

--- STORM CONNECTION

--- SANITARY CONNECTION

W- WATER CONNECTION

H- HYDRO CONNECTION

□ DOUBLE CATCH BASIN

□ CATCH BASIN

○ HYDRANT

⊗ VALVE AND CHAMBER

△ ENTRANCE DOOR LOCATION

▲ GARAGE DOOR LOCATION

\* ENGINEERED FILL LOT

● SANITARY MANHOLE

○ STORM MANHOLE

MAIL COMMUNITY MAILBOX

○ DOWNSPOUT LOCATION

← SWALE DIRECTION

● STREET LIGHT

▲ TRANSFORMER

⊠ CABLE TV PEDESTAL

■ BELL PEDESTAL

⊠ HYDRO METER

⊠ GAS METER

⊠ AIR-CONDITIONING UNIT

SP SUMP PUMP

F.FLR. FINISHED FLOOR ELEVATION

T/WALL TOP OF FOUNDATION WALL

F.SLAB FIN. BASEMENT FLOOR SLAB

U/FTG. UNDERSIDE FOOTING ELEVATION

PROPOSED 3:1 SLOPE

100.00 PROPOSED GRADE

(100.00) EXISTING GRADE

SW ×100.00 PROPOSED SWALE GRADE

NORTH

RECEIVED  
TOWN OF MILTON  
APR 7, 2017  
17-4700  
BUILDING DIVISION

LEGEND

45 Min FRR

45 Min FRR w/NC Cladding

Guard/Handrail as per 9.8.

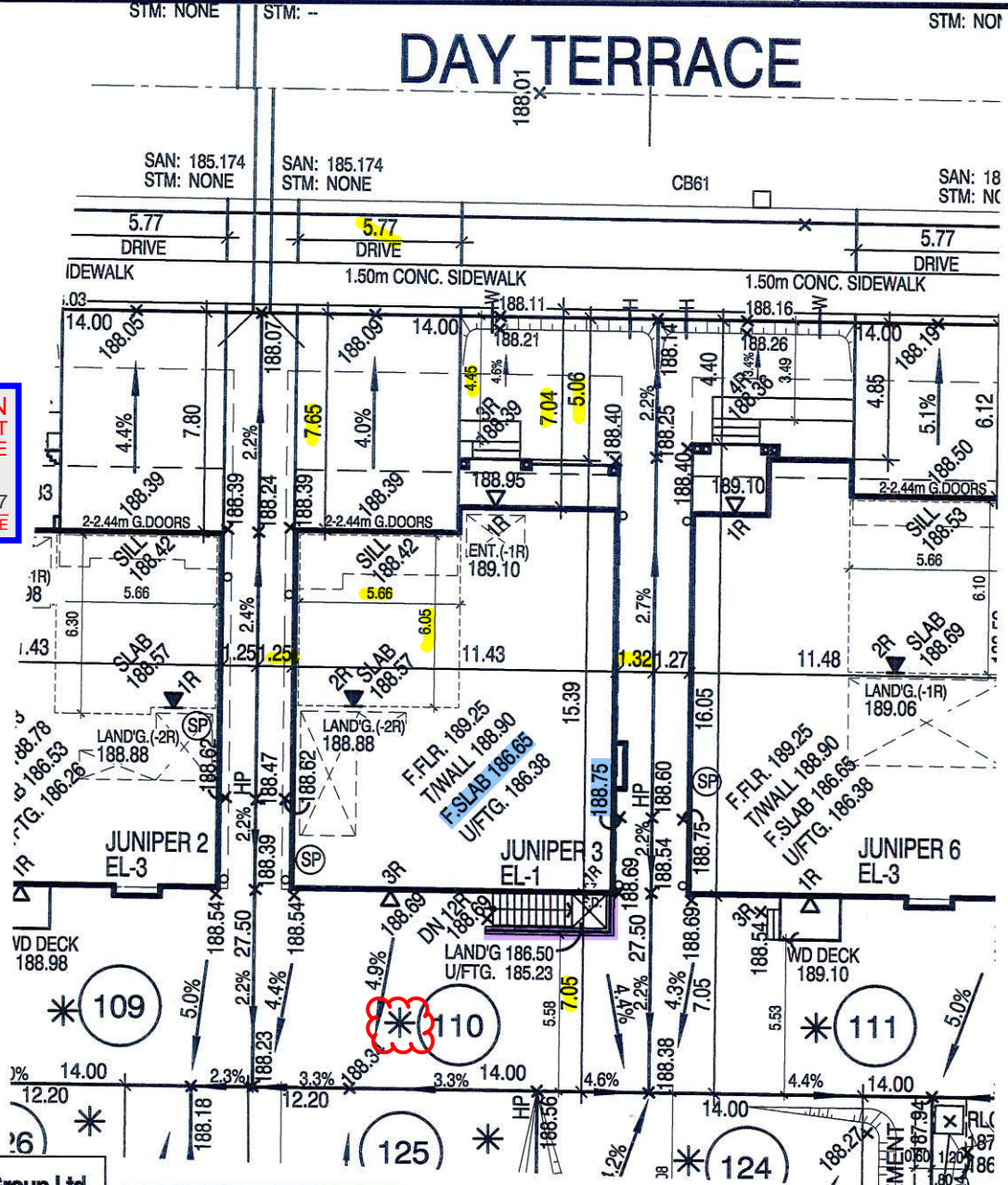
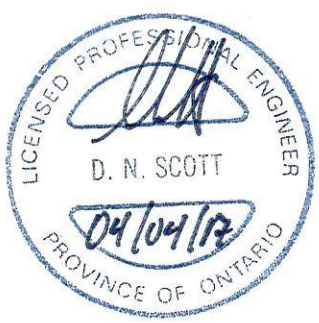
2.1 m Backfill height as per 9.15.

Siting to be read in conjunction with reviewed main model drawings

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
RMD1\*223 ZONE

ZONING: **APPROVED**  
ROBIN CAMPBELL  
ZONING OFFICER

APR 22, 2017  
DATE



The MUNICIPAL INFRASTRUCTURE Group Ltd.

LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

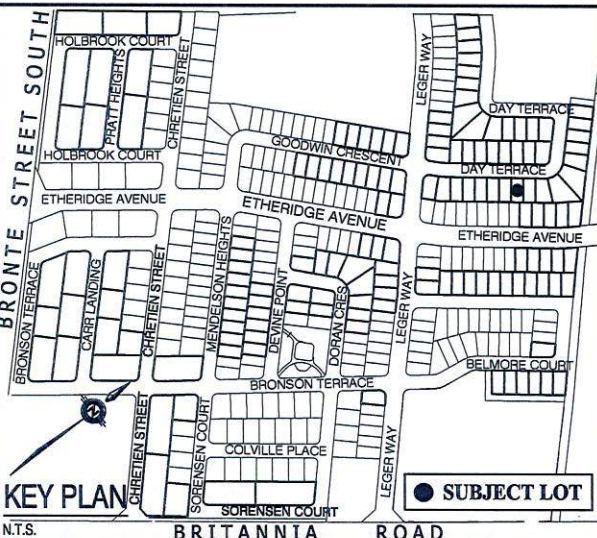
LOT/BLK. NO.(S) LOT 110  
DATE: MAR 31 2017

5		
4		
3		
2	MAR. 16, 2017	REV. AS PER ENG. COMMENTS AND ISSUED FOR PERMIT.
1	FEB. 16, 2017	ISSUED FOR ENGINEERS GRADING REVIEW.

REVISIONS:

SUMP PUMP TO DISCHARGE TO REAR SPLASH PAD.

45 MINUTE RATED WALL WITH SIDE YARD < 1.2m



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 21 2017  
John G. Williams Limited, Architect



LECCO RIDGE DEVELOPMENTS INC.

PROJ. No. 16-12 MUNICIPAL ADDRESS  
LOT No. 110



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code  
Walter Botter 21037  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code  
jardin design group inc. 27763  
FIRM NAME BCIN



64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

REG. PLAN  
PART OF LOT 6 CONCESSION 2, NEW SURVEY  
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR)  
REGIONAL MUNICIPALITY OF HALTON  
20M-1184 TOWN OF MILTON

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.  
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