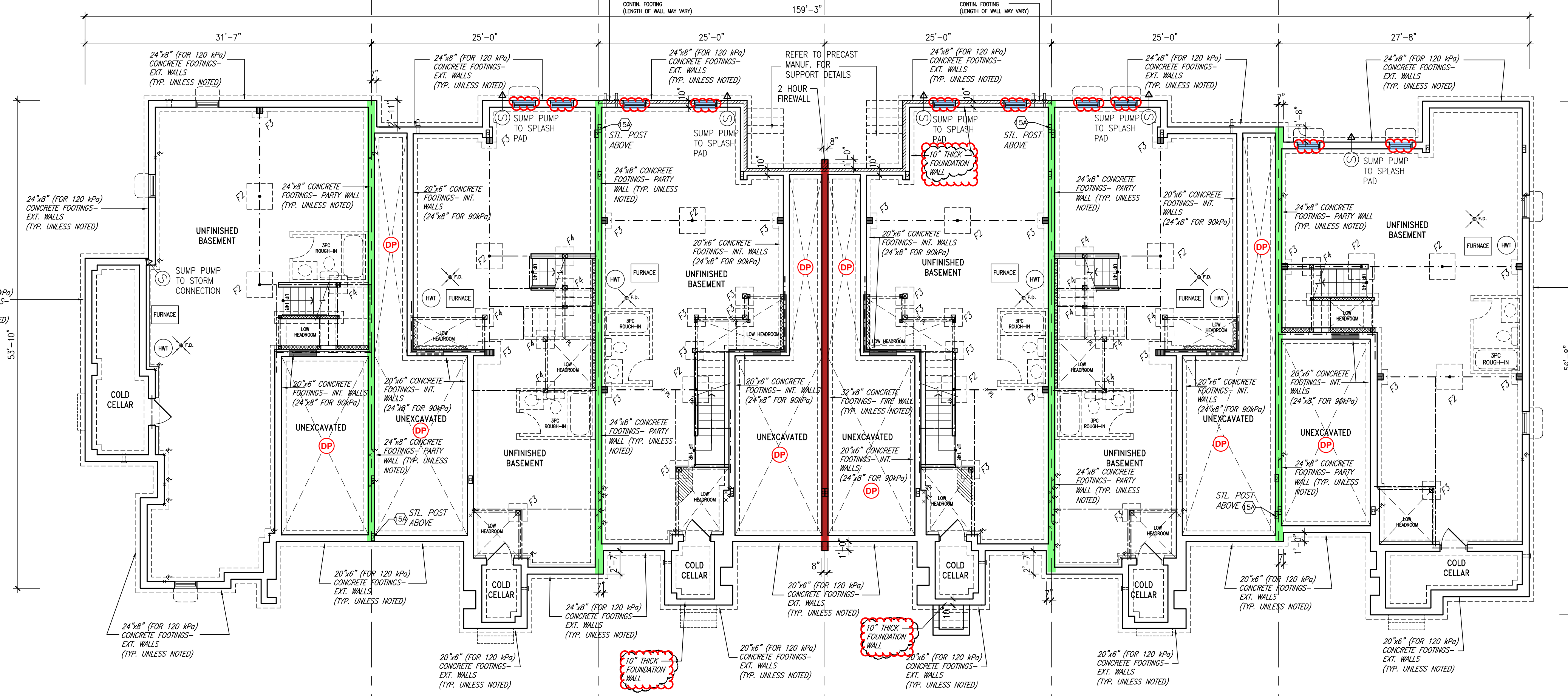
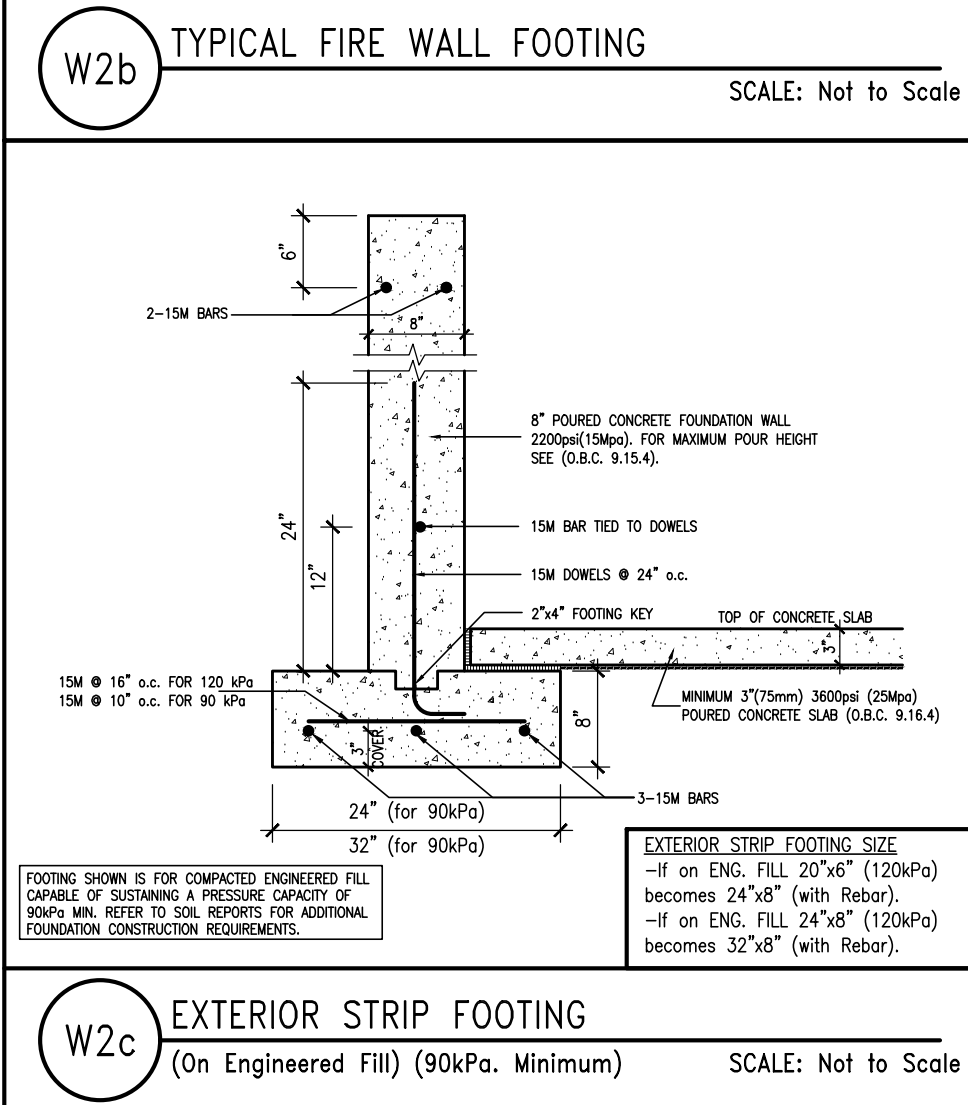
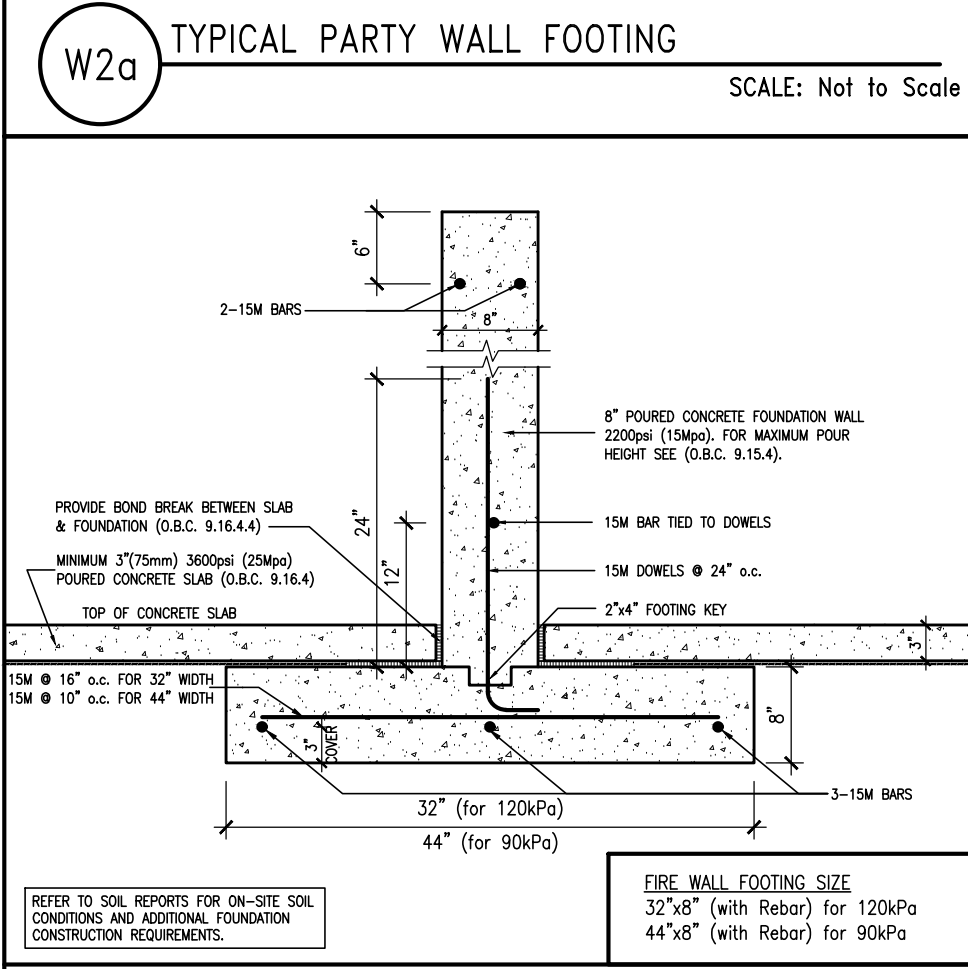
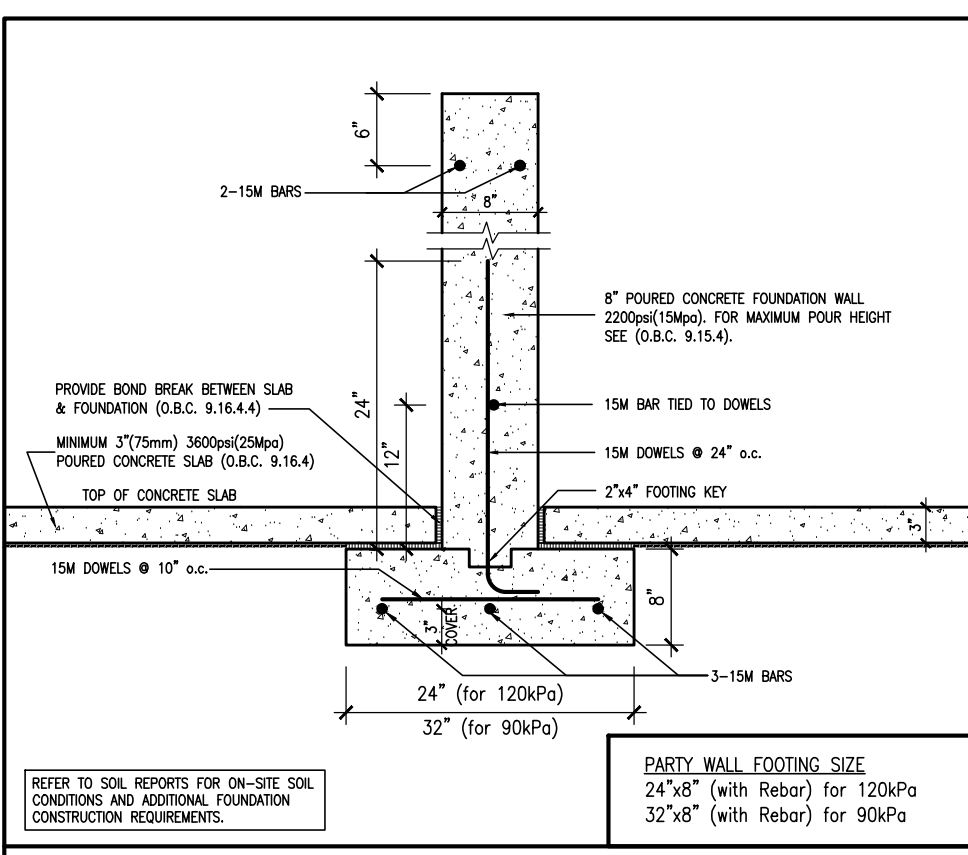


GROUND FLOOR PLAN



BASEMENT PLAN

NOTE:  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT



2 HOUR FIREWALL  
(NON-COMBUSTIBLE)  
FIREWALL DETAILS  
See standard details page 5  
for standard fire wall  
construction details

1 HOUR PARTY WALL  
(FIRE SEPARATION)  
PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details

BUILDING AREA  
7804.69 S.F. (725.07 m<sup>2</sup>)

**PAD FOOTINGS**  
120 KPa. NATIVE SOIL  
F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD

90 KPa. ENGINEERED FILL SOIL  
F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x18" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES**  
**FOOTINGS ON NATIVE SOIL (120 KPa.)**  
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).  
24"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS.  
32"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS.

**FOOTINGS ON ENGINEERED FILL (90 KPa.)**  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN  
32"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).  
32"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS.  
44"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS. (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL  
OR 90KPa/13.0kPa FOR ENGINEERED FILL  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

**VENEER CUT**  
WHEN VENEER CUT IS GREATER  
THAN 26", A 10" POURED  
CONCRETE FOUNDATION WALL IS  
REQUIRED.

**REFER TO INDIVIDUAL UNITS  
FOR THE FOLLOWING**  
-GROUND FLOOR ROOF  
STRUCTURE  
-BASEMENT AND GROUND  
FLOOR LINTELS  
-GROUND FLOOR AND  
SECOND FLOOR STRUCTURE  
-DOUBLE VOLUME WALL  
LOCATION AND DETAILS  
-CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND  
SECOND FLOOR LINTELS  
SHOWN ON BLOCK PLANS

**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF  
OVERLAP OF DEMISING LINE/  
PARTY WALL.

Ⓢ SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for omissions or errors in the drawings or for any building code or permit matter or that any house can be properly built or occupied on the lot.

This is to certify that these plans comply with the applicable Architectural Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Architect



NOTE:  
REFER TO GRADING PLAN  
FOR NUMBER OF STEPS.

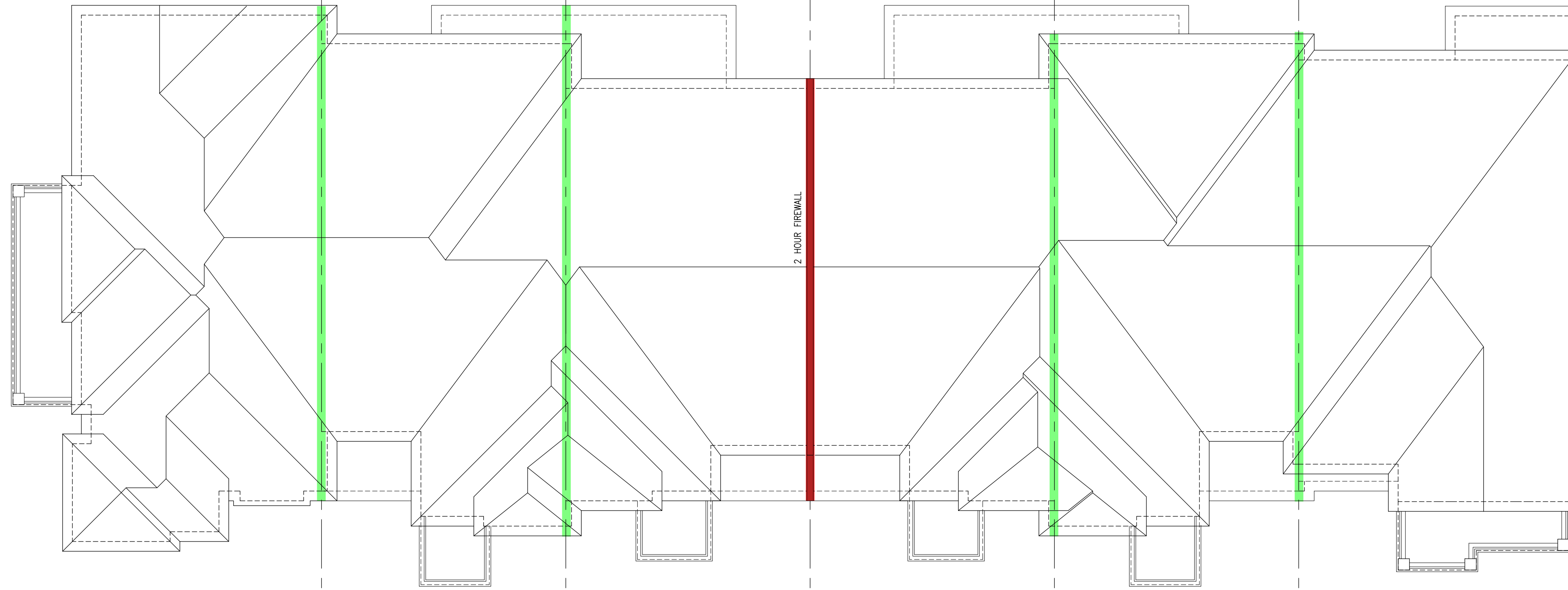
TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5403  
BUILDING REVIEWED  
SCOTT SHERIFFS  
APR 26, 2017

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-5403  
BUILDING DIVISION

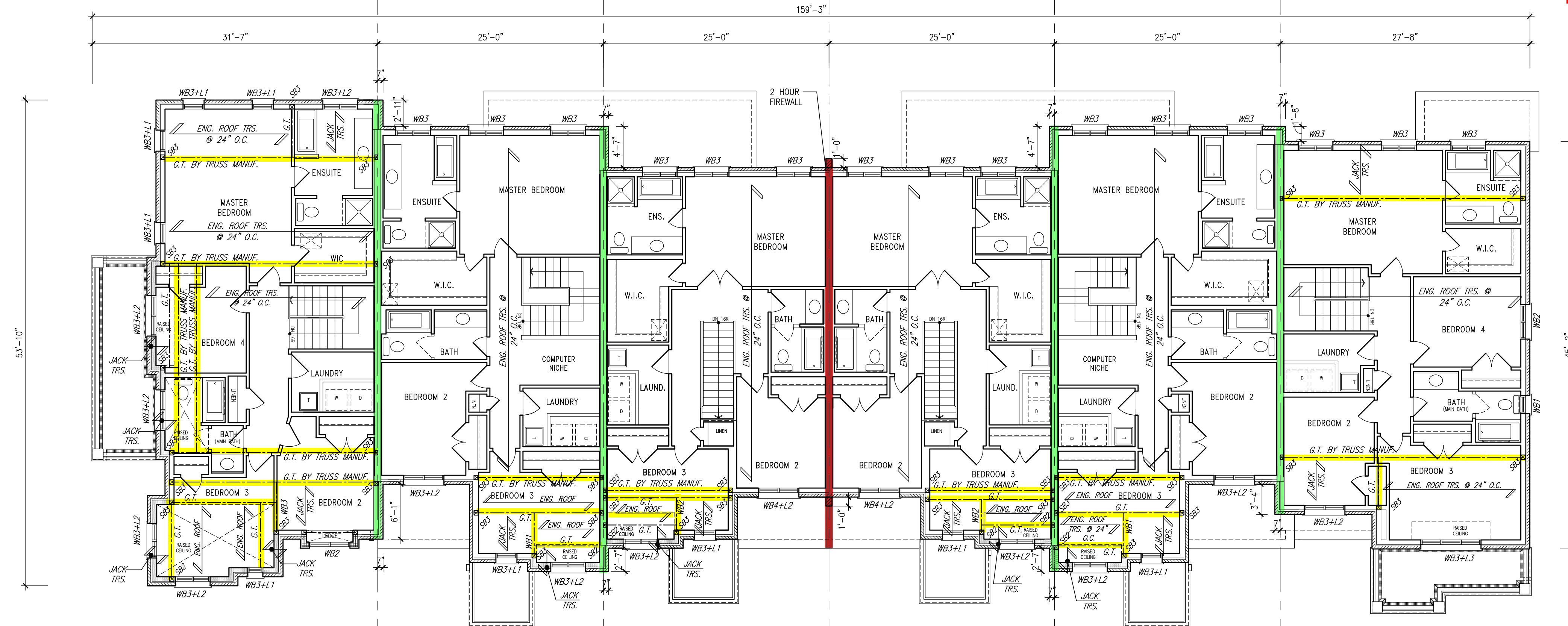
**V3 DESIGN**  
255 Consumers Rd  
Suite 120  
Toronto, ON M2J 1R4  
t: 416.630.2255  
f: 416.630.4182  
v3design.com

**Greenpark.**  
LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
16015  
BLOCK 346  
BLOCK PLANS  
B1





ROOF PLAN



SECOND FLOOR PLAN

= 2 HOUR FIREWALL  
(NON-COMBUSTIBLE)

**FIREWALL DETAILS**  
See standard details page 5  
for standard firewall  
construction details

= 1 HOUR PARTY WALL  
(FIRE SEPARATION)

**PARTY WALL DETAILS**  
See standard details page 4  
for standard party wall  
construction details

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5403  
BUILDING REVIEWED  
SCOTT SHERIFFS  
APR 26, 2017  
DATE  
Whether the issuance of a permit or carrying out of  
inspections by the Town of Milton releases the owner from  
all responsibility for compliance with the provisions of  
the Ontario Building Code Act and the Ontario Building  
Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario,  
Bylaw of the Region of Halton and Town of Milton

**RECEIVED**  
**TOWN OF MILTON**  
MAR 29, 2017  
17-5403  
BUILDING DIVISION

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be  
read in conjunction with reviewed townhouse  
model drawings and engineered truss system

**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in  
conjunction with reviewed general notes,  
constructions details and specifications



BLOCK 346  
ELEVATION 2

**PAD FOOTINGS**  
120 KPa, NATIVE SOIL  
F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD  
90 KPa, ENGINEERED FILL SOIL  
F1 = 48"x48"x20" CONCRETE PAD  
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(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

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32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

**FOOTINGS ON ENGINEERED FILL (90 KPa)**  
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN  
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32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.  
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.  
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**REFER TO INDIVIDUAL UNITS  
FOR THE FOLLOWING**

- GROUND FLOOR  
STRUCTURE
- BASEMENT AND GROUND  
FLOOR LINTELS
- GROUND FLOOR AND  
SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL  
LOCATION AND DETAILS
- CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND  
SECOND FLOOR LINTELS  
SHOWN ON BLOCK PLANS

**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF  
OVERLAP OF DEMISING LINE/  
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

**ARCHITECTURAL REVIEW & APPROVAL**  
MAR 20 2017  
John G. Williams, Licensed Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GM
3	ISSUED FOR PRICING	JAN 17/17	GM
2	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GM
1	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

**V3 DESIGN**  
255 Consumers Rd  
Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255  
f 416.630.4782  
v3design.com

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The architect has reviewed and taken responsibility for the design and construction of the building. The architect is not responsible for the design and construction of the building. The architect is not responsible for the design and construction of the building.

Richard Vink  
signature  
V3 Design Inc.

**Greenpark.**

PROJECT NAME  
LECCO RIDGE DEV. INC.

PROJECT NO.  
16015

PROJECT NAME  
BLOCK 346

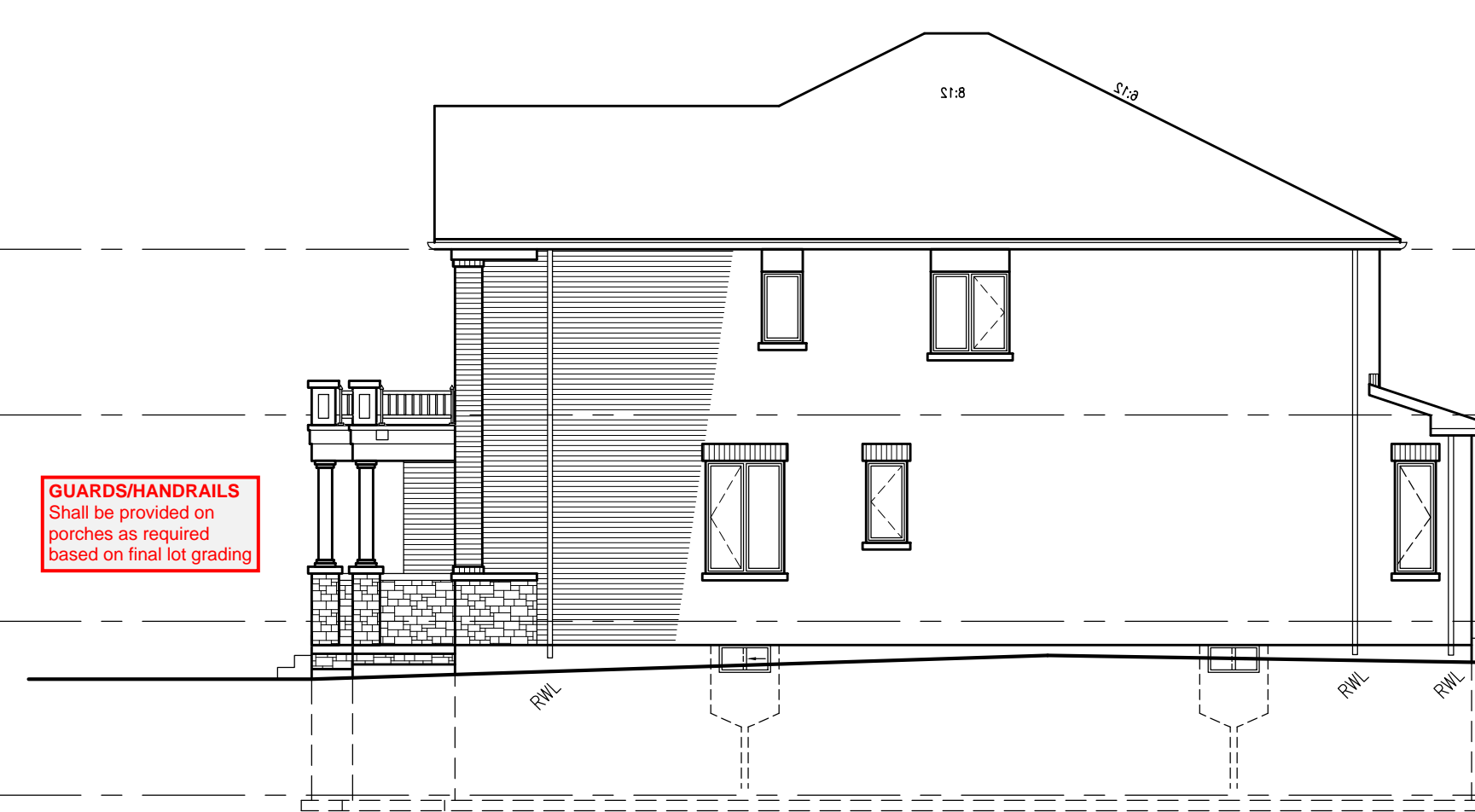
PROJECT NO.  
16015-BLOCK-346





346-1 IVY-12  
ELEV. '2'

LEFT SIDE ELEVATION



346-6 IVY-7E  
ELEV. '2' (REV.)

RIGHT SIDE ELEVATION

NOTE:  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5403  
BUILDING REVIEWED  
SCOTT SHERIFFS  
DATE  
APR 26, 2017

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
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GENERAL NOTES/CONSTRUCTION DETAILS  
Reviewed model drawings to be read in  
conjunction with reviewed general notes,  
constructions details and specifications



346-6 IVY-7E  
ELEV. '2' (REV.)

REAR ELEVATION

346-5 IVY-5  
ELEV. '2'

346-4 IVY-4  
ELEV. '2' (REV.)

346-3 IVY-4  
ELEV. '2'

346-2 IVY-5  
ELEV. '2' (REV.)

346-1 IVY-12  
ELEV. '2'

2 HOUR FIREWALL  
(NON-COMBUSTIBLE)  
FIREWALL DETAILS  
See standard details page 5  
for standard firewall  
construction details

1 HOUR PARTY WALL  
(FIRE SEPARATION)  
PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details



346-1 IVY-12  
ELEV. '2'

FRONT ELEVATION

346-2 IVY-5  
ELEV. '2' (REV.)

346-3 IVY-4  
ELEV. '2'

346-4 IVY-4  
ELEV. '2' (REV.)

346-5 IVY-5  
ELEV. '2'

346-6 IVY-7E  
ELEV. '2' (REV.)

BLOCK 346  
ELEVATION 2

It is the builder's complete responsibility to  
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Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario,  
By-laws of the Region of Halton and Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Architect

10					
9					
8					
7					
6					
5					
4	ISSUED FOR PERMIT	MAR 01/17	GM		
3	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GM		
2	ISSUED FOR PRICING	JAN 17/17	GM		
1	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GM		
0	ISSUED FOR CLIENT REVIEW				
	no description	date	by		

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t 416.630.4255  
f 416.630.4782  
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The architect has reviewed and taken responsibility for the design  
and for the specifications and notes the representations are set in the  
design. Building Code is not a design.  
Vas Design Inc. is not a design.  
Richard Vink  
signature  
24888  
date  
42858

**Greenpark.**

PROJECT NAME  
LECCO RIDGE DEV. INC.

PROJECT NO.  
TOWN OF MILTON  
16015

PROJECT NAME  
BLOCK 346  
ELEVATION 2

DATE  
SEPTEMBER 2016  
DRAWN BY  
GM  
CHECKED BY  
GM  
SCALE  
1/8" = 1'-0"