

BUILDING AREA
7715.37 S.F. (716.78 m²)

PAD FOOTINGS
120 KPa. NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
90 KPa. ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (with REINFORCEMENT (UNLESS OTHERWISE NOTED)).
32"x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)
ASSUME 120KPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/13.0kPa FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

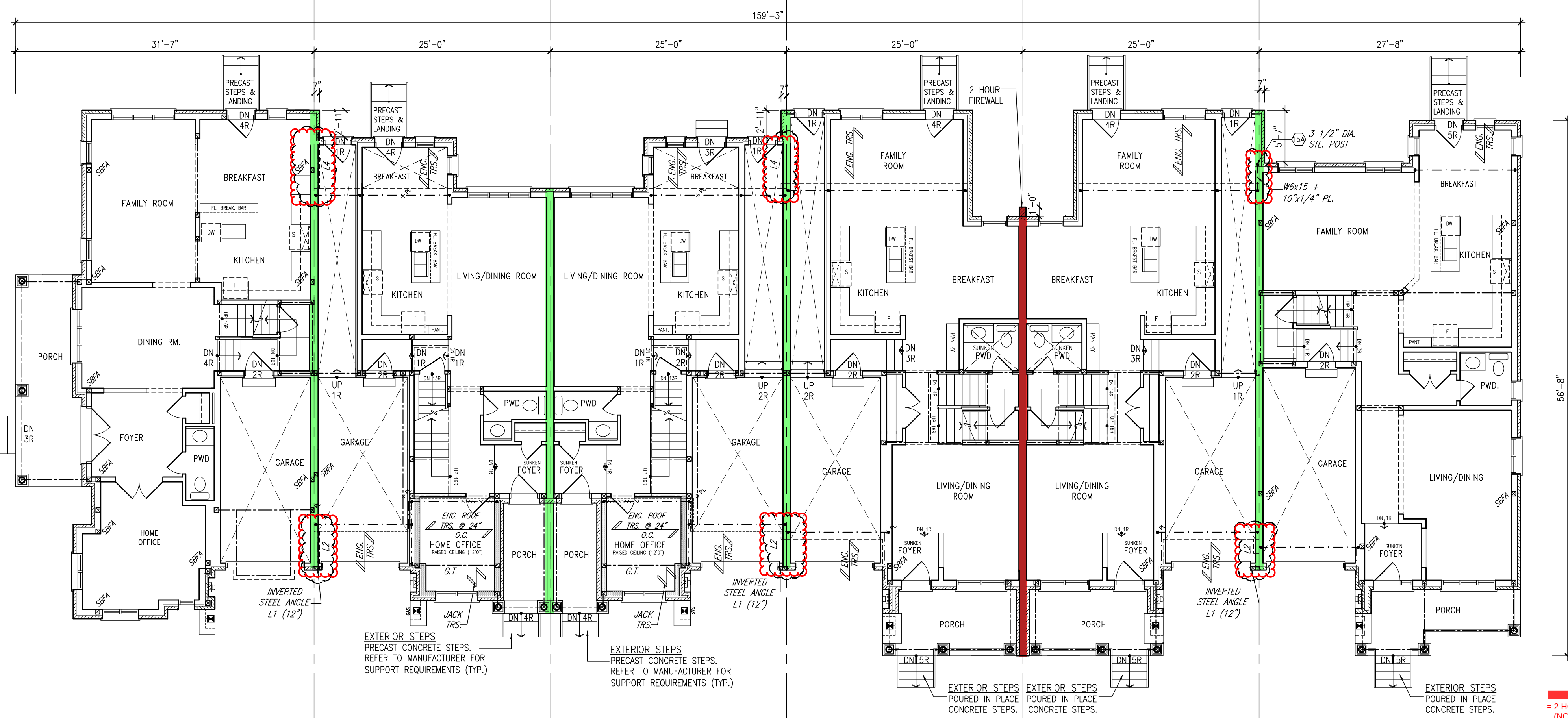
REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING

-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

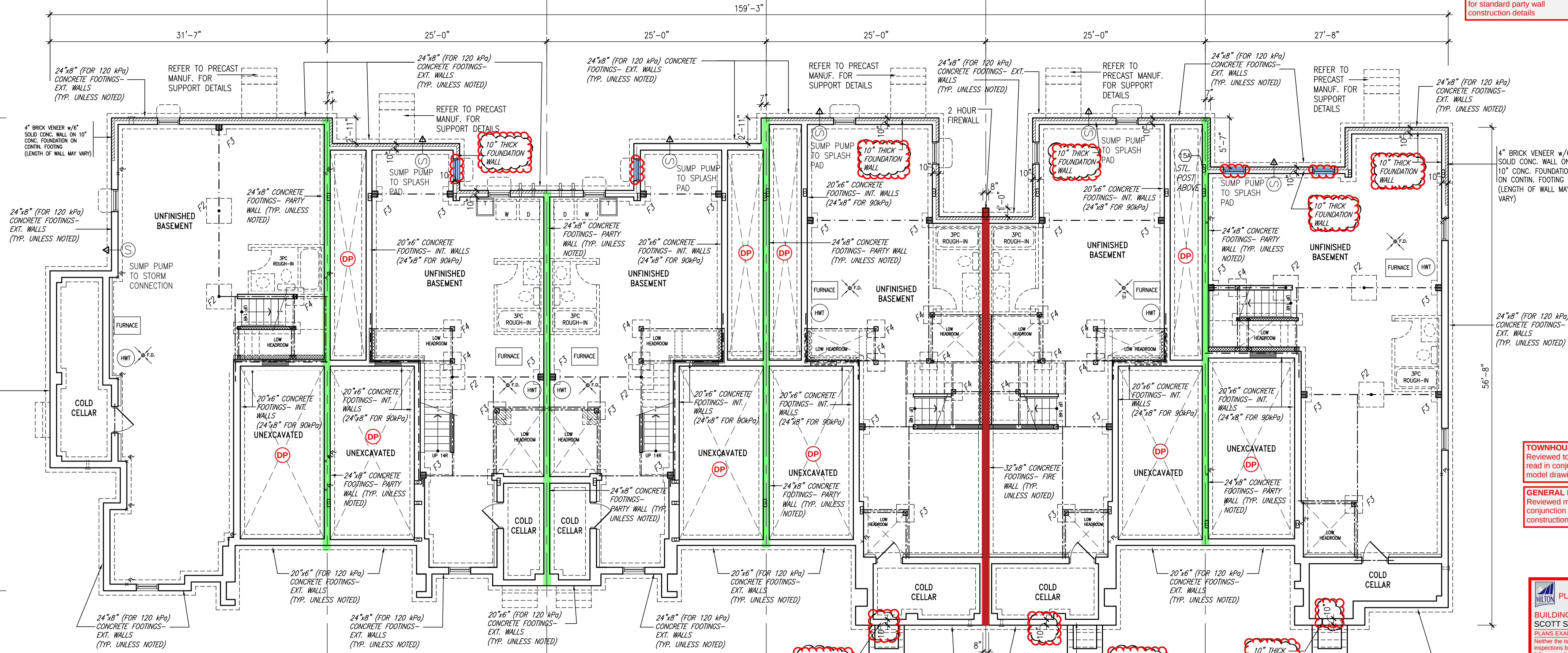
NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



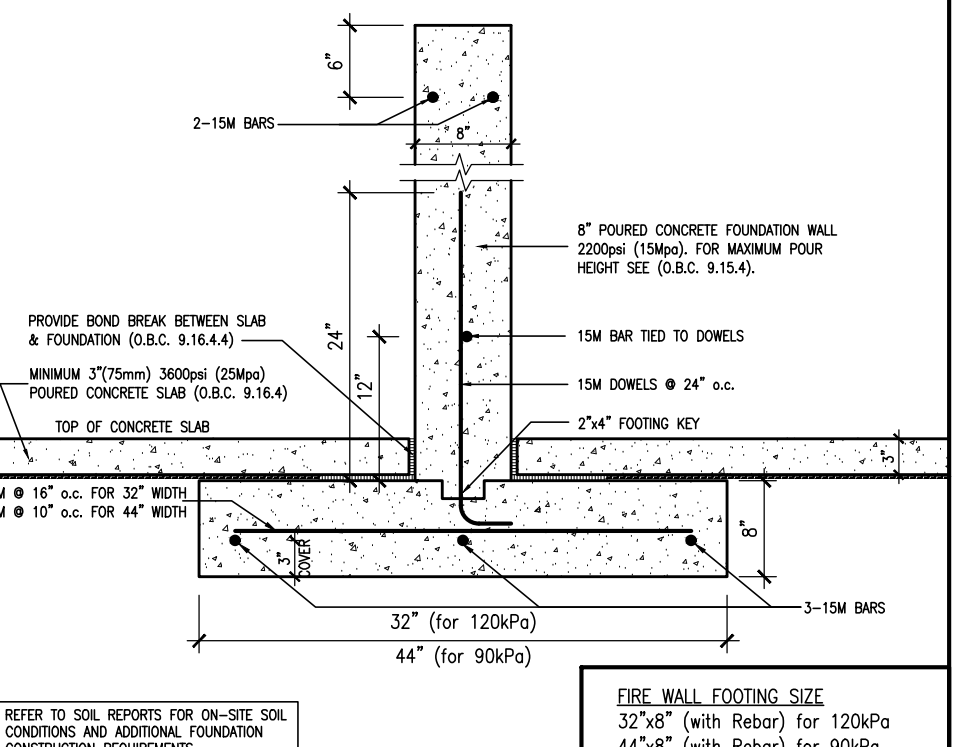
GROUND FLOOR PLAN



BASEMENT PLAN

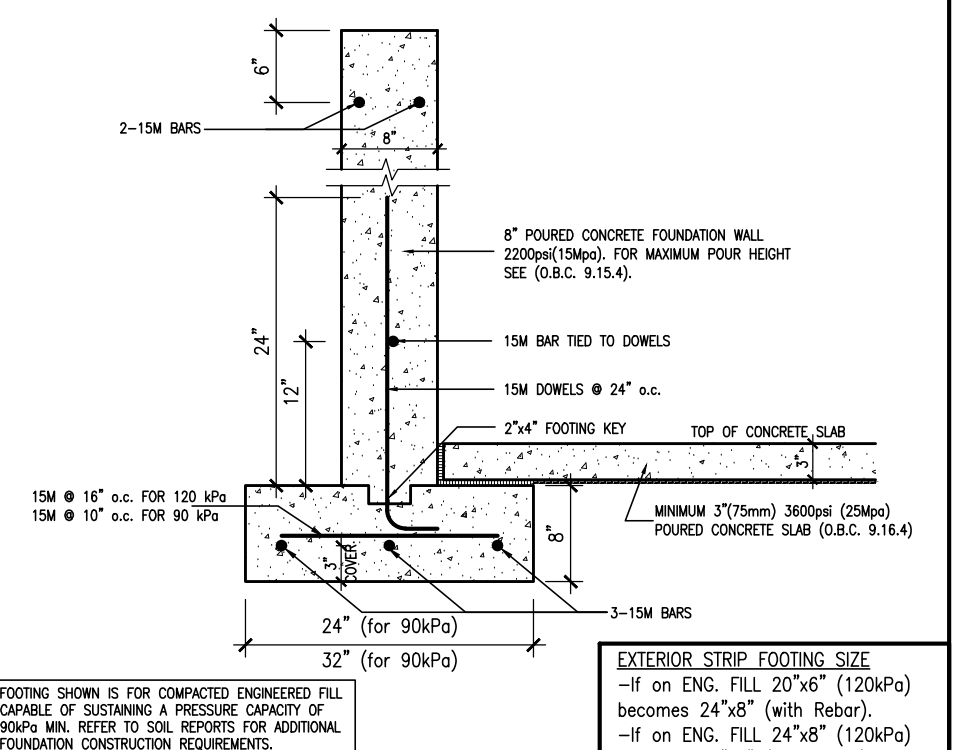
W2a TYPICAL PARTY WALL FOOTING

SCALE: Not to Scale



W2b TYPICAL FIRE WALL FOOTING

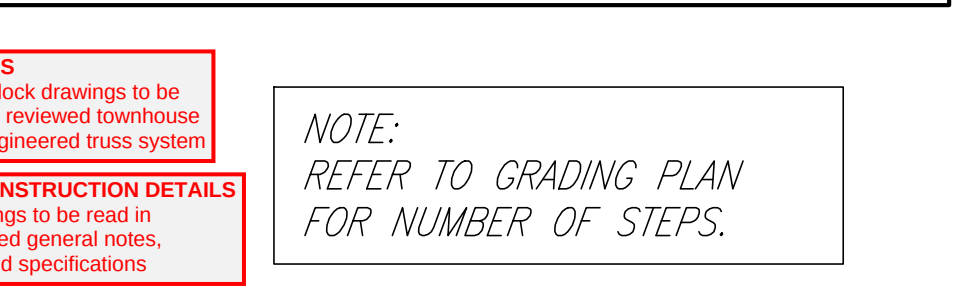
SCALE: Not to Scale



W2c EXTERIOR STRIP FOOTING

(On Engineered Fill) (90KPa. Minimum)

SCALE: Not to Scale



TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

NOTE:
REFER TO GRADING PLAN
FOR NUMBER OF STEPS.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5409
BUILDING REVIEWED
SCOTT SHERRIFFS
APR 26, 2017
PLANS EXAMINER
DATE
Whether the issuance of a permit nor carrying out of
inspections by the Town of Milton release the owner from
all responsibility for compliance with the provisions of the
Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
the laws of the Region of Halton and Town of Milton.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
BUILDING DIVISION

STRUDET INC.
FOR STRUCTURE ONLY

**REQUIRED FOUNDATION
REINFORCING**
Refer to reviewed model drawings for
required foundation reinforcing around
window openings for the following models:
IVY 2, IVY 4, IVY 5, AND IVY 7E

**FOUNDATION DAMPROOFING
DRAINAGE AND WEeping TILE**
to be installed on foundation walls
separating basement space from
unexcavated areas (under porches and
attached garage slabs)

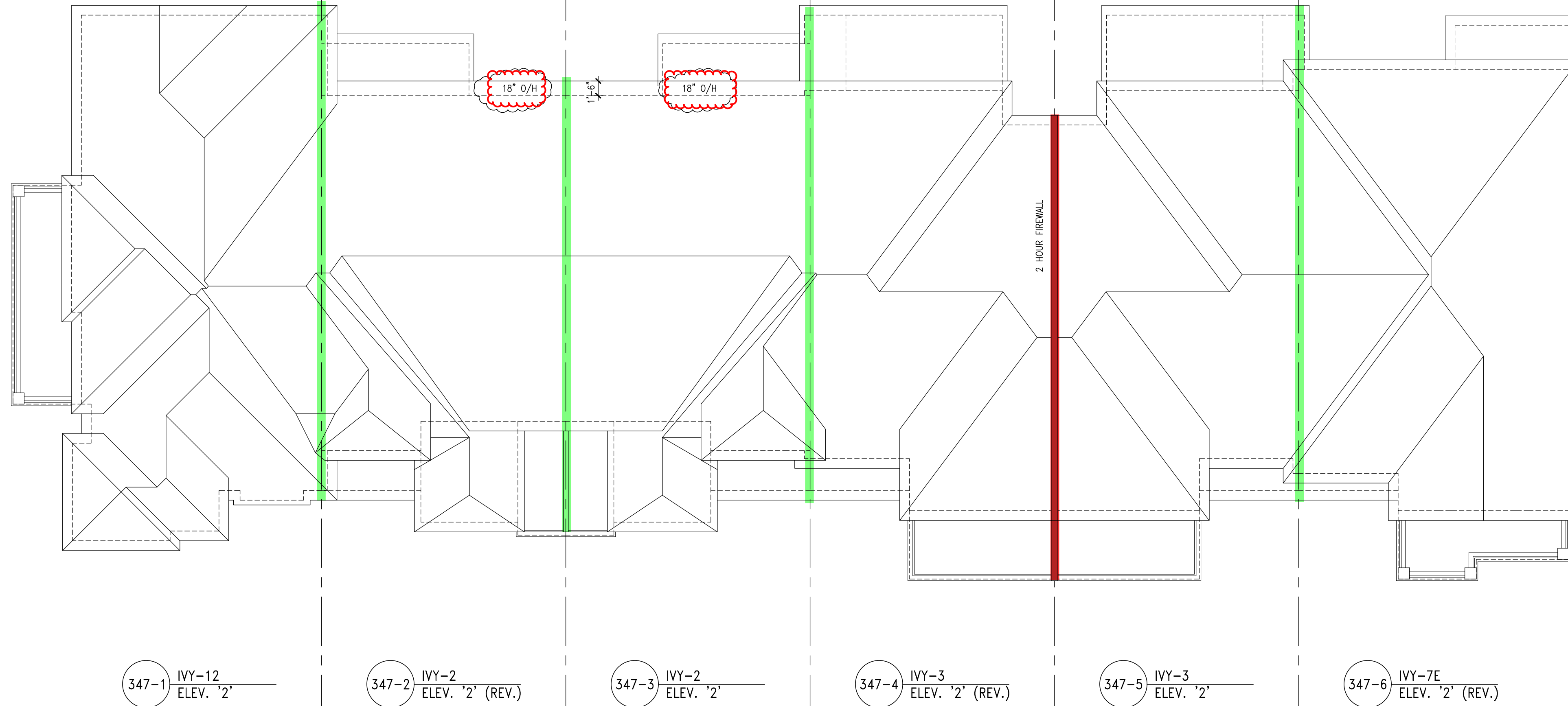
**BLOCK 347
ELEVATION 2**

It is the builder's complete responsibility to
ensure that all plans submitted for approval
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible for any errors or
omissions in the drawings or for any damage or
loss resulting from the use of the drawings or
for any building code or permit matter or that any
house can be properly built or located on lot.

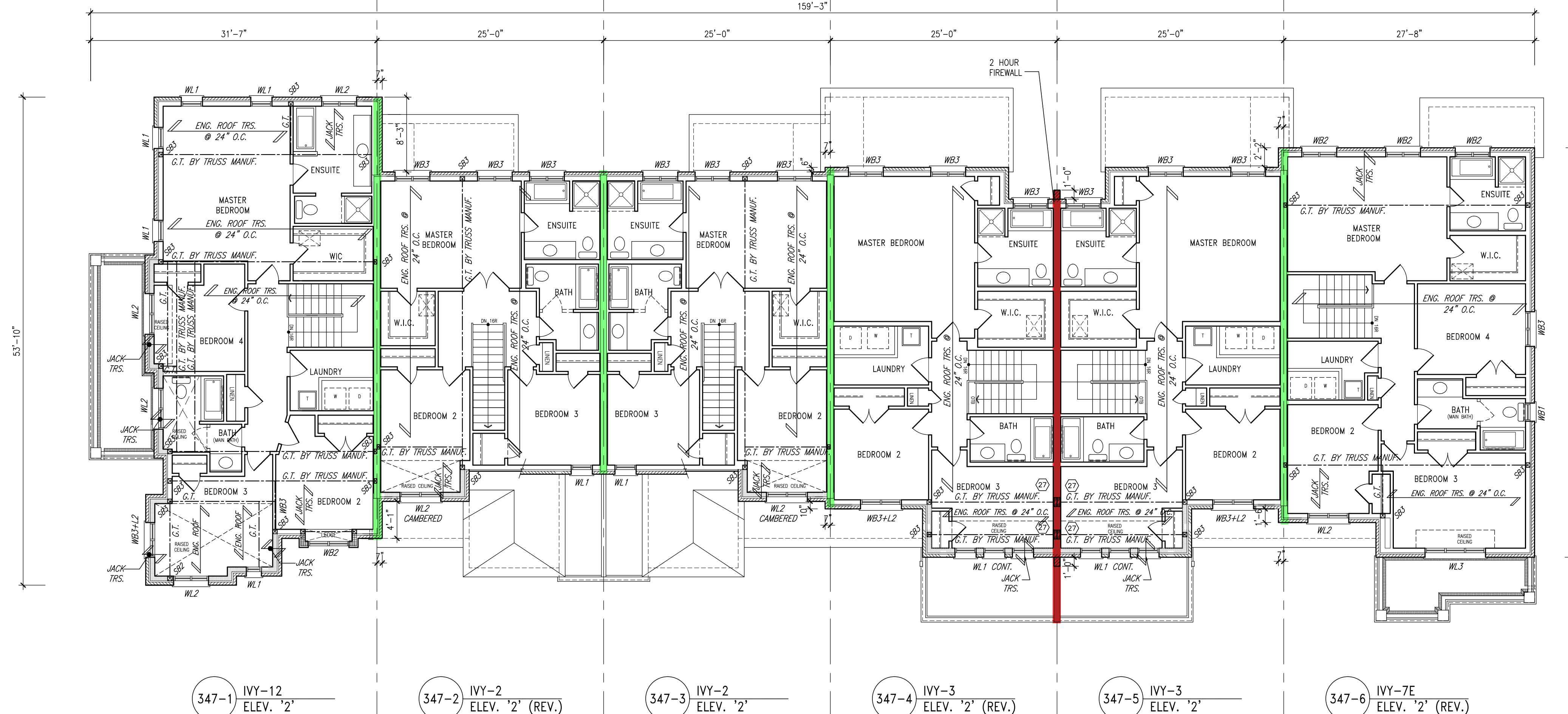
John G. Williams, Architect

V3 DESIGN
255 Consumers Rd
Toronto, ON M2J 1R4
416.630.2255
416.630.4182
v3design.com

Greenpark.
LECCO RIDGE DEV. INC.
TOWN OF MILTON
IVY SERIES
BLOCK 347
BLOCK 347 PLANS
B1



ROOF PLAN



SECOND FLOOR PLAN

NOTE:
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2 HOUR FIREWALL
(NON-COMBUSTIBLE)
FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

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120 KPa, NATIVE SOIL
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FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
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STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
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-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
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SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable regulations and requirements and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving the drawings or for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	REV. AS PER GRADE CHANGE	FEB 01/17	WT
3	ISSUED FOR PRICING	JAN 17/17	GM
4	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	WT
5	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
v3design.com

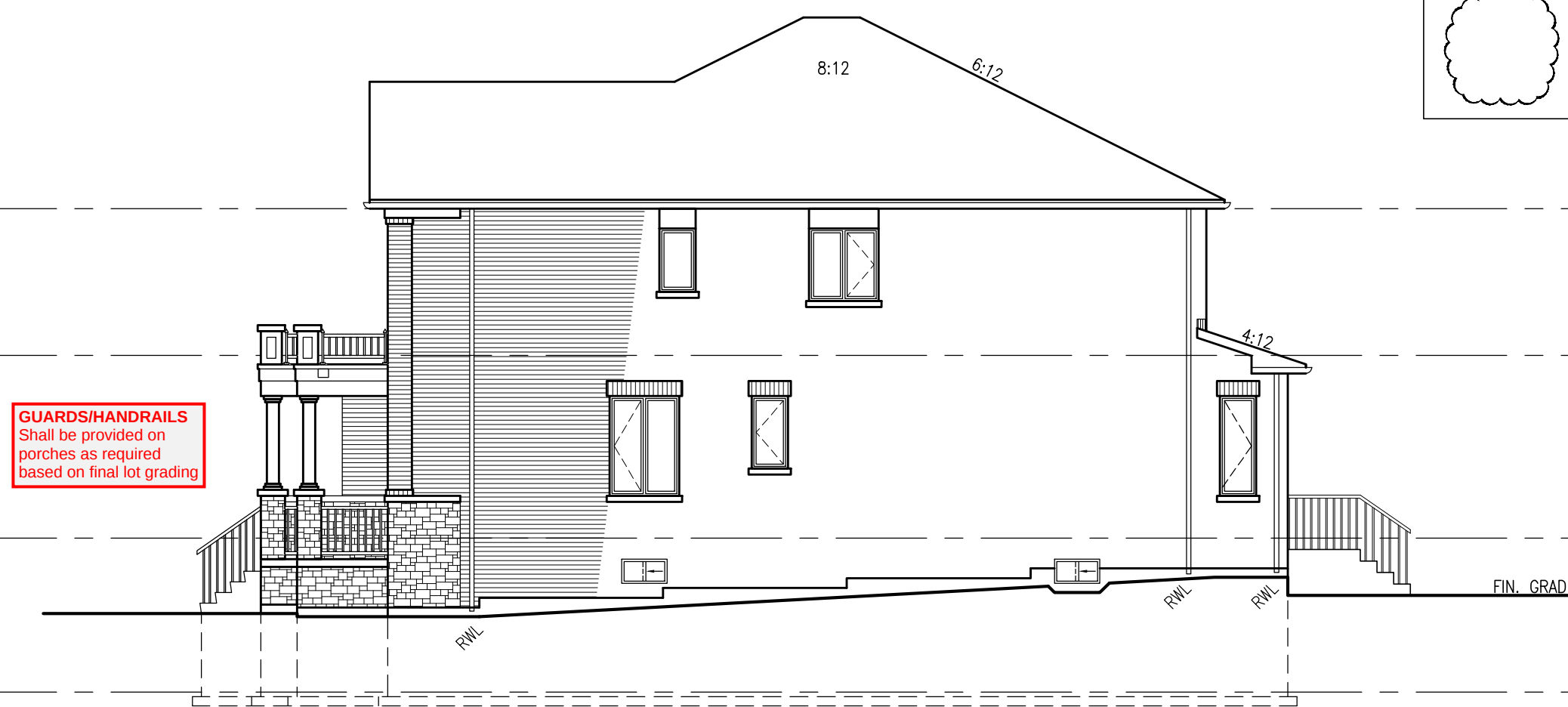
Richard Vink
24488
signature
V3 Design Inc.
42658

Greenpark.
PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
TOWN OF MILTON
16015
PROJECT TYPE
BLOCK 347
BLOCK 347 PLANS
DATE
SEPTEMBER 2016
DRAWN BY
16015-BLOCK-347
CHECKED BY
GM
SCALE
1/8" = 1'-0"

BLOCK 347
ELEVATION 2



347-1 IVY-12
ELEV. '2'
LEFT SIDE ELEVATION



347-6 IVY-7E
ELEV. '2' (REV.)
RIGHT SIDE ELEVATION

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
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PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5409
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SCOTT SHERRIFFS APR 26, 2017
PLANS EXAMINER
Positive the issuance of a permit not carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
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Bylaws of the Region of Milton and Town of Milton.

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construction details and specifications



347-6 IVY-7E
ELEV. '2' (REV.)
347-5 IVY-3
ELEV. '2'
347-4 IVY-3
ELEV. '2' (REV.)
347-3 IVY-2
ELEV. '2'
347-2 IVY-2
ELEV. '2' (REV.)
347-1 IVY-12
ELEV. '2'
REAR ELEVATION

= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)
FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

347-1 IVY-12
ELEV. '2'
347-2 IVY-2
ELEV. '2' (REV.)
347-3 IVY-2
ELEV. '2'
347-4 IVY-3
ELEV. '2' (REV.)
347-5 IVY-3
ELEV. '2'
347-6 IVY-7E
ELEV. '2' (REV.)
FRONT ELEVATION

BLOCK 347
ELEVATION 2

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vasdesign.com

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Richard Vink 24488
signature
VAS Design Inc. 42858

Greenpark.
PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
TOWN OF MILTON 16015
JOB NAME
IVY SERIES BLOCK 347
BLOCK 347 ELEVATIONS
1/8" = 1'-0"
SEPTEMBER 2016
drawn by
checked by
16015-BLOCK-347
B3