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STORM CONNECTION

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SANITARY CONNECTION

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WATER CONNECTION

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F.FLR

T/WALL

F.SLAB

U/FTG.

TTT

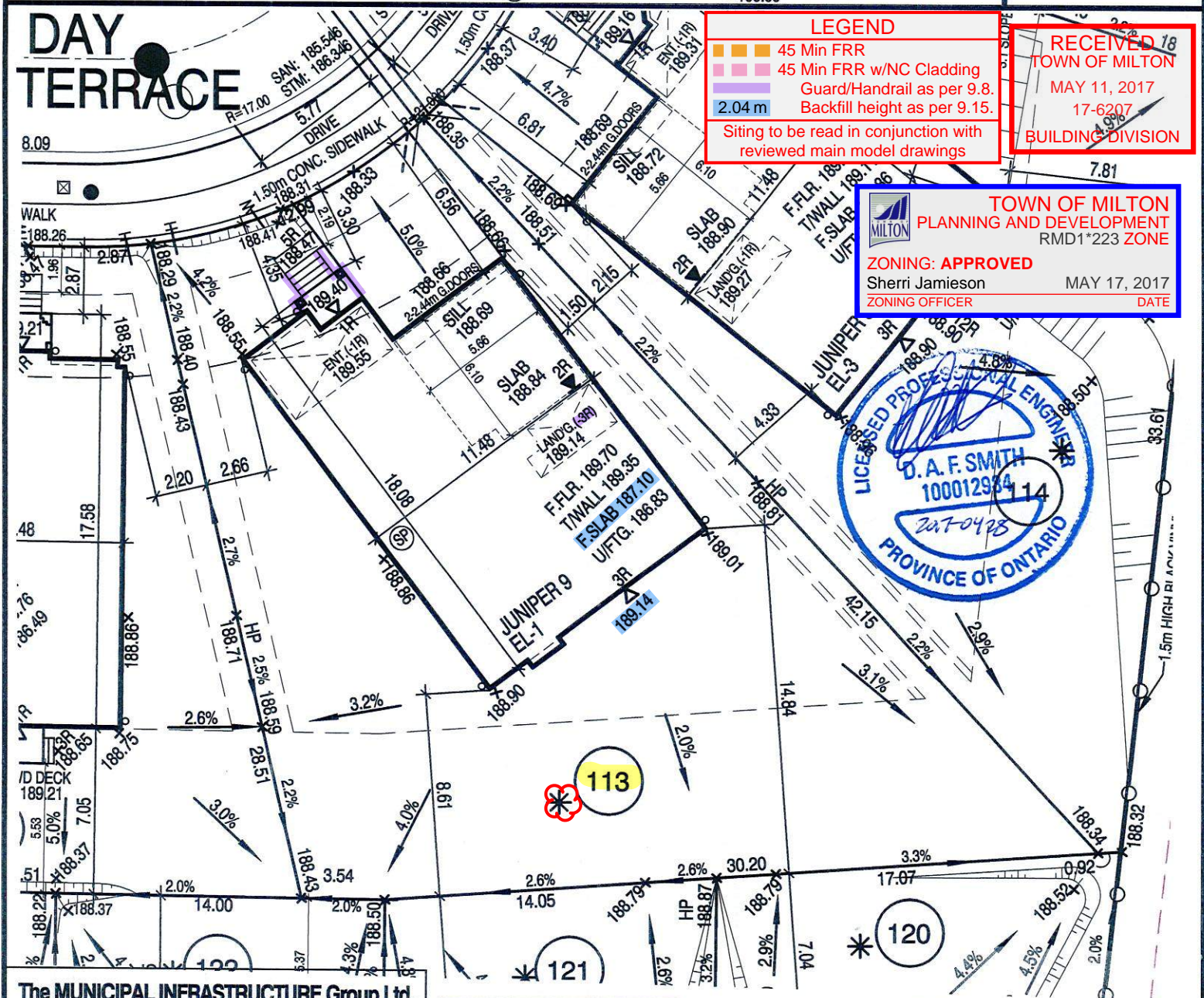
100.00

(100.00)

SW

×100.00

NORTH



**The MUNICIPAL INFRASTRUCTURE Group Ltd.**

LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

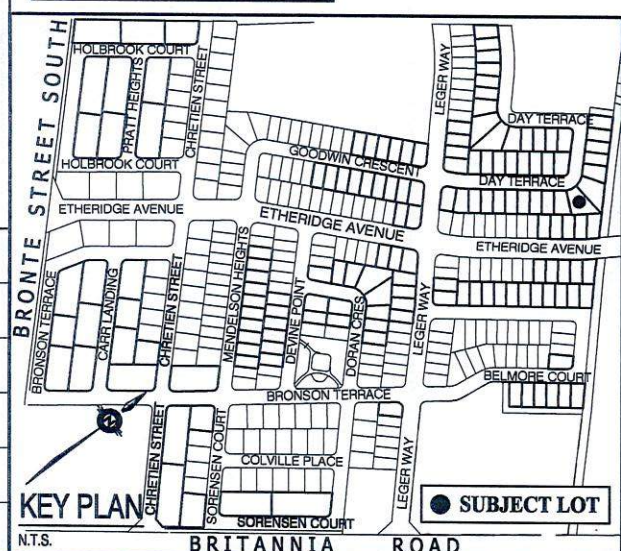
LOT/BLK. NO.(S) **113**

DATE: **APR 28 2017**

|   |  |
|---|--|
| 5 |  |
| 4 |  |
| 3 |  |
| 2 | APR. 11, 2017 REV. AS PER CLIENTS/ENG. AND ISSUED TO CLIENT FOR REVIEW |
| 1 | APR. 4, 2017 ISSUED FOR ENGINEERS GRADING REVIEW.                      |

**REVISIONS:**

**SUMP PUMP TO BE CONNECTED TO STORM SEWER.**



**45 MINUTE RATED WALL WITH SIDE YARD < 1.2m**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

**ARCHITECTURAL REVIEW & APPROVAL**  
**APR 13 2017**  
John G. Williams Limited Architect

**SCALE 1:250**  
5m 0m 5m 10m

**LECCO RIDGE DEVELOPMENTS INC.**  
 PROJ. No. 16-12 MUNICIPAL ADDRESS  
 LOT No. 113

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer  
 QUALIFICATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
**Walter Botter** 21031  
 NAME SIGNATURE BCIN  
 REGISTRATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code  
**Jardin design group Inc.** 27763  
 FIRM NAME BCIN

**jardin DESIGN GROUP INC.**  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

**REG. PLAN**  
 PART OF LOT 6 CONCESSION 2, NEW SURVEY  
 ( GEOGRAPHIC TOWNSHIP OF TRAFALGAR )  
 REGIONAL MUNICIPALITY OF HALTON  
 20M-1184 TOWN OF MILTON

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.  
 AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.