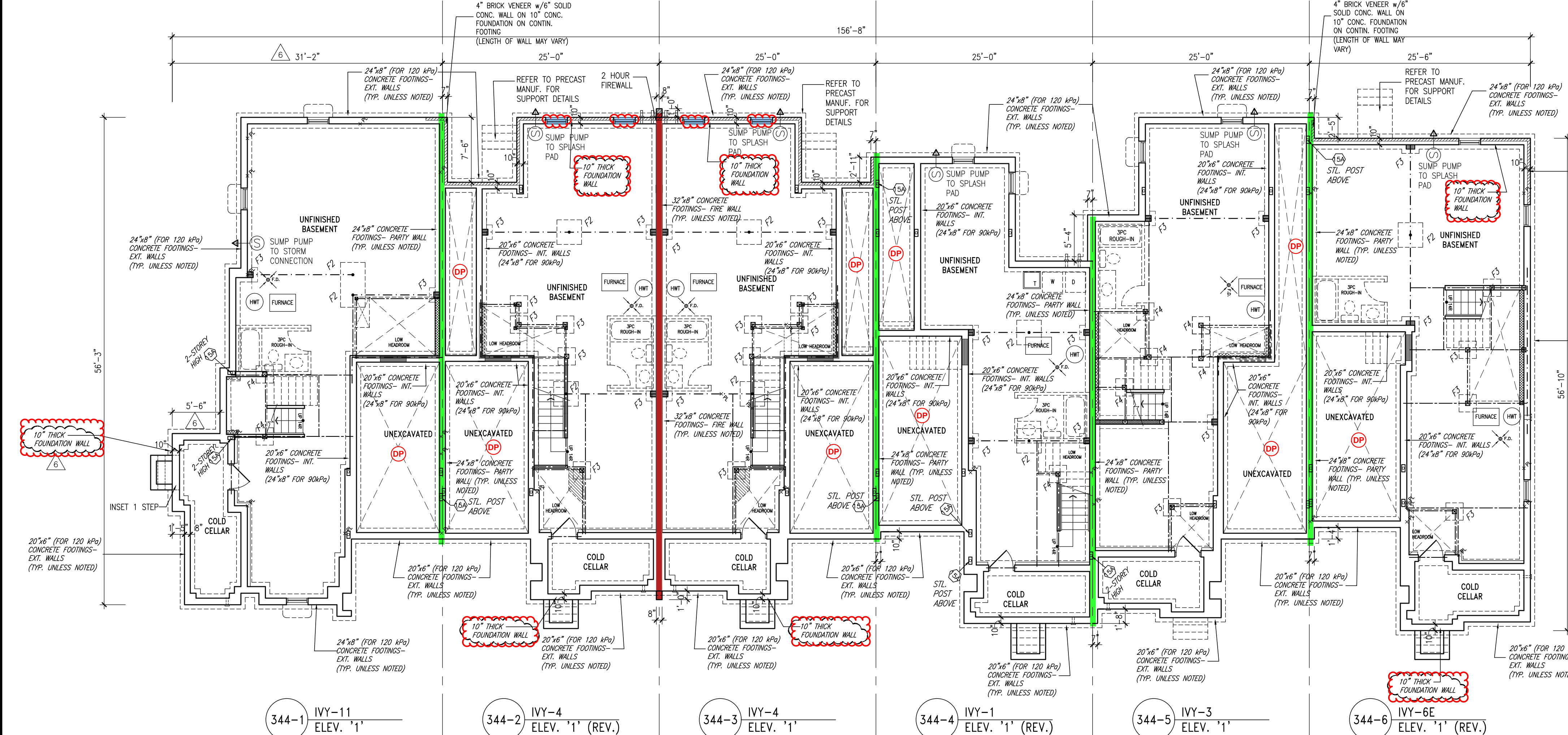


TOWN OF MILTON
PLANNING AND DEVELOPMENT
17-5337 MODEL
BUILDING REVIEWED
SCOTT SHERRIFFS
MAY 9, 2017
DATE
The issuance of a permit not carrying out of
responsibility by the Town of Milton reserves the owner from
all responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as all applicable
statutes and regulations of the Province of Ontario,
the laws of the Region of Halton and Town of Milton.

RECEIVED
TOWN OF MILTON
MAY 5, 2017
17-5337
BUILDING DIVISION

GROUND FLOOR PLAN



BASEMENT PLAN

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard fire wall
construction details

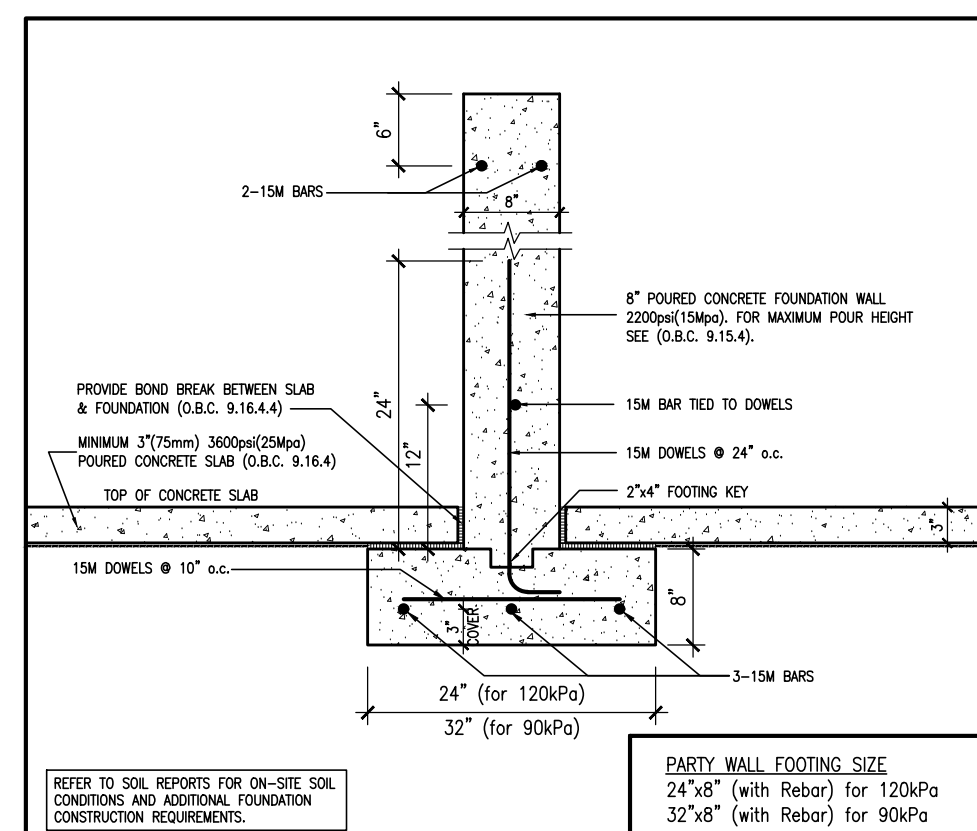
1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

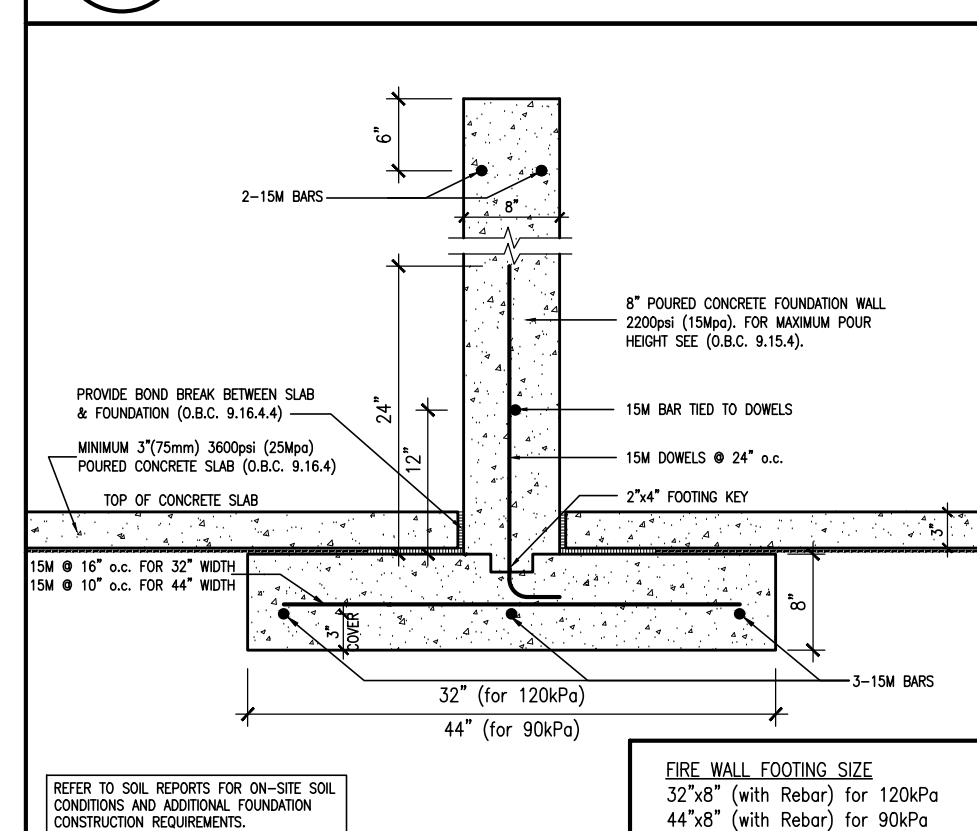
REQUIRED FOUNDATION
REINFORCING
Refer to reviewed model drawings for
required foundation reinforcing around
window openings for the following models:
IVY 2, IVY 4, IVY 5, and IVY 7E

FOUNDATION DAMPROOFING
DRAINAGE AND WEeping TILE
To be installed on foundation walls
separating basement space from
unexcavated areas (under porches and
attached garage slabs)

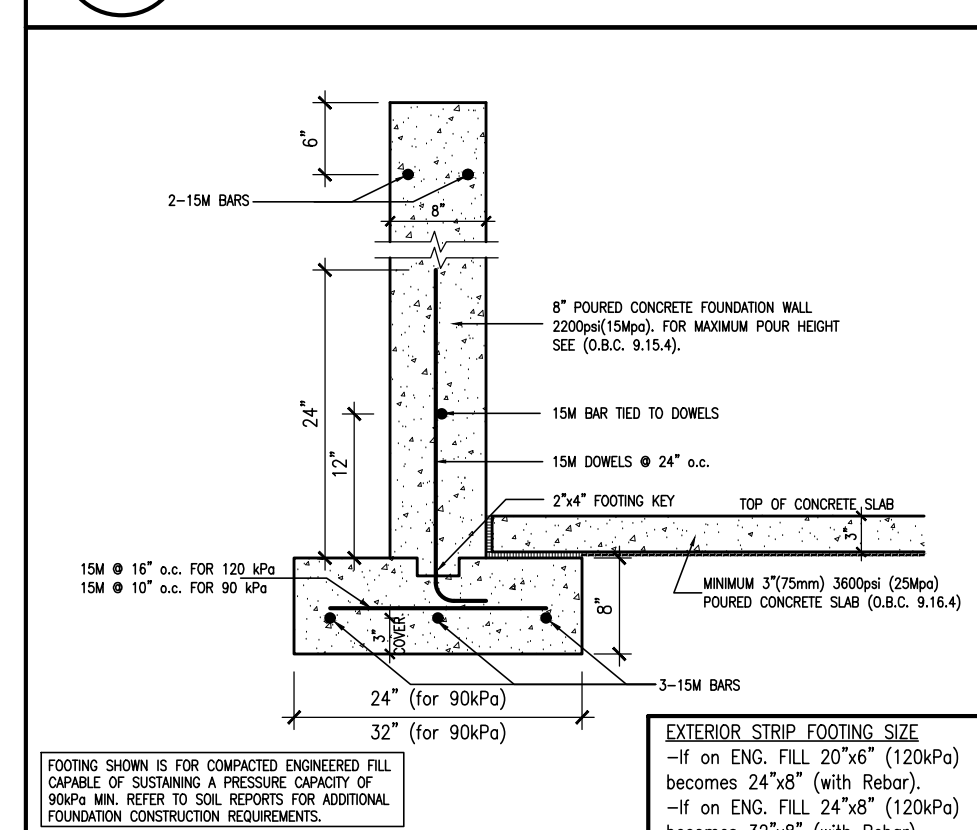
NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



W2a TYPICAL PARTY WALL FOOTING
SCALE: Not to Scale



W2b TYPICAL FIRE WALL FOOTING
SCALE: Not to Scale



W2c EXTERIOR STRIP FOOTING
(On Engineered Fill) (90kPa. Minimum)
SCALE: Not to Scale

NOTE:
REFER TO GRADING PLAN
FOR NUMBER OF STEPS.



BLOCK 344 ELEVATION 1

BUILDING AREA
7652.71 S.F. (710.96 m²)

PAD FOOTINGS
120 KPa. NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS
OTHERWISE NOTED).
24"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.
FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH
REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

ASSUME 120kPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90kPa/13.0kPa FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as all applicable statutes and regulations of the Province of Ontario, the laws of the Region of Halton and Town of Milton. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

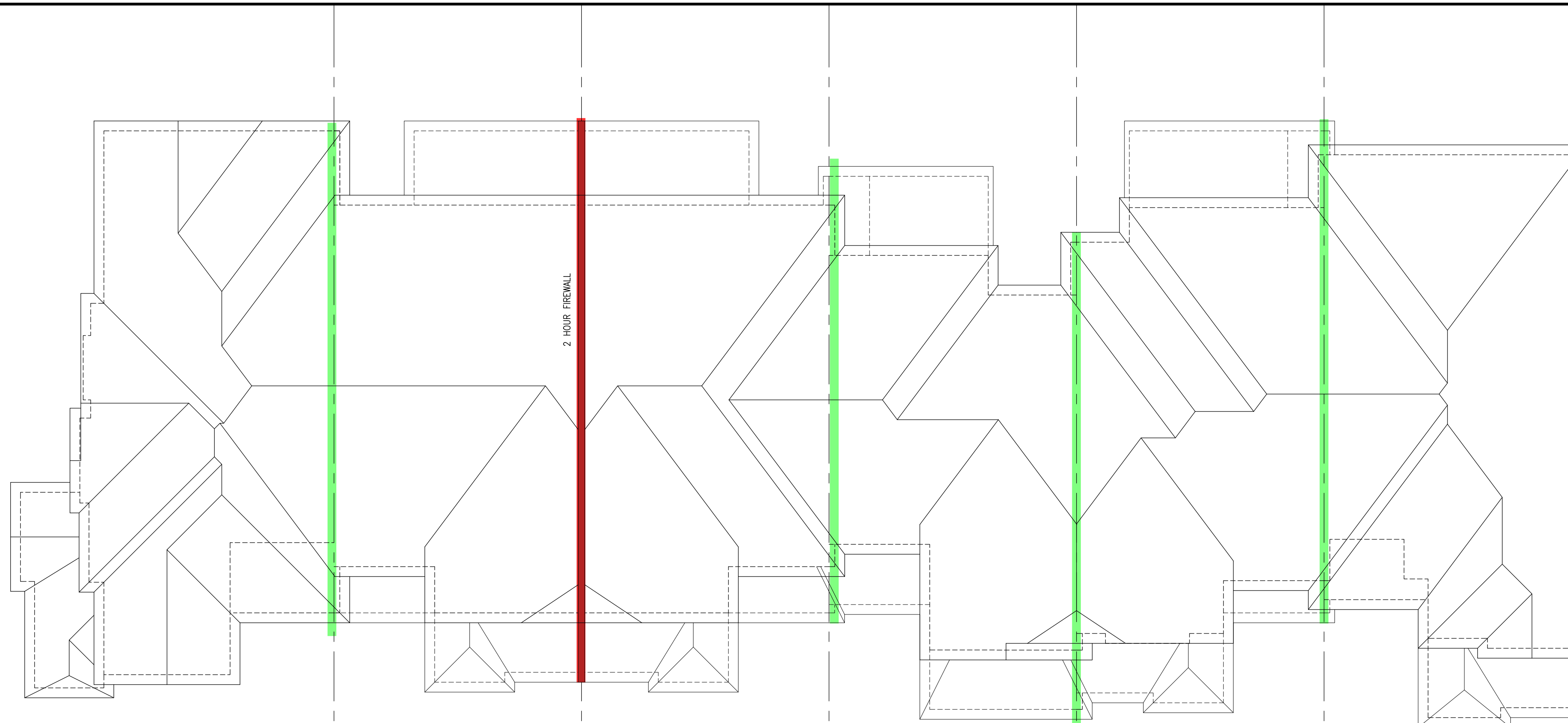
ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams, Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAY 03/17	CM
2	ISSUED FOR PERMIT	MAY 03/17	CM
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6	ISSUED FOR PERMIT	MAY 03/17	CM
7	ISSUED FOR PERMIT	MAY 03/17	CM
8	ISSUED FOR PERMIT	MAY 03/17	CM
9	ISSUED FOR PERMIT	MAY 03/17	CM
10	ISSUED FOR PERMIT	MAY 03/17	CM

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

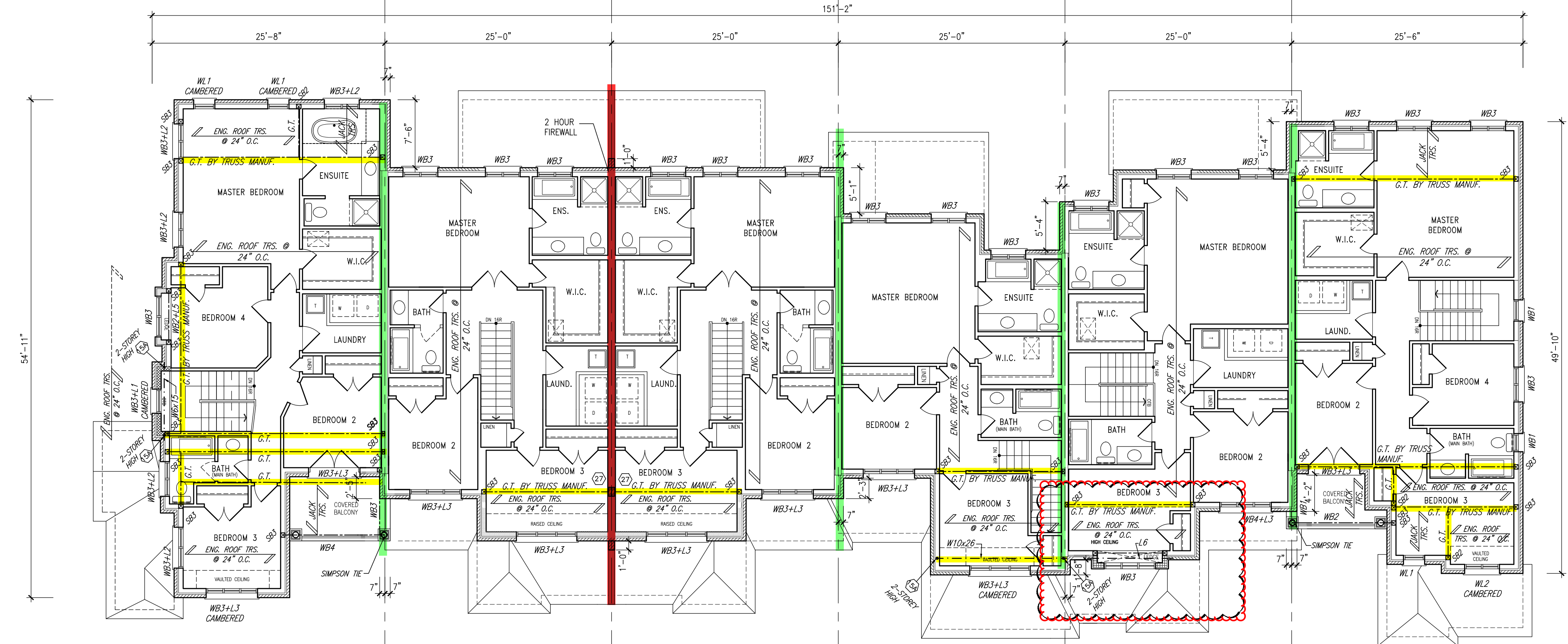
V3 DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
T 416.630.2255
F 416.630.4182
v3design.com

Greenpark.
LECCO RIDGE DEV. INC.
TOWN OF MILTON
16015
BLOCK 344
BLOCK 344 PLANS
B1



344-1 IVY-11 ELEV. '1'
344-2 IVY-4 ELEV. '1' (REV.)
344-3 IVY-4 ELEV. '1'
344-4 IVY-1 ELEV. '1' (REV.)
344-5 IVY-3 ELEV. '1'
344-6 IVY-6E ELEV. '1' (REV.)

ROOF PLAN



344-1 IVY-11 ELEV. '1'
344-2 IVY-4 ELEV. '1' (REV.)
344-3 IVY-4 ELEV. '1'
344-4 IVY-1 ELEV. '1' (REV.)
344-5 IVY-3 ELEV. '1'
344-6 IVY-6E ELEV. '1' (REV.)

SECOND FLOOR PLAN

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
17-5337 MODEL
BUILDING REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
MAY 9, 2017
DATE
RECEIVED
TOWN OF MILTON
MAY 5, 2017
17-5337
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
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model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard fire wall
construction details

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

PAD FOOTINGS
120 KPa, NATIVE SOIL

90 KPa, ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD	F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x8" CONCRETE STRIP FOOTINGS (with REIN) BELOW PARTY WALLS
32"x8" CONCRETE STRIP FOOTINGS (with REIN) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 KPa)
24"x8" CONCRETE STRIP FOOTINGS-with REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS-with REINFORCEMENT (UNLESS OTHERWISE NOTED)
32"x8" CONCRETE STRIP FOOTINGS-with REINFORCEMENT BELOW PARTY WALLS
44"x8" CONCRETE STRIP FOOTINGS-with REINFORCEMENT BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4qps SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/ 13.0qps FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

10					
9					
8					
7					
6					
5					
4					
3					
2					
1					
0					

V3 DESIGN
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f 416.630.4782
v3design.com

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The architect has reviewed and taken responsibility for the design and for the specifications and notes the requirements are set in the Ontario Building Code to be a legal requirement.

Richard Vink
signature
V3 Design Inc.
24488
42658

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

TOWN OF MILTON
16015

IVY SERIES
BLOCK 344 PLANS
B2

BLOCK 344
ELEVATION 1



344-1 IVY-11
ELEV. '1'

LEFT SIDE ELEVATION



344-6 IVY-6E
ELEV. '1' (REV.)

RIGHT SIDE ELEVATION

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
17-5337 MODEL
BUILDING REVIEWED
SCOTT SHERRIFFS
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344-6 IVY-6E
ELEV. '1' (REV.)

344-5 IVY-3
ELEV. '1'

344-4 IVY-1
ELEV. '1' (REV.)

344-3 IVY-4
ELEV. '1'

344-2 IVY-4
ELEV. '1' (REV.)

344-1 IVY-11
ELEV. '1'

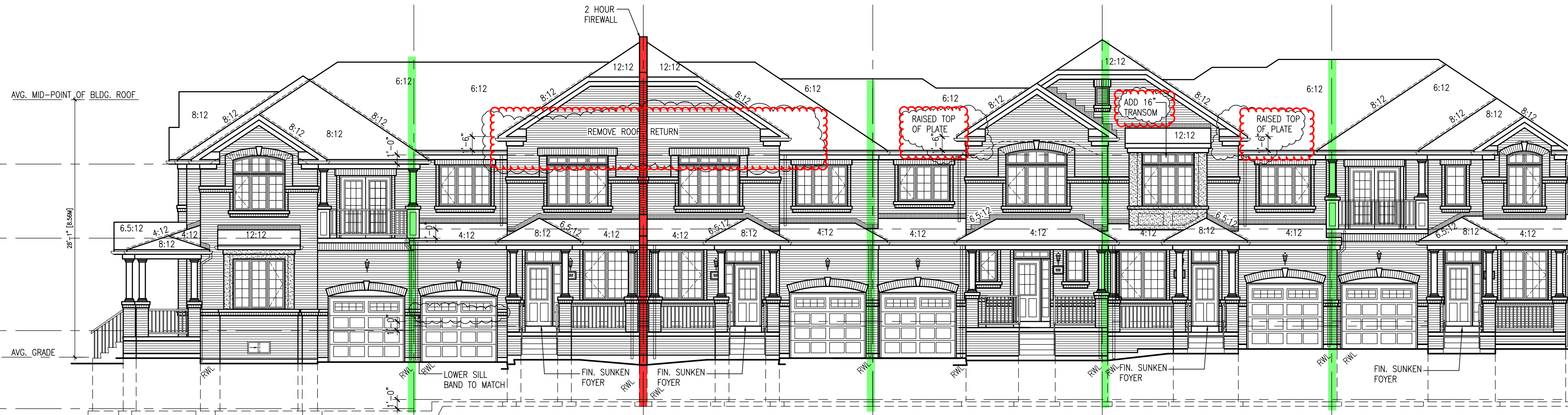
REAR ELEVATION

= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



344-1 IVY-11
ELEV. '1'

344-2 IVY-4
ELEV. '1' (REV.)

344-3 IVY-4
ELEV. '1'

344-4 IVY-1
ELEV. '1' (REV.)

344-5 IVY-3
ELEV. '1'

344-6 IVY-6E
ELEV. '1' (REV.)

FRONT ELEVATION

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

**BLOCK 344
ELEVATION 1**

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Authority is not responsible in any way for
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

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1	ISSUED FOR PERMIT	MAY 03/17	GW
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IVY SERIES

BLOCK 344

B3