

BUILDING AREA  
10018.00 S.F. (930.70 m<sup>2</sup>)

**PAD FOOTINGS**  
120 KPa. NATIVE SOIL  
F1 = 42'x42'x18" CONCRETE PAD F1 = 48'x48'x20" CONCRETE PAD  
F2 = 36'x36'x16" CONCRETE PAD F2 = 40'x40'x16" CONCRETE PAD  
F3 = 30'x30'x12" CONCRETE PAD F3 = 34'x34'x14" CONCRETE PAD  
F4 = 24'x24'x12" CONCRETE PAD F4 = 28'x28'x12" CONCRETE PAD  
F5 = 16'x16'x8" CONCRETE PAD F5 = 18'x18'x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES**

**FOOTINGS ON NATIVE SOIL (120 KPa.)**  
20'x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24'x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).  
24'x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.  
32'x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

**FOOTINGS ON ENGINEERED FILL (90 KPa.)**  
24'x8" CONCRETE STRIP FOOTINGS (with REIN.) AS NOTED ON PLAN  
32'x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (with REINFORCEMENT (UNLESS OTHERWISE NOTED)).  
32'x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW PARTY WALLS.  
44'x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW FIRE WALLS.  
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/13.0kPa FOR ENGINEERED FILL.  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

**VENEER CUT**  
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING**

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

← S SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Code and Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	ISSUED FOR PERMIT	MAR 01/17	GM
3	ISSUED FOR PERMIT	MAR 01/17	GM
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8	ISSUED FOR PERMIT	MAR 01/17	GM
9	ISSUED FOR PERMIT	MAR 01/17	GM
10	ISSUED FOR PERMIT	MAR 01/17	GM

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**V3 DESIGN**  
255 Consumers Rd  
Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255  
f 416.630.4182  
v3design.com

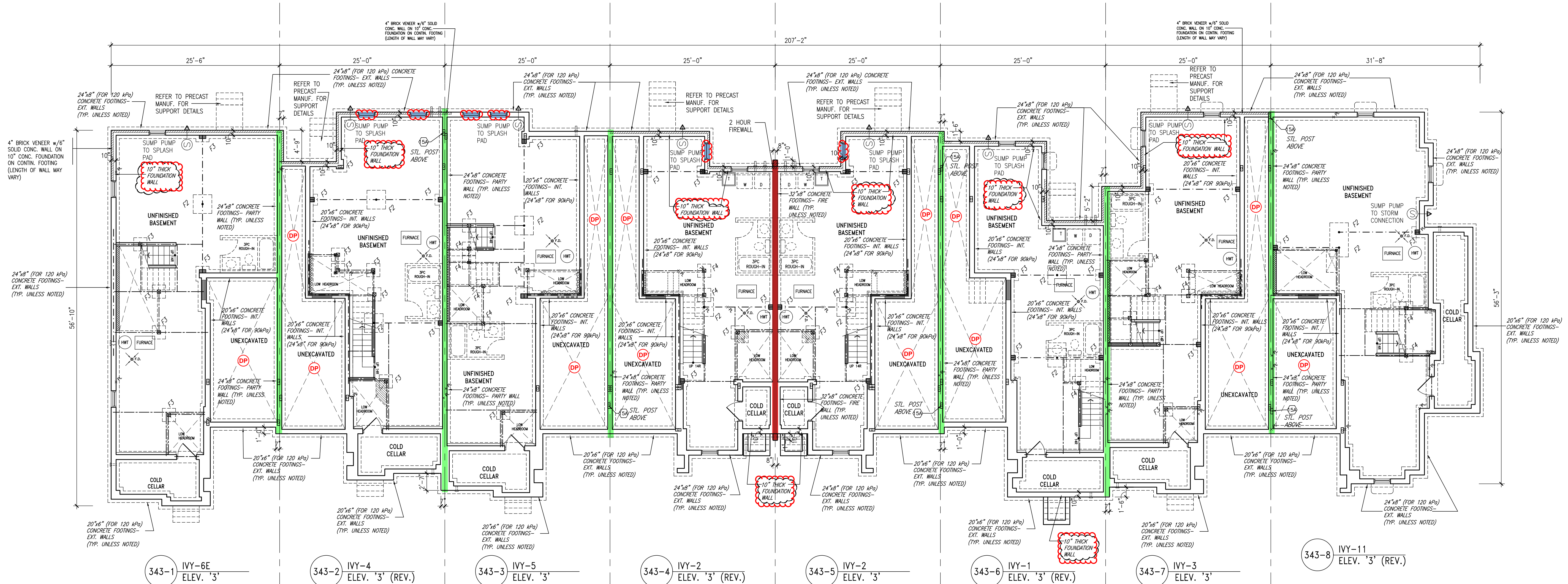
**Greenpark.**

PROJECT NAME  
LECCO RIDGE DEV. INC.  
PROJECT NO.  
TOWN OF MILTON  
16015  
16015-BLOCK-343

IVY SERIES  
BLOCK 343 PLANS

DATE  
SEPTEMBER 2016  
DRAWN BY  
BT  
CHECKED BY  
GM  
SCALE  
1/8" = 1'-0"  
1/4" = 3'-0"  
1/2" = 6'-0"  
3/4" = 9'-0"  
1" = 12'-0"  
16015-BLOCK-343

**NOTE:**  
REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT

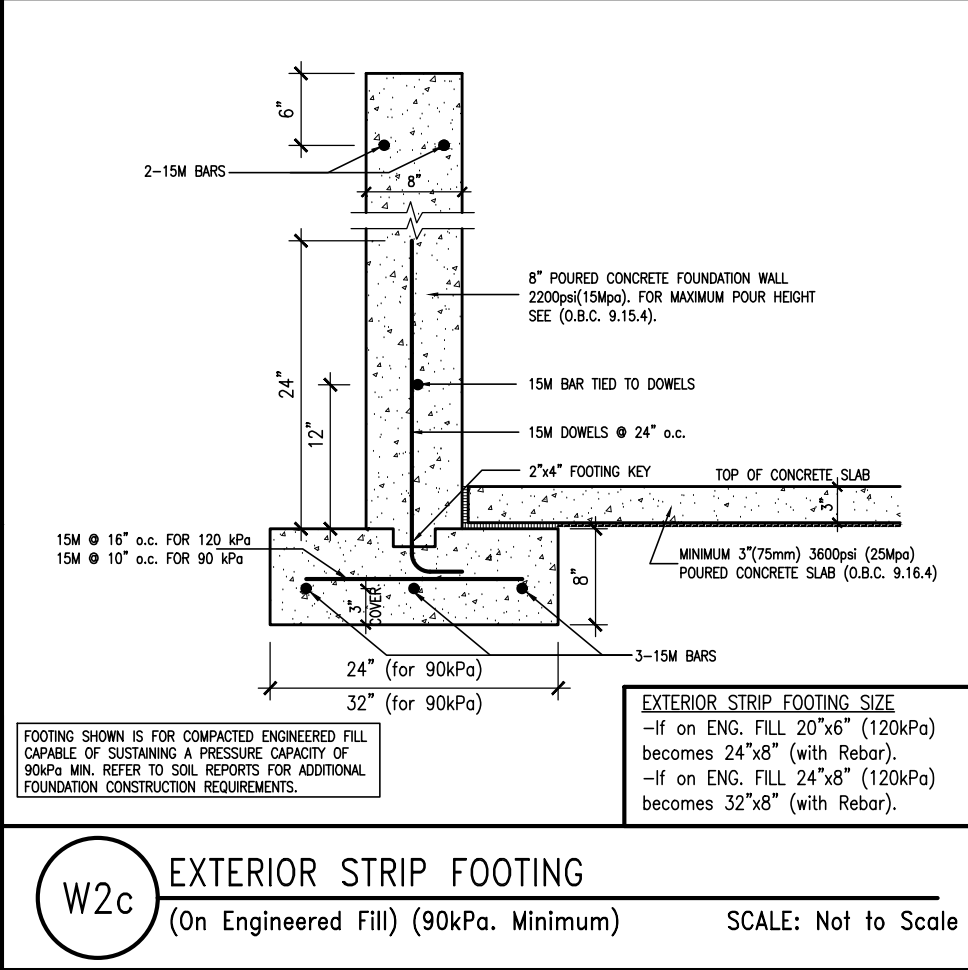
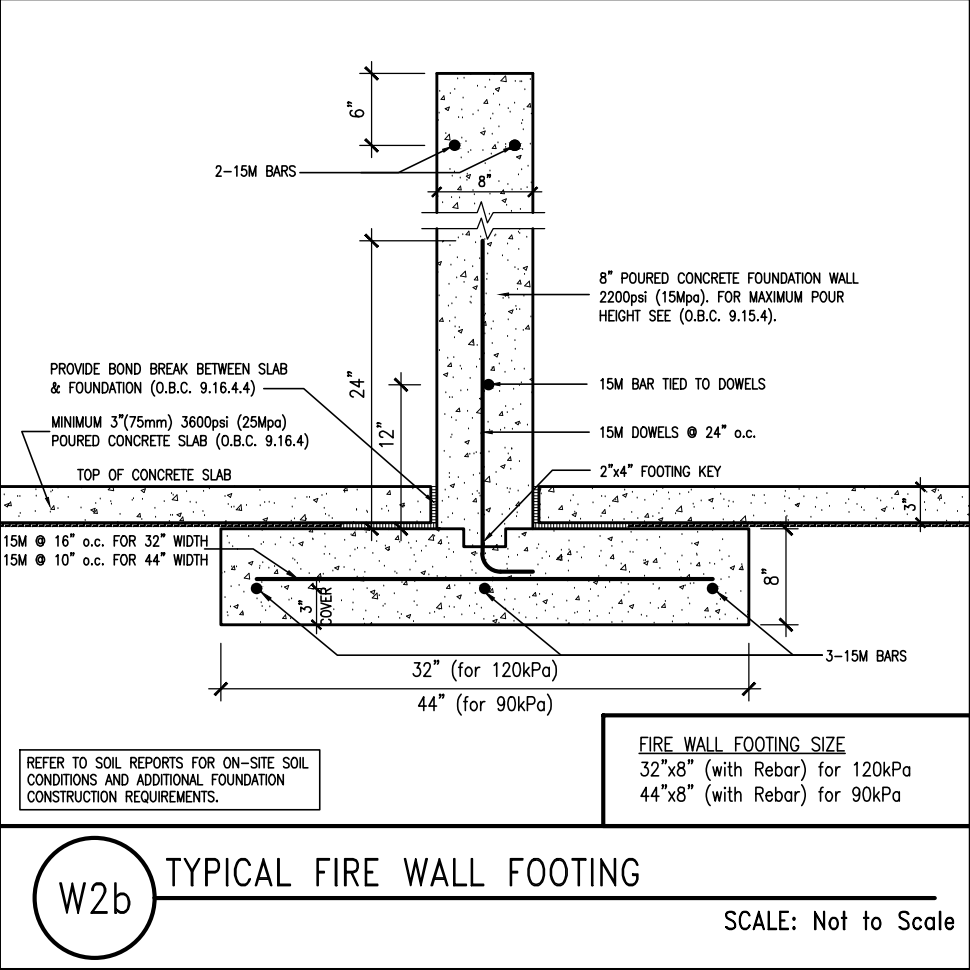
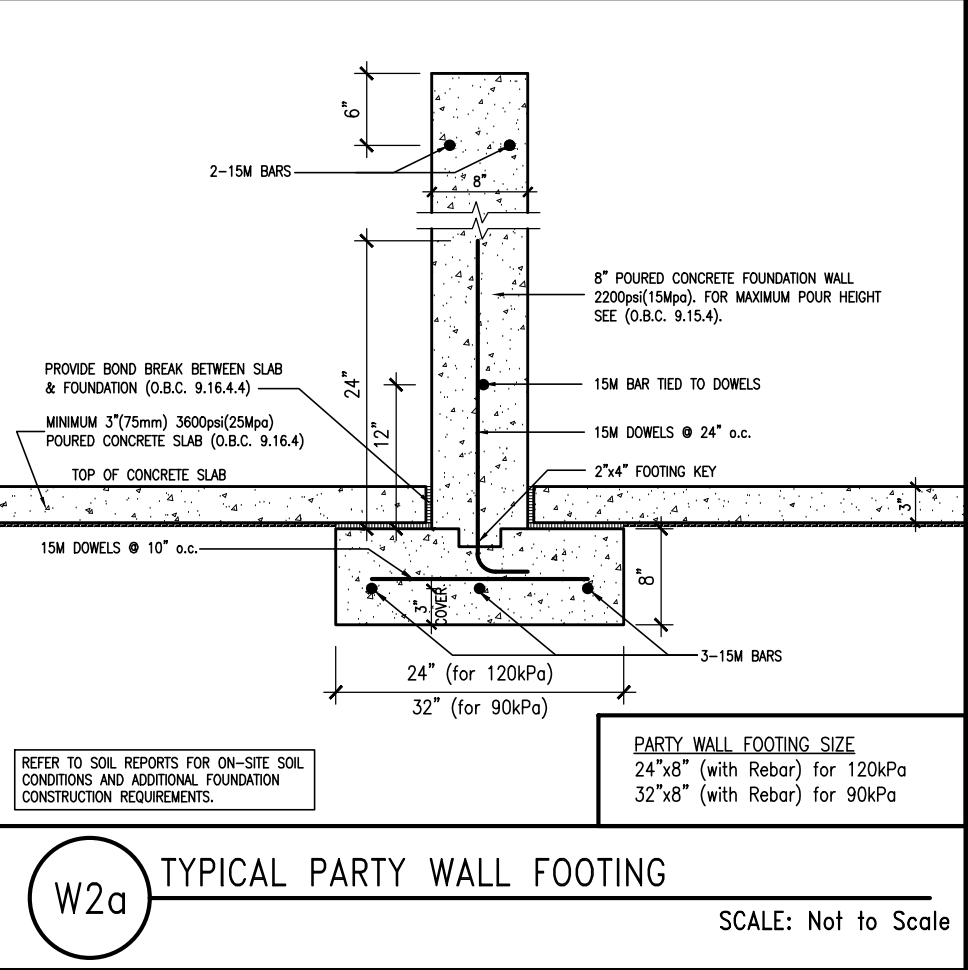


## BASEMENT PLAN

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5327  
BUILDING REVIEWED  
SCOTT SHERIFFS APR 25, 2017  
DATE  
RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-5327  
BUILDING DIVISION

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications



**NOTE:**  
REFER TO GRADING PLAN FOR NUMBER OF STEPS.



**BLOCK 343  
ELEVATION 3**

NOTE:  
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CONDITION THAT DIFFERS FROM  
STANDARD UNIT

BUILDING AREA  
10018.00 S.F. (930.70 m<sup>2</sup>)

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

10			
9			
8			
7			
6			
5	ISSUED FOR PERMIT	MAR 01/17	GM
4	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GM
3	ISSUED FOR PRICING	JAN 17/17	GM
2	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GM
1	ISSUED FOR CLIENT REVIEW		
0	description	date	by

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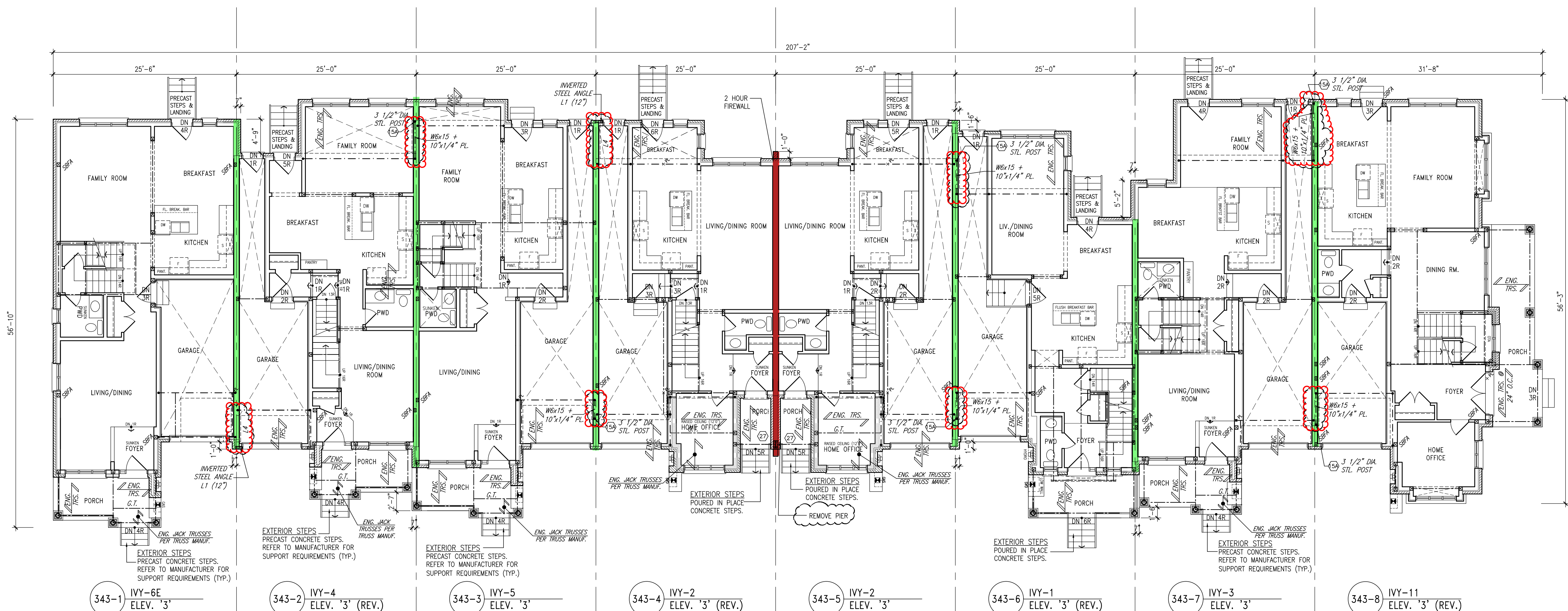
The architect has reviewed and taken responsibility for this design and for the specifications and notes. The requirements are set out in the Ontario Building Code to be a 1/8" = 1'-0" scale. Signature: Richard Vink 24488

**Greenpark.**

PROJECT NAME: **LECCO RIDGE DEV. INC.**  
PROJECT NO: 16015  
TOWN OF MILTON

IVY SERIES: **BLOCK 343**

BLOCK 343 PLANS  
SEPTEMBER 2016  
drawn by: 1/8" = 1'-0"  
checked by: 16015-BLOCK-343  
B2



GROUND FLOOR PLAN

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5327  
BUILDING REVIEWED  
SCOTT SHERRIFFS  
APR 25, 2017  
DATE  
RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-5327  
BUILDING DIVISION

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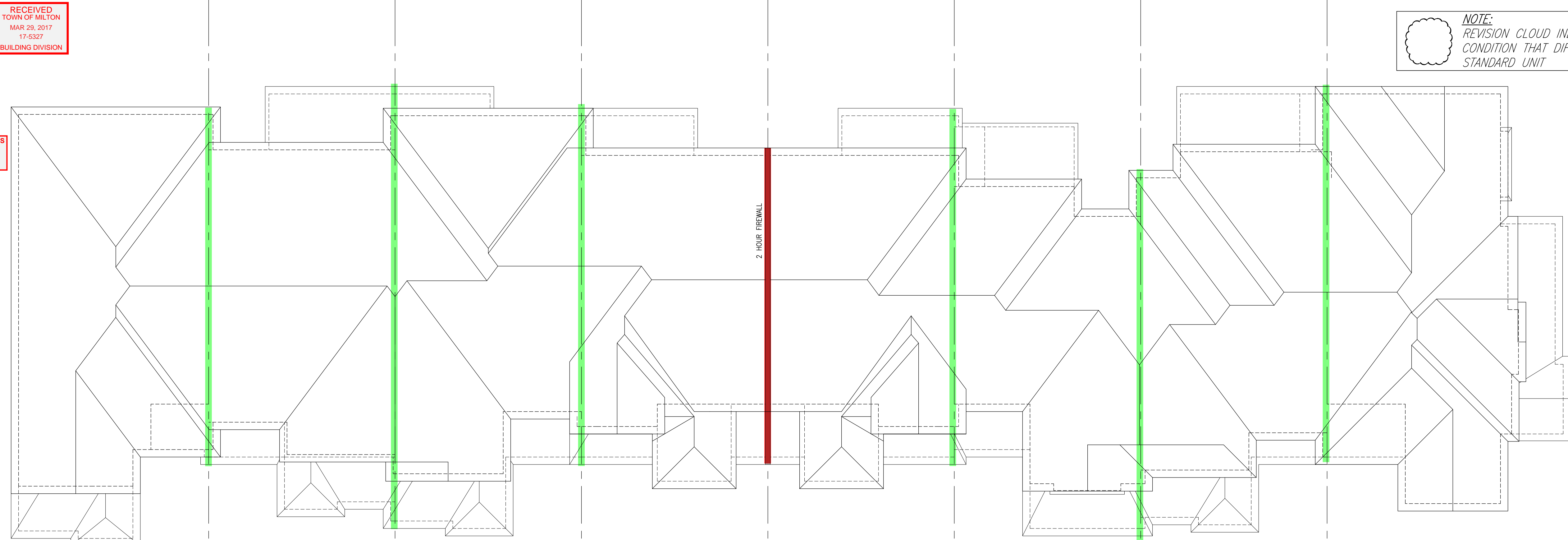
BLOCK 343  
ELEVATION 3

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT-17-5327  
BUILDING REVIEWED  
SCOTT SHERRIFFS  
APR 25, 2017  
DATE  
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TOWN OF MILTON  
MAR 29, 2017  
17-5327  
BUILDING DIVISION

It is the responsibility of the permit holder to ensure that the drawings submitted for approval fully comply with the Ontario Building Code and all applicable regulations and requirements. The permit holder is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The permit holder is responsible for obtaining all necessary approvals from the relevant authorities.

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Ontario Building Code and all applicable regulations and requirements. The permit holder is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The permit holder is responsible for obtaining all necessary approvals from the relevant authorities.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Licensed Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	CM
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4	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	CM
5	ISSUED FOR CLIENT REVIEW		

**V3 DESIGN**  
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The drawings have been reviewed and approved for the design of the building and its systems. The drawings are to be used in accordance with the specifications and requirements of the Ontario Building Code and all applicable regulations and requirements. The permit holder is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The permit holder is responsible for obtaining all necessary approvals from the relevant authorities.

Richard Vink  
24488  
signature  
V3 Design Inc.  
42588

**Greenpark.**  
PROJECT NAME  
LECCO RIDGE DEV. INC.  
PROJECT NO.  
TOWN OF MILTON  
16015  
BLOCK 343  
BLOCK 343 PLANS  
B3  
SEPTEMBER 2016  
drawn by  
checked by  
16015-BLOCK-343

ROOF PLAN

SECOND FLOOR PLAN

BLOCK 343  
ELEVATION 3



343-1 IVY-6E  
ELEV. '3'

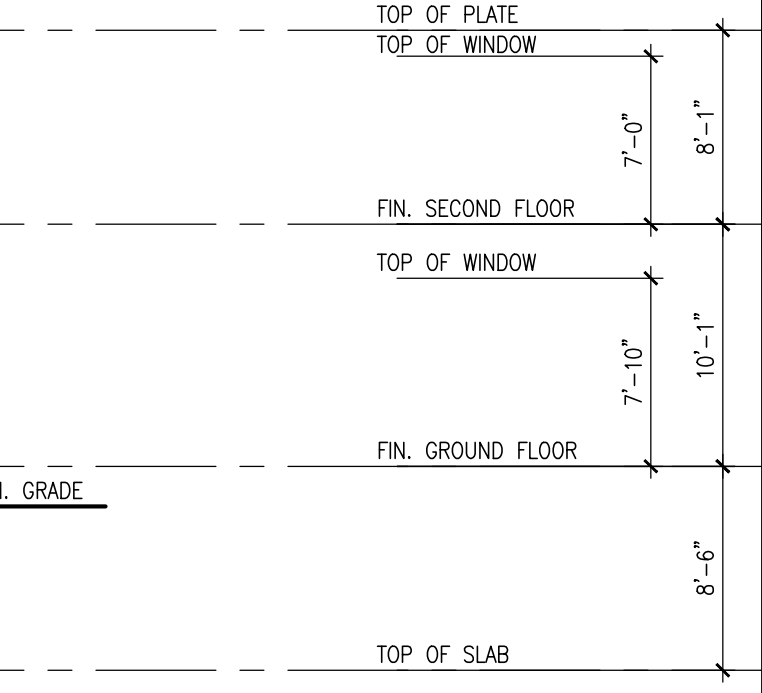
LEFT SIDE ELEVATION



343-8 IVY-11  
ELEV. '3' (REV.)

RIGHT SIDE ELEVATION

NOTE:  
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CONDITION THAT DIFFERS FROM  
STANDARD UNIT



TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5327  
BUILDING REVIEWED  
SCOTT SHERRIFFS APR 25, 2017  
SCANS EXAMINED  
DATE  
Whether the issuance of a permit or carrying out of  
inspections by the Town of Milton relieves the owner from  
full responsibility for compliance with the provisions of  
the Ontario Building Code Act and the Ontario Building  
Code, both as amended, as well as other applicable  
statutes and regulations of the Province of Ontario.  
Bylaws of the Region of Halton and Town of Milton  
TOWNHOUSE MODELS  
Reviewed townhouse block drawings to be  
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model drawings and engineered truss system  
GENERAL NOTES/CONSTRUCTION DETAILS  
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constructions details and specifications

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-5327  
BUILDING DIVISION



343-8 IVY-11  
ELEV. '3' (REV.)

343-7 IVY-3  
ELEV. '3'

343-6 IVY-1  
ELEV. '3' (REV.)

343-5 IVY-2  
ELEV. '3'

343-4 IVY-2  
ELEV. '3' (REV.)

343-3 IVY-5  
ELEV. '3'

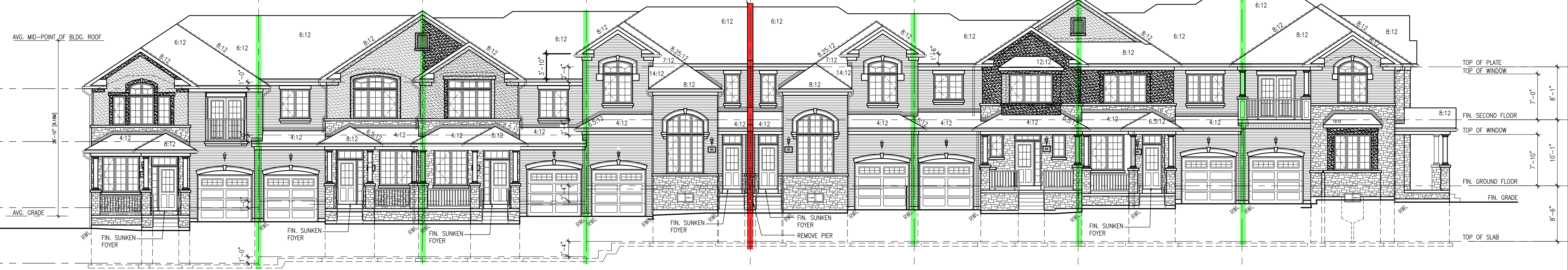
343-2 IVY-4  
ELEV. '3' (REV.)

343-1 IVY-6E  
ELEV. '3'

REAR ELEVATION

= 1 HOUR PARTY WALL  
(FIRE SEPARATION)  
PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details  
= 2 HOUR FIREWALL  
(NON-COMBUSTIBLE)  
FIREWALL DETAILS  
See standard details page 5  
for standard firewall  
construction details

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ARCHITECTURAL REVIEW & APPROVAL  
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343-1 IVY-6E  
ELEV. '3'

343-2 IVY-4  
ELEV. '3' (REV.)

343-3 IVY-5  
ELEV. '3'

343-4 IVY-2  
ELEV. '3' (REV.)

343-5 IVY-2  
ELEV. '3'

343-6 IVY-1  
ELEV. '3' (REV.)

343-7 IVY-3  
ELEV. '3'

343-8 IVY-11  
ELEV. '3' (REV.)

FRONT ELEVATION

GUARDS/HANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading

# BLOCK 343 ELEVATION 3

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	CM
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B4