

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5318
BUILDING REVIEWED
SCOTT SHERRIFFS
APR 25, 2017
DATE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5318
BUILDING DIVISION

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

BUILDING AREA
9914.33 S.F. (921.07 m²)

PAD FOOTINGS
120 KPa, NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
90 KPa, ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa)
24"x8" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT).

ASSUME 120KPa/17.4kg SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/13.0kg FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for omissions or misstatements on drawings, plans or specifications or for any errors or omissions in the building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 29 2017
John G. Williams, Licensed Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	ISSUED FOR PERMIT	FEB 02/17	GM
3	ISSUED FOR PERMIT	JAN 17/17	GM
4	ISSUED FOR PERMIT	DEC 13/16	GM
5	ISSUED FOR PERMIT	NOV 15/16	GM
6	ISSUED FOR PERMIT	OCT 18/16	GM
7	ISSUED FOR PERMIT	SEP 20/16	GM
8	ISSUED FOR PERMIT	AUG 22/16	GM
9	ISSUED FOR PERMIT	JUL 24/16	GM
10	ISSUED FOR PERMIT	JUN 26/16	GM

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

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f 416.630.4182
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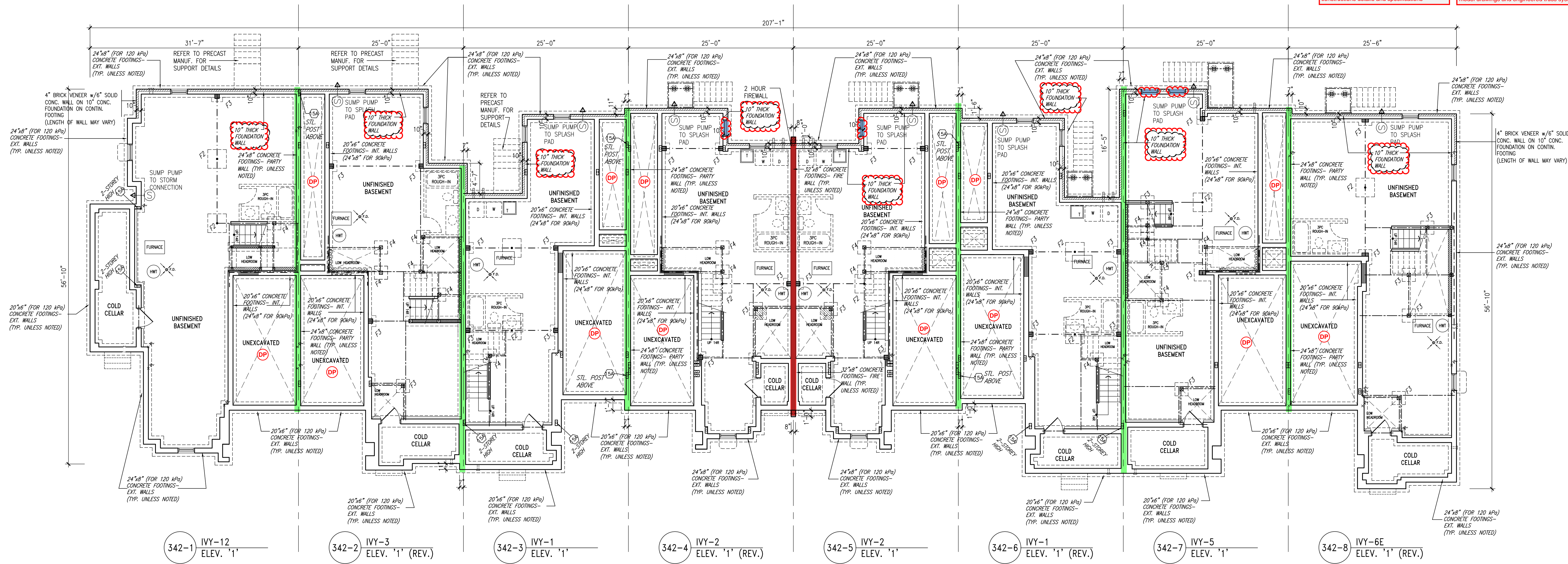
Richard Vink
signature
VA3 Design Inc.
42588

Greenpark.

LECCO RIDGE DEV. INC.
TOWN OF MILTON
16015

IVY SERIES
BLOCK 342
BLOCK 342 PLANS

SEPTEMBER 2016
drawn by
checked by
1/8" = 1'-0"
16015-BLOCK-342
B1



BASEMENT PLAN

REQUIRED FOUNDATION REINFORCING
Refer to reviewed model drawings for window openings for the following models: IVY 2, IVY 4, IVY 5, AND IVY 7E.

FOUNDATION DAMPROOFING (DP)
to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs).

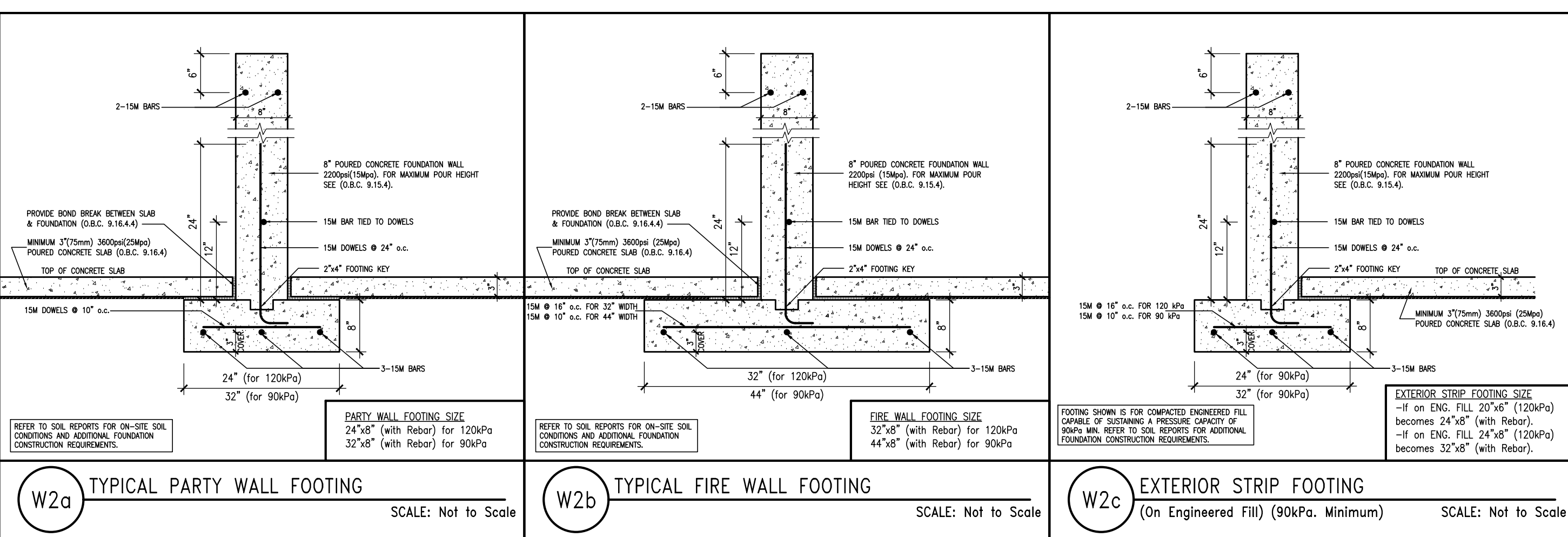
2 HOUR FIREWALL (FIRE SEPARATION)
FIREWALL DETAILS
See standard details page 6 for standard fire wall construction details.

1 HOUR PARTY WALL
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details.

NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.



STRUDET INC.
FOR STRUCTURE ONLY



BLOCK 342
ELEVATION 1

PAD FOOTINGS		90 KIPS. ENGINEERED FILL SOIL	
20 KIPS. NATIVE SOIL			
1 =	42"x42"x18" CONCRETE PAD	F1 =	48"x48"x20" CONCRETE PAD
2 =	36"x36"x16" CONCRETE PAD	F2 =	40"x40"x16" CONCRETE PAD
3 =	30"x30"x12" CONCRETE PAD	F3 =	34"x34"x14" CONCRETE PAD
4 =	24"x24"x12" CONCRETE PAD	F4 =	28"x28"x12" CONCRETE PAD
5 =	16"x16"x8" CONCRETE PAD	F5 =	18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

FOOTINGS ON NATIVE SOIL (120 kPa.)
 80"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
 24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
 14"x8" CONCRETE STRIP FOOTINGS (1/2" REIN.) BELOW INTERIOR WALLS

FOOTINGS ON ENGINEERED FILL (90 kPa.)
 24"x8" CONCRETE STRIP FOOTINGS—with REINFORCEMENT, AS NOTED ON PLAN
 32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS—with
 REINFORCEMENT (UNLESS OTHERWISE NOTED).
 32"x8" CONCRETE STRIP FOOTINGS—with REINFORCEMENT BELOW PARTY WALLS.
 24"x8" CONCRETE STRIP FOOTINGS—with REINFORCEMENT BELOW FIRE WALLS.
 (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

VENEEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
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- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

to assure the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any work can be properly built or located on its lot.

It is to be certified that these plans comply with the applicable Architectural design Guidelines approved by the Town of ILTON.

ARCHITECTURAL REVIEW & APPROVAL


MAR 2 2017

John G. Williams, United, Architect

ISSUED FOR PERMIT.					
SUMP PUMP LOCATIONS ADDED.				MAR. 01/17	GW
ISSUED FOR PRICING.				FEB. 02/17	GW
REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS				JAN. 17/17	GW
ISSUED FOR CLIENT REVIEW				DEC. 13/16	GW
description				date	by
<p>The contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at completion of the work. Drawings are not to be scaled.</p>					

VA3
DESIGN

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	<p>qualification information</p>	
	<p>Richard Vink</p>	24488
	<p>name  signature</p>	BCN
	<p>registration information</p>	
	<p>VA3 Design Inc.</p>	42658



project name	ECCO RIDGE DEV. INC.	project no.
municipality	TOWN OF MILTON	16015

unit no. **BLOCK 342**

DATE SEPTEMBER 2016		scale $1/8" = 1'-0"$	drawing no. B2
drawn by [blank]	checked by [blank]	file name [blank]	



TOWN OF MILTON

PLANNING AND DEVELOPMENT

BUILDING PERMIT: 17-5318

BUILDING: REVIEWED

SCOTT SHERRIFFS

PLANS EXAMINER

APR 25, 2017

DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton.

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications



FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

- 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page
for standard party wall
construction details

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
No. 12345

STRUDET INC.
FOR STRUCTURE ONLY

BLOCK 342
ELEVATION 1

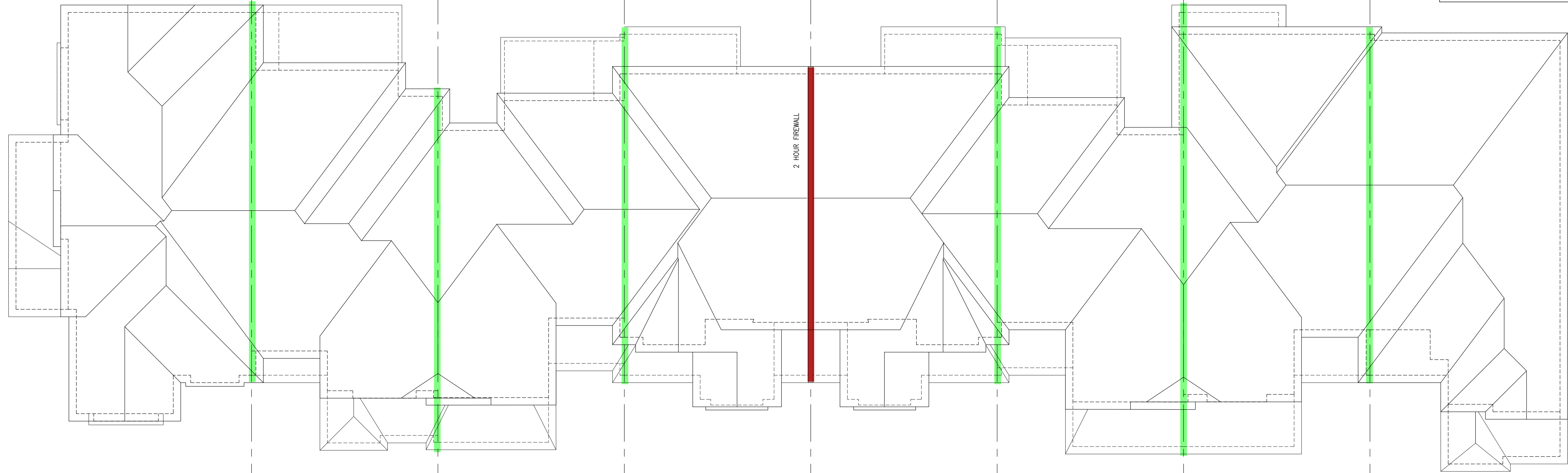
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MAR 29, 2017
17-5318
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Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system.



342-1 IVY-12 ELEV. '1'

342-2 IVY-3 ELEV. '1' (REV.)

342-3 IVY-1 ELEV. '1'

342-4 IVY-2 ELEV. '1' (REV.)

342-5 IVY-2 ELEV. '1'

342-6 IVY-1 ELEV. '1' (REV.)

342-7 IVY-5 ELEV. '1'

342-8 IVY-6E ELEV. '1' (REV.)

ROOF PLAN

2 HOUR FIREWALL (NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5 for standard firewall construction details.

1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for approving or approving any building plans or working drawings that require zoning or building code or permit matter or that any house data be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GM
3	ISSUED FOR PRICING	JAN 17/17	GM
4	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GM
5	ISSUED FOR CLIENT REVIEW		


**VA3 DESIGN**

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Richard Vink 24488
signature
VA3 Design Inc. 42858

**Greenpark.**

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

TOWN OF MILTON

IVY SERIES

BLOCK 342

BLOCK 342 PLANS

SEPTEMBER 2016

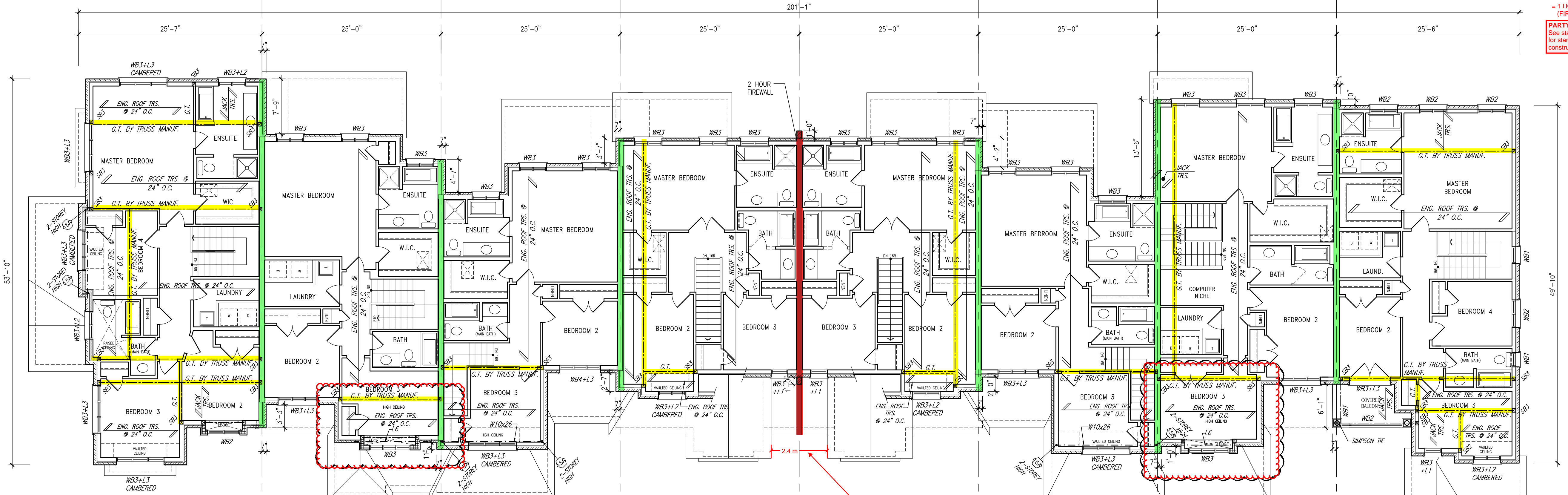
1/8" = 1'-0"

drawn by
MT

checked by
GM

16015-BLOCK-342

B3



342-1 IVY-12 ELEV. '1'

342-2 IVY-3 ELEV. '1' (REV.)

342-3 IVY-1 ELEV. '1'

342-4 IVY-2 ELEV. '1' (REV.)

342-5 IVY-2 ELEV. '1'

342-6 IVY-1 ELEV. '1' (REV.)

342-7 IVY-5 ELEV. '1'

342-8 IVY-6E ELEV. '1' (REV.)

SECOND FLOOR PLAN

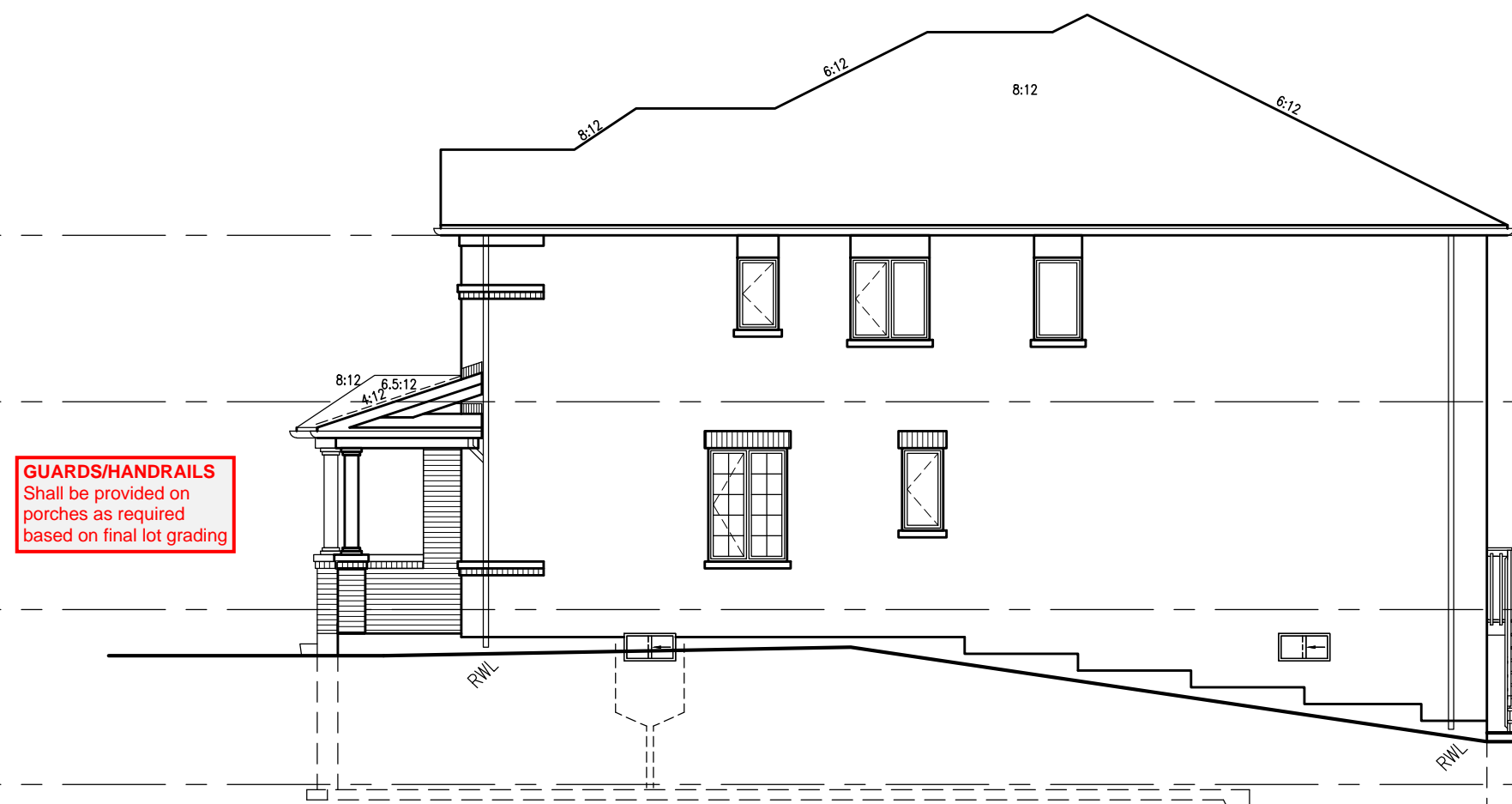
**BLOCK 342
ELEVATION 1**

FIREWALL - COMBUSTIBLE PROJECTIONS
Combustible projections on the exterior of a building that extend beyond the end of the firewall are not permitted within 2.4m of combustible projections on the adjacent building. Inspectors to verify separation distance on-site.



342-1 IVY-12
ELEV. '1'

LEFT SIDE ELEVATION



342-8 IVY-6E
ELEV. '1' (REV.)

RIGHT SIDE ELEVATION

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

7'-0"
8'-1"
7'-10"
10'-1"
8'-6"

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5318
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TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

7'-0"
8'-1"
7'-10"
10'-1"
8'-6"

= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

REAR ELEVATION



TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

7'-0"
8'-1"
7'-10"
10'-1"
8'-6"

342-1 IVY-12
ELEV. '1'

FRONT ELEVATION

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

BLOCK 342
ELEVATION 1

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	CM
2	SUMP PUMP LOCATIONS ADDED	FEB 02/17	CM
3	ISSUED FOR PRICING	JAN 17/17	CM
2 REV.	AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	CM
1	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the
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Richard Vink
CM
signature
24488
42658

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
TOWN OF MILTON
16015

IVY SERIES
BLOCK 342
ELEVATIONS

DATE
SEPTEMBER 2016

SCALE
1/8" = 1'-0"

BY
CM

16015-BLOCK-342