

BUILDING AREA
8898.65 S.F. (826.71 m²)

PAD FOOTINGS
120 KPa. NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
90 KPa. ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPa)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kgf SOL. BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/13.0kgf FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

← SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Design Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for evaluating or approving the drawings or for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
v3design.com

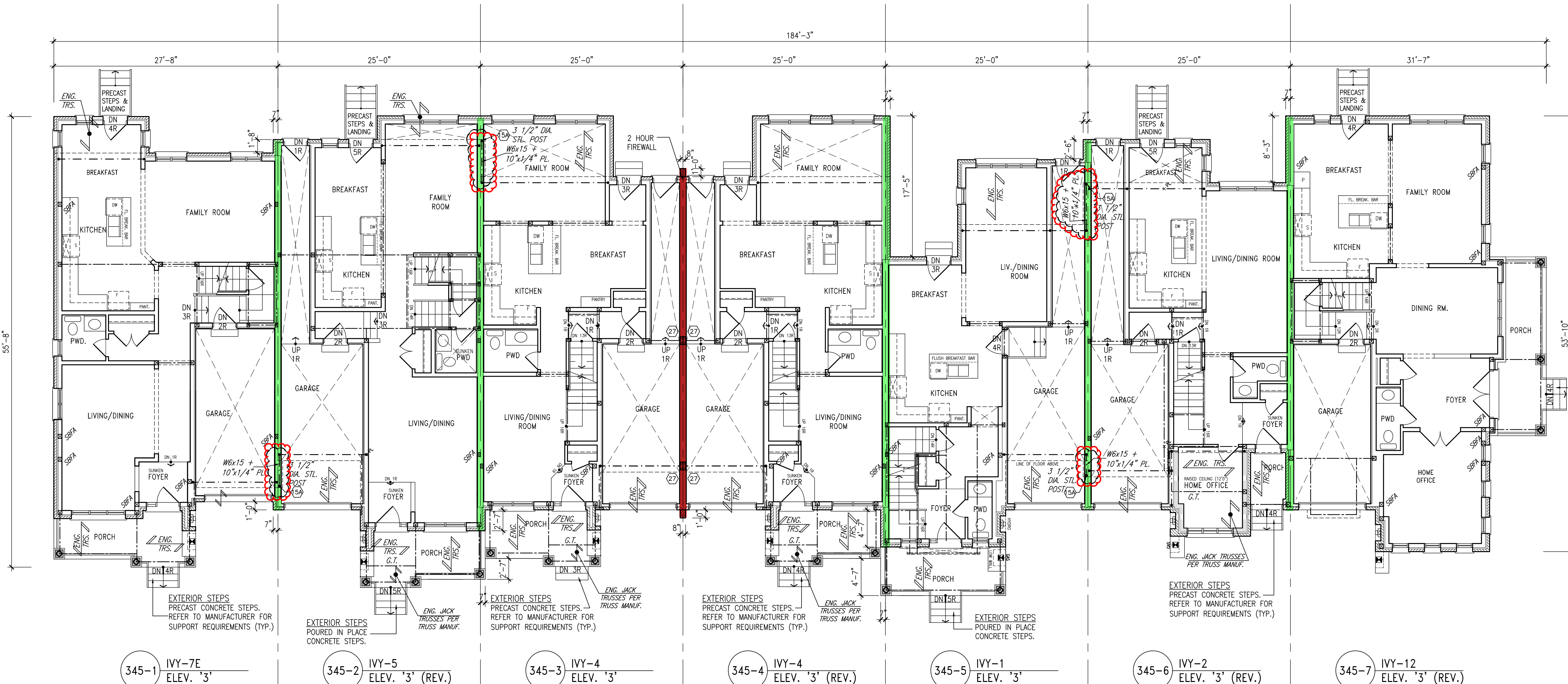
24488
Richard Vink
signature
42658

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
TOWN OF MILTON
16015
IVY SERIES
BLOCK 345
BLOCK 345 PLANS

DATE
SEPTEMBER 2016
DRAWN BY
CH

SCALE
1/8" = 1'-0"
1/4" = 3'-0"
1/2" = 6'-0"
3/4" = 9'-0"
1" = 12'-0"
1 1/2" = 18'-0"
2" = 24'-0"
3" = 36'-0"
4" = 48'-0"
6" = 72'-0"
8" = 96'-0"
10" = 120'-0"
12" = 144'-0"
14" = 168'-0"
16" = 192'-0"
18" = 216'-0"
20" = 240'-0"
24" = 288'-0"
30" = 360'-0"
36" = 432'-0"
48" = 576'-0"
60" = 720'-0"
72" = 864'-0"
96" = 1152'-0"
120" = 1440'-0"
144" = 1728'-0"
168" = 2016'-0"
192" = 2304'-0"
216" = 2592'-0"
240" = 2880'-0"
288" = 3456'-0"
360" = 4320'-0"
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GROUND FLOOR PLAN

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5348
BUILDING REVIEWED
SCOTT SHERRIFFS
APR 25, 2017
DATE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5348
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

BUILDING AREA
8898.65 S.F. (826.71 m²)

PAD FOOTINGS
120 KPa. NATIVE SOIL 90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS
OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.
FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH
REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kgf SOL. BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/13.0kgf FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
any misinterpretation of or errors in the
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

| | | | |
|-----|-------------------------------------------|-----------|----|
| 10 | - | - | - |
| 9 | - | - | - |
| 8 | - | - | - |
| 7 | - | - | - |
| 6 | - | - | - |
| 5 | ISSUED FOR PERMIT | MAR 01/17 | GM |
| 4 | SUMP PUMP LOCATIONS ADDED | FEB 02/17 | GM |
| 3 | ISSUED FOR PRICING | JAN 17/17 | GM |
| 2 | REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS | DEC 13/16 | GM |
| 1 | ISSUED FOR CLIENT REVIEW | - | - |
| Rev | description | date | by |

Contractor must verify all dimensions on the job and report any discrepancy to the
Designer before proceeding with the work. All drawings and specifications are
instruments of service and the property of the architect which must be returned at
the completion of the work. Drawings are not to be copied.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4182
v3design.com

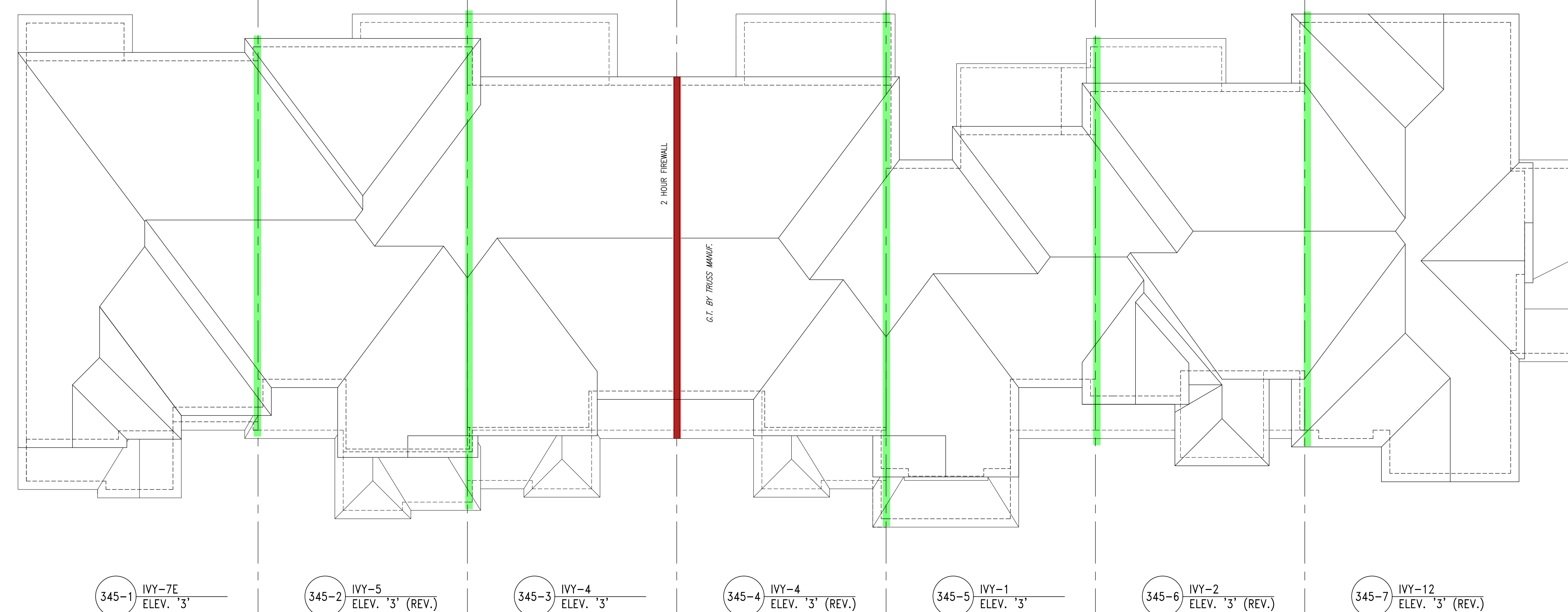
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The architect has reviewed and taken responsibility for the design
and for the specifications and notes the requirements set out in the
contract. Building Code is to be followed.
Specification Information
Richard Vink
signature
24488
42585

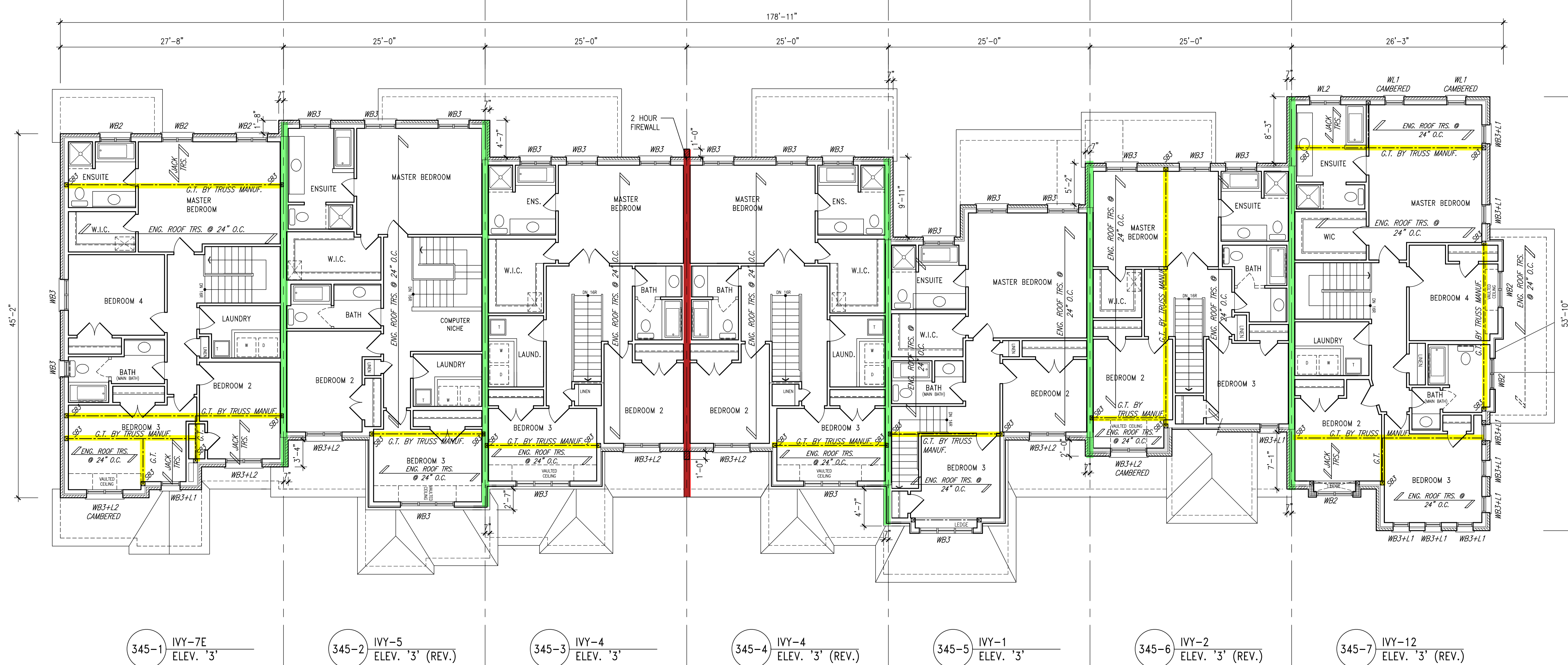
Greenpark.
PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
TOWN OF MILTON
16015
16015-BLOCK-345
BLOCK 345
ELEVATION 3
BLOCK 345 PLANS
SEPTEMBER 2016
1/8" = 1'-0"
drawn by
checked by
DATE
BY



**BLOCK 345
ELEVATION 3**



ROOF PLAN



SECOND FLOOR PLAN

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5348
BUILDING REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
APR 25, 2017
DATE
RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5348
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

It is the architect's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any building plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Licensed Architect



V3 DESIGN
255 Consumers Rd
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v3design.com

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The architect has reviewed and taken responsibility for the design and for the specifications and notes the requirements are set in the design. Building Code is set in place.

Richard Vink
signature
24488
V3 Design Inc.

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

TOWN OF MILTON
BLOCK 345

IVY SERIES
BLOCK 345 PLANS

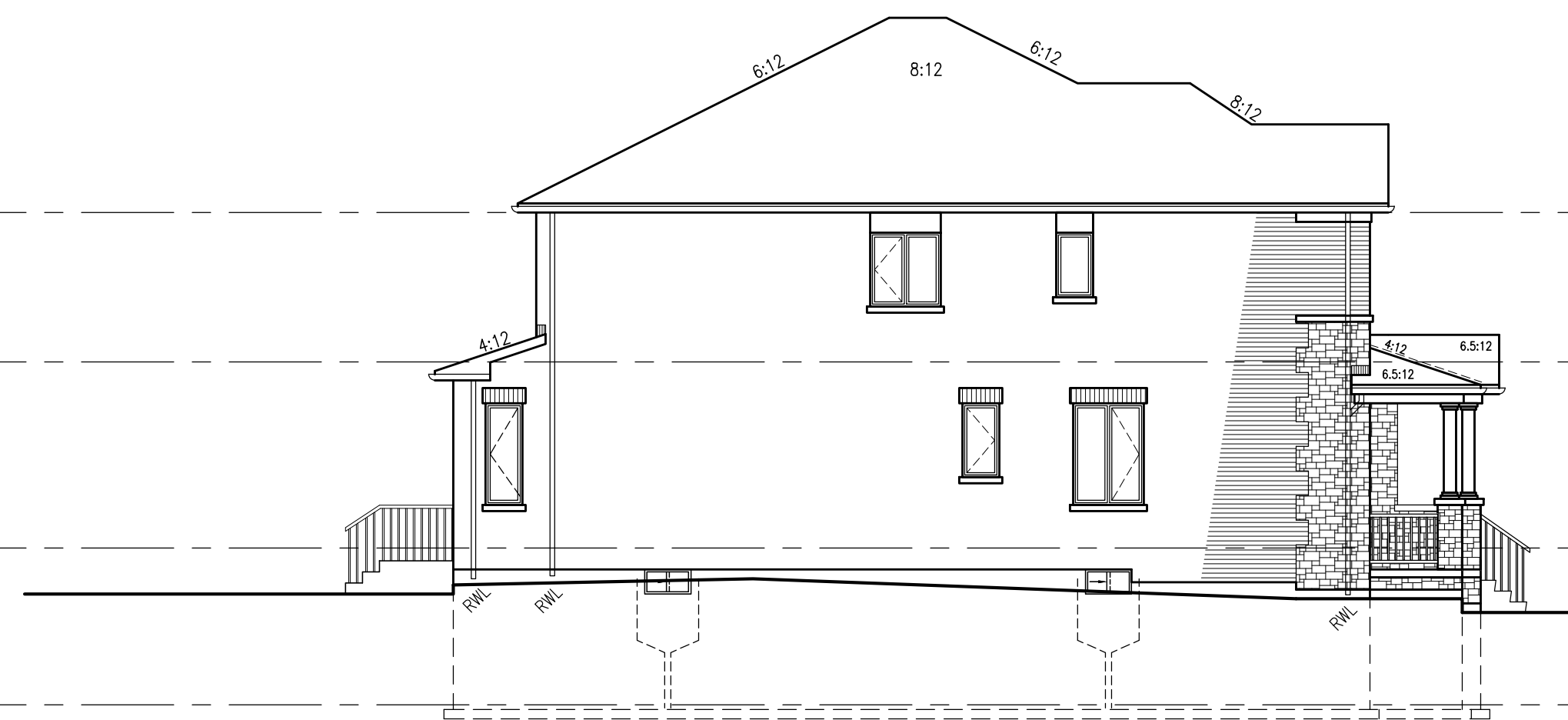
SEPTEMBER 2016
1/8" = 1'-0"

drawn by
checked by
DATE
16015-BLOCK-345

B3

**BLOCK 345
ELEVATION 3**

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



345-1 IVY-7E
ELEV. '3'
LEFT SIDE ELEVATION



345-7 IVY-12
ELEV. '3' (REV.)
RIGHT SIDE ELEVATION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5346
BUILDING REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
DATE
APR 25, 2017

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-3546
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications



345-7 IVY-12
ELEV. '3' (REV.)

345-6 IVY-2
ELEV. '3' (REV.)

345-5 IVY-1
ELEV. '3'

345-4 IVY-4
ELEV. '3' (REV.)

345-3 IVY-4
ELEV. '3'

345-2 IVY-5
ELEV. '3' (REV.)

345-1 IVY-7E
ELEV. '3'

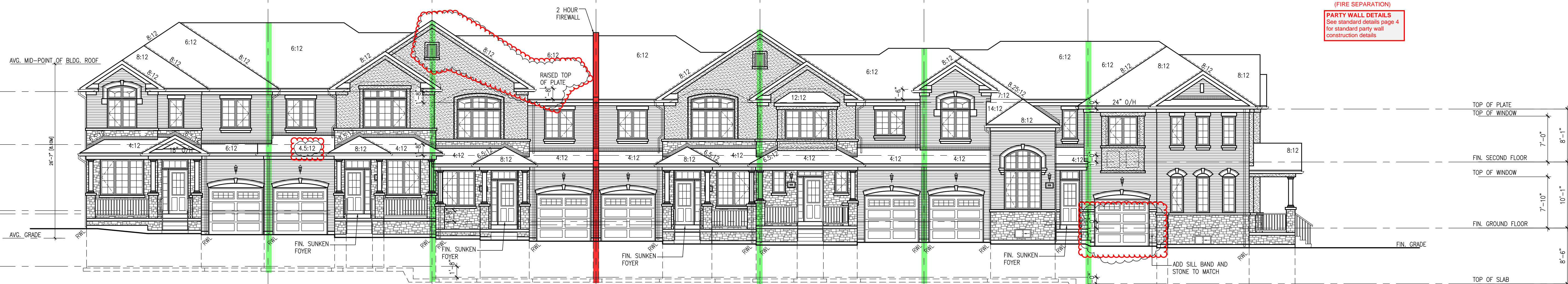
REAR ELEVATION

2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



345-1 IVY-7E
ELEV. '3'

345-2 IVY-5
ELEV. '3' (REV.)

345-3 IVY-4
ELEV. '3'

345-4 IVY-4
ELEV. '3' (REV.)

345-5 IVY-1
ELEV. '3'

345-6 IVY-2
ELEV. '3' (REV.)

345-7 IVY-12
ELEV. '3' (REV.)

FRONT ELEVATION

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

BLOCK 345
ELEVATION 3

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MAR 20 2017
John G. Williams, Architect

| NO. | DESCRIPTION | DATE | BY |
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| 1 | ISSUED FOR PERMIT | MAR 01/17 JGM | |
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F 416.630.4782
vasdesign.com

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signature
24488
42658

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
TOWN OF MILTON
16015

IVY SERIES
BLOCK 345
ELEVATIONS

DATE
SEPTEMBER 2016
DRAWN BY
BT
CHECKED BY
CW
SCALE
1/8" = 1'-0"