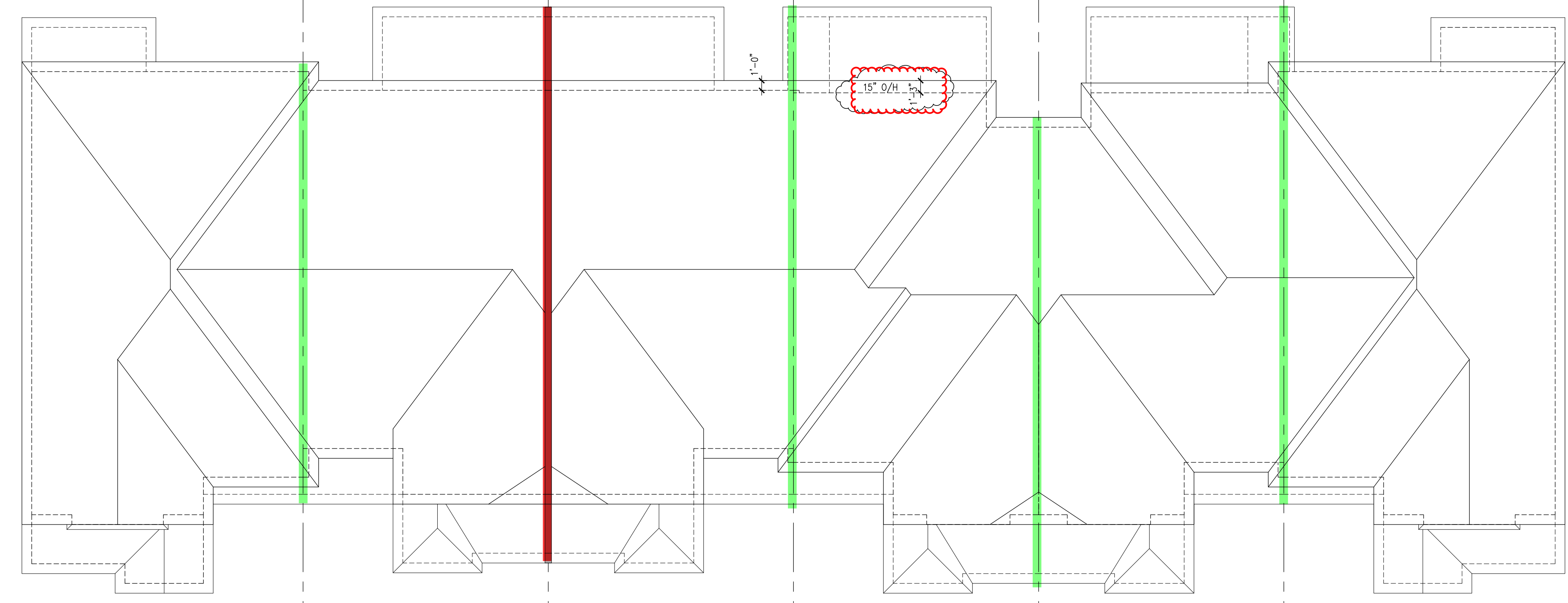
Richard Vink  
V3 Design Inc.

**Greenpark.**

**LECCO RIDGE DEV. INC.**  
PROJECT NO. 16015

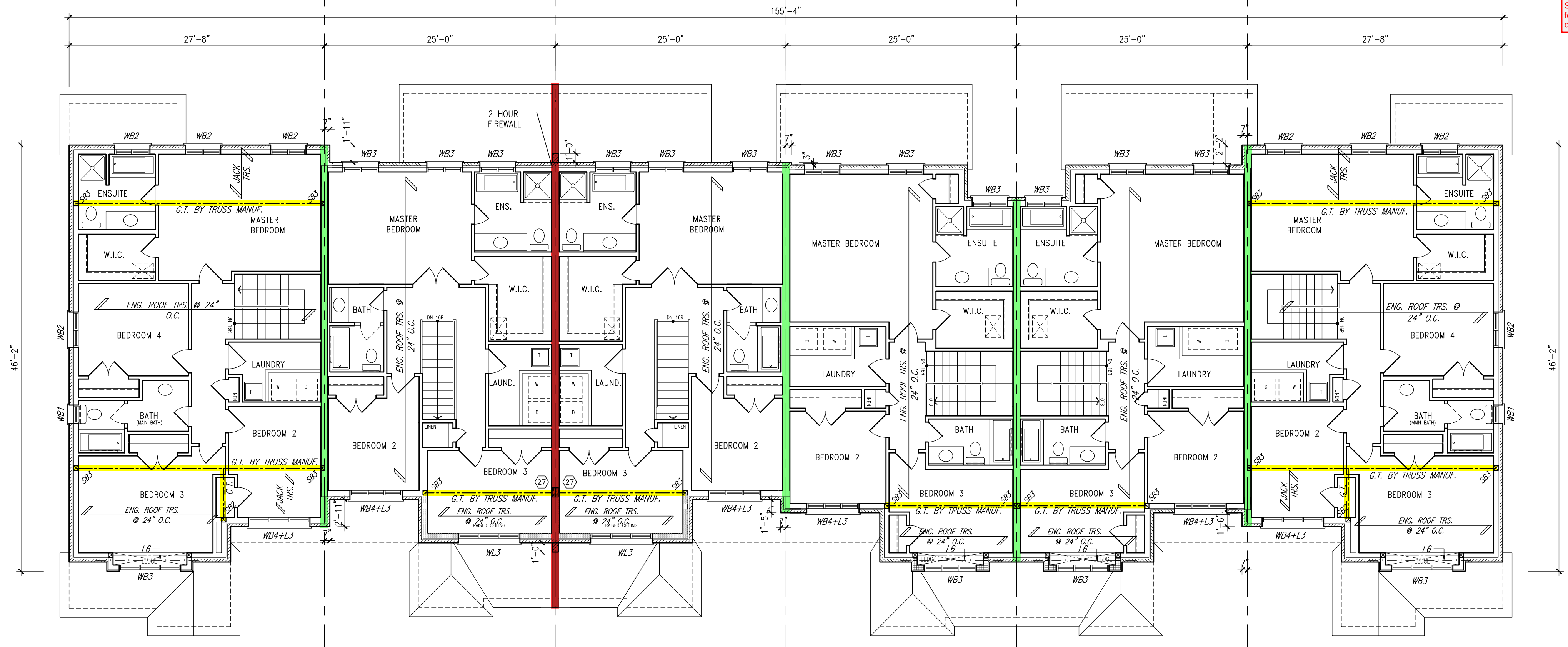
TOWN OF MILTON  
IVY SERIES  
BLOCK 348

SEPTEMBER 2016  
drawn by: [signature]  
checked by: [signature]  
1/8" = 1'-0"



348-1 IVY-7E ELEV. '1'  
348-2 IVY-4 ELEV. '1' (REV.)  
348-3 IVY-4 ELEV. '1'  
348-4 IVY-3 ELEV. '1' (REV.)  
348-5 IVY-3 ELEV. '1'  
348-6 IVY-7E ELEV. '1' (REV.)

ROOF PLAN



348-1 IVY-7E ELEV. '1'  
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SECOND FLOOR PLAN

**NOTE:**  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5419  
BUILDING REVIEWED  
SCOTT SHERRIFFS APR 26, 2017  
PLANS EXAMINER DATE  
Neither the issuance of a permit nor carrying out of  
inspections by the Town of Milton releases the owner from  
full responsibility for compliance with the provisions of  
the Ontario Building Code Act and the Ontario Building  
Code, both as amended, as well as other applicable  
regulations and regulations of the Province of Ontario,  
by laws of the Region of Halton and Town of Milton

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= 2 HOUR FIREWALL  
(NON-COMBUSTIBLE)

**FIREWALL DETAILS**  
See standard details page 5  
for standard firewall  
construction details

= 1 HOUR PARTY WALL  
(FIRE SEPARATION)

**PARTY WALL DETAILS**  
See standard details page 4  
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construction details



**PAD FOOTINGS**  
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FLOOR LINTELS  
-GROUND FLOOR AND  
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MILTON

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Licensed Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAY 02/17	CM
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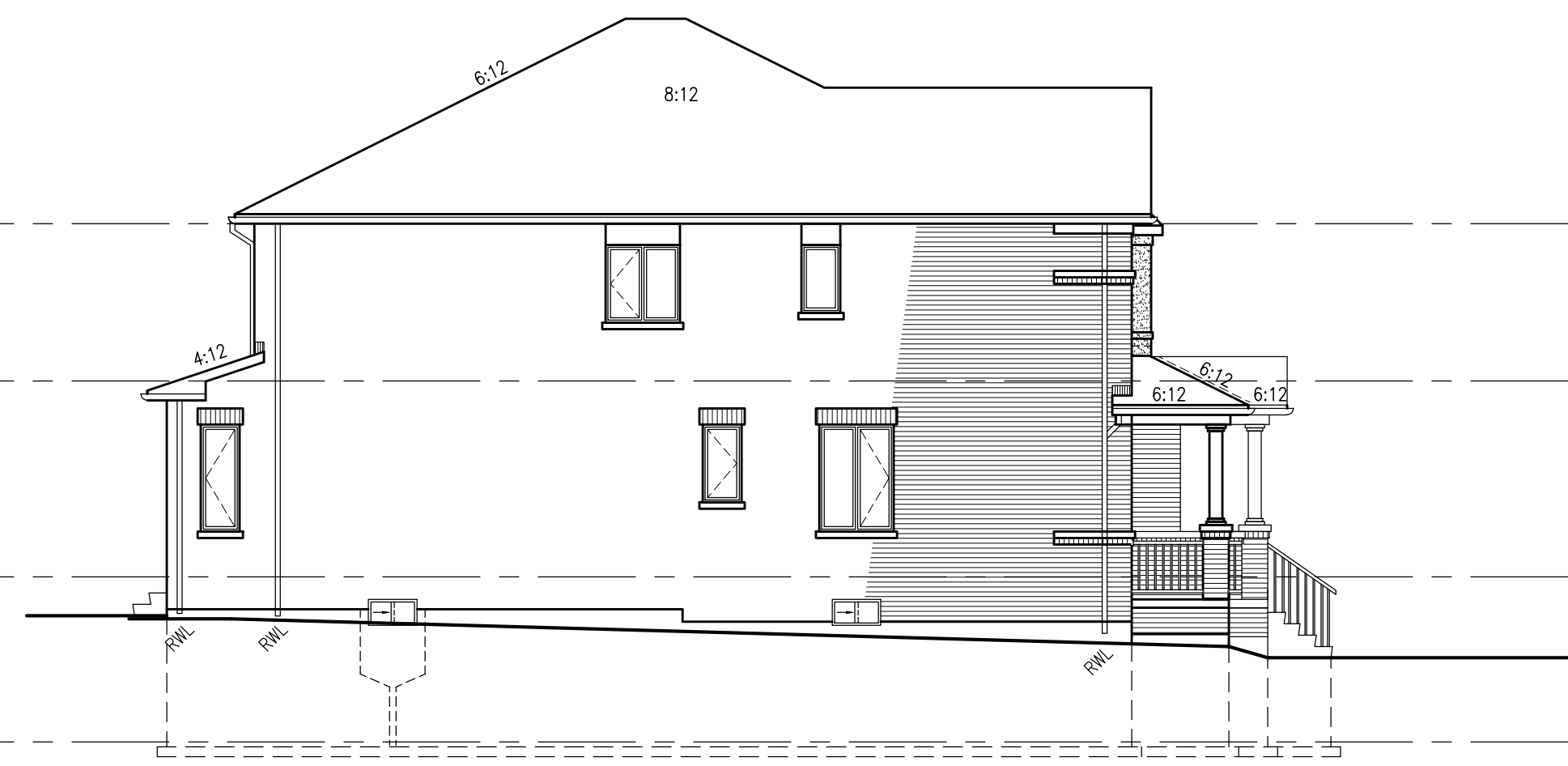
**Greenpark.**

**LECCO RIDGE DEV. INC.**  
PROJECT NO. 16015  
TOWN OF MILTON

IVY SERIES **BLOCK 348**

**BLOCK 348 PLANS**  
SEPTEMBER 2016 1/8" = 1'-0"  
drawn by CM checked by CM  
16015-BLOCK-348

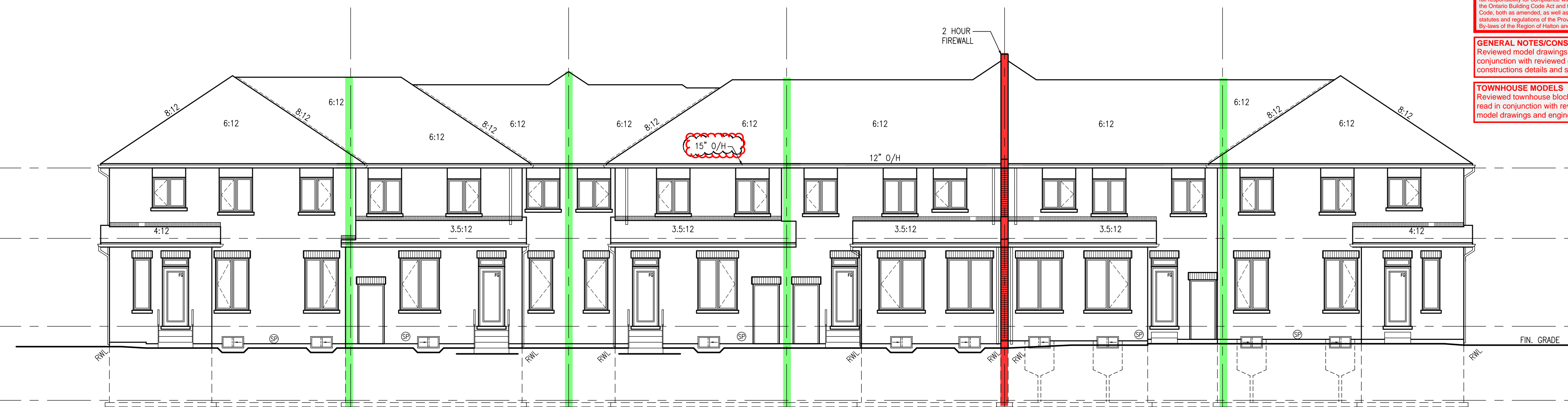
**BLOCK 348  
ELEVATION 1**



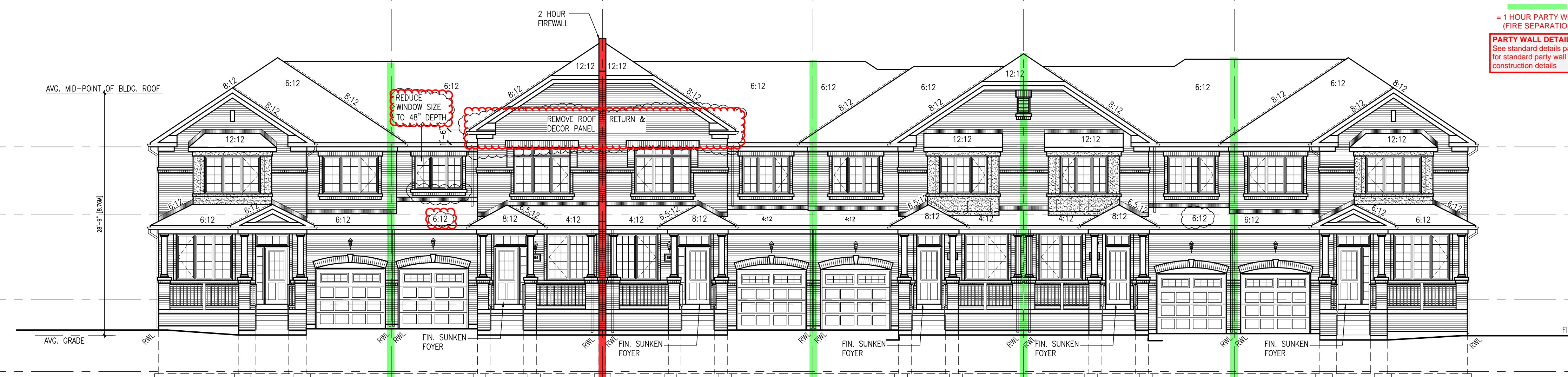
348-1 IVY-7E  
ELEV. '1'  
LEFT SIDE ELEVATION



348-6 IVY-7E  
ELEV. '1' (REV.)  
RIGHT SIDE ELEVATION



348-6 IVY-7E  
ELEV. '1' (REV.)  
REAR ELEVATION



348-1 IVY-7E  
ELEV. '1'  
348-2 IVY-4  
ELEV. '1' (REV.)  
348-3 IVY-4  
ELEV. '1'  
348-4 IVY-3  
ELEV. '1' (REV.)  
348-5 IVY-3  
ELEV. '1'  
348-6 IVY-7E  
ELEV. '1' (REV.)  
FRONT ELEVATION

NOTE:  
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TOWN OF MILTON  
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SCOTT SHERRIFFS  
APR 26, 2017  
PLANS EXAMINER  
DATE  
Notwithstanding to a permit not carrying out or  
inspection by the Town of Milton unless the owner from  
full responsibility for compliance with the provisions of  
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Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario,  
Bylaws of the Region of Peel and Town of Milton.

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MAR 29, 2017  
17-5419  
BUILDING DIVISION

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7	ISSUED FOR PERMIT	DEC. 13/16	GW
8	ISSUED FOR PERMIT	DEC. 13/16	GW
9	ISSUED FOR PERMIT	DEC. 13/16	GW
10	ISSUED FOR PERMIT	DEC. 13/16	GW

255 Consumers Rd  
Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255  
f 416.630.4782  
vo3design.com

VA3  
DESIGN

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LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
16015

IVY SERIES  
BLOCK 348  
ELEVATIONS

SEPTEMBER 2016  
16015-BLOCK-348

B3