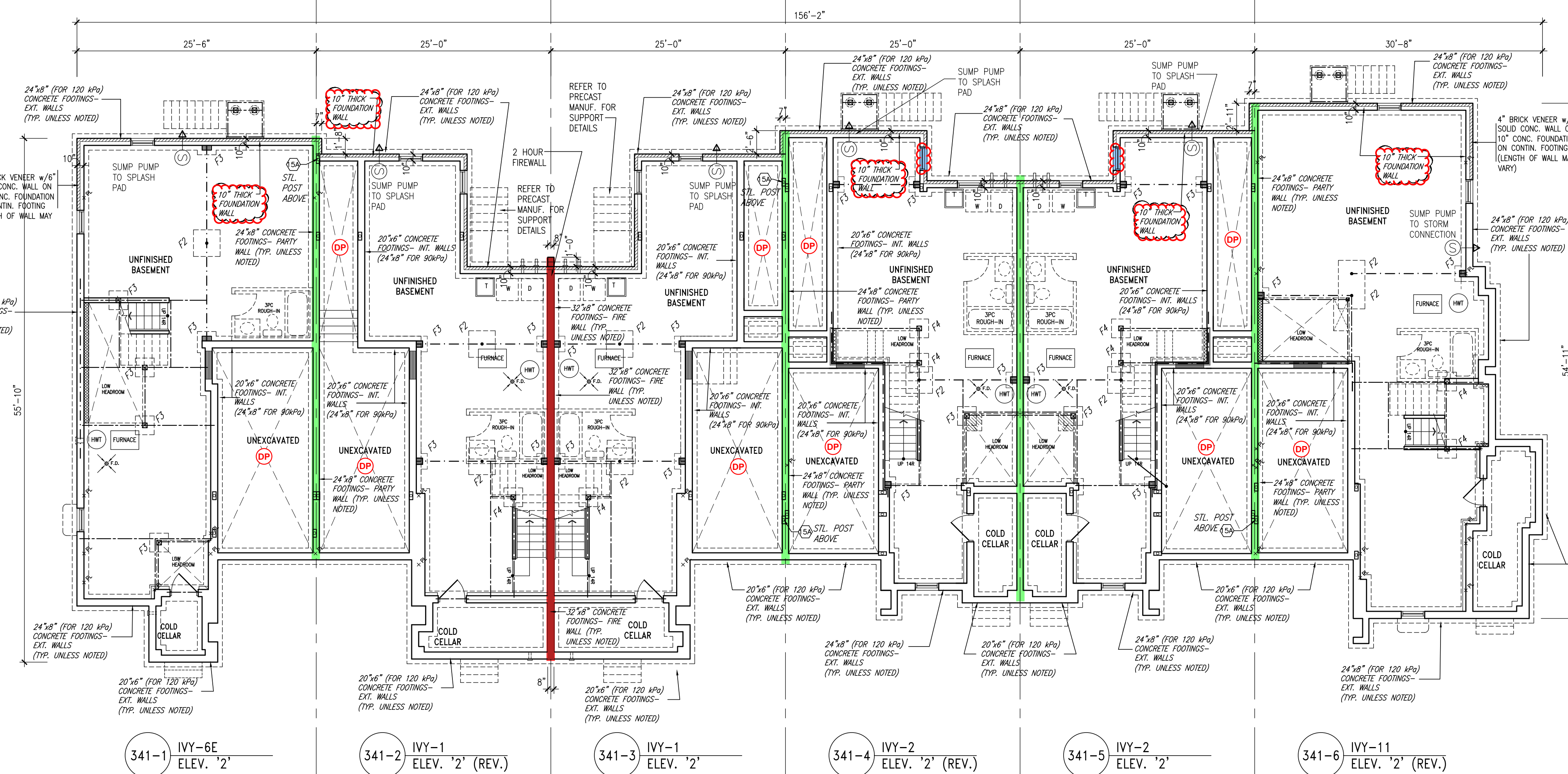
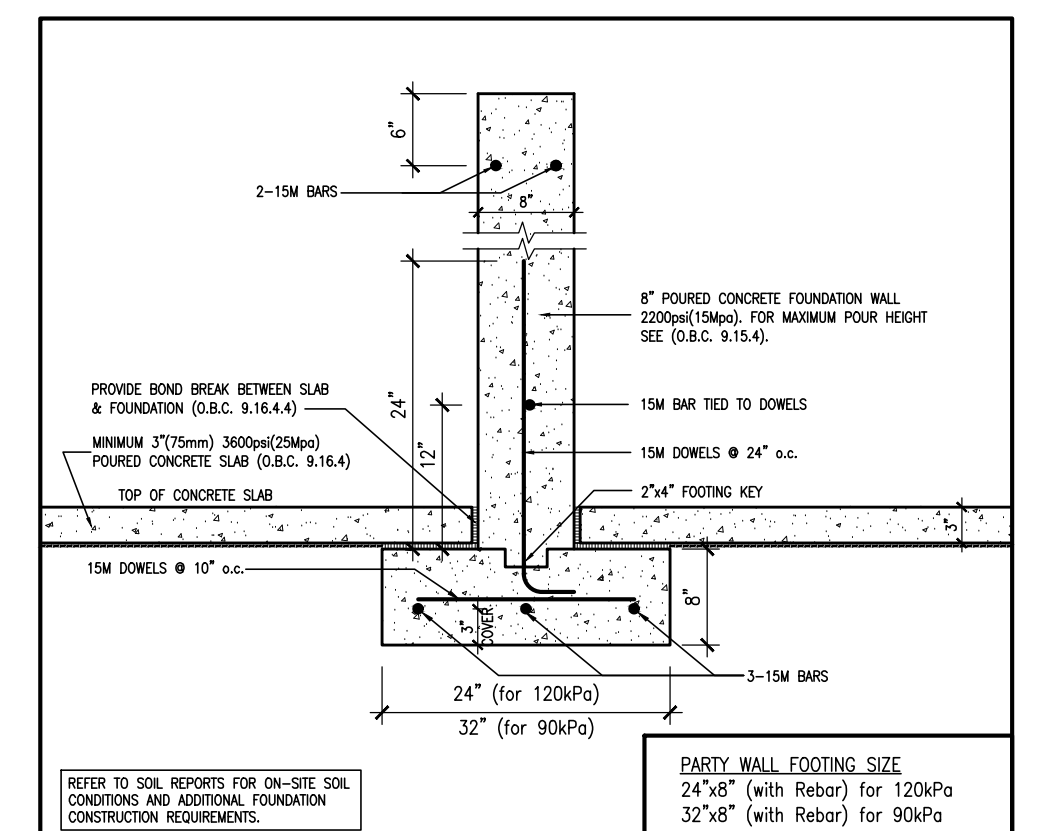


GROUND FLOOR PLAN

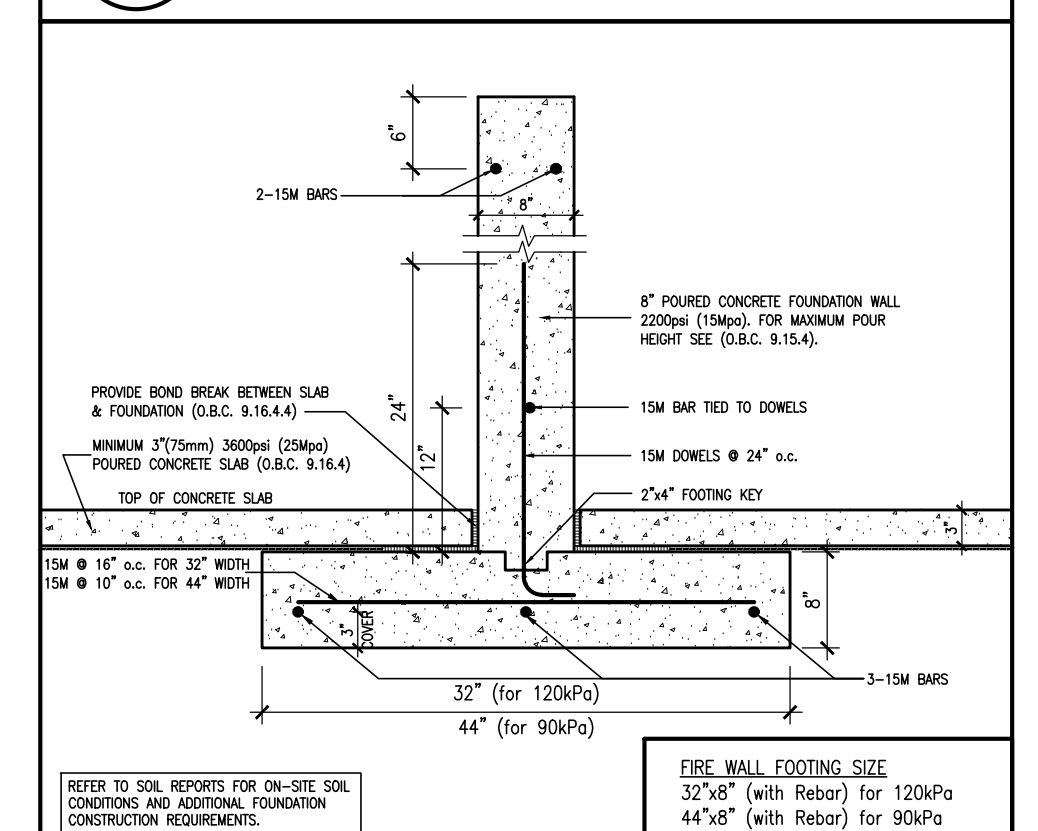


BASEMENT PLAN

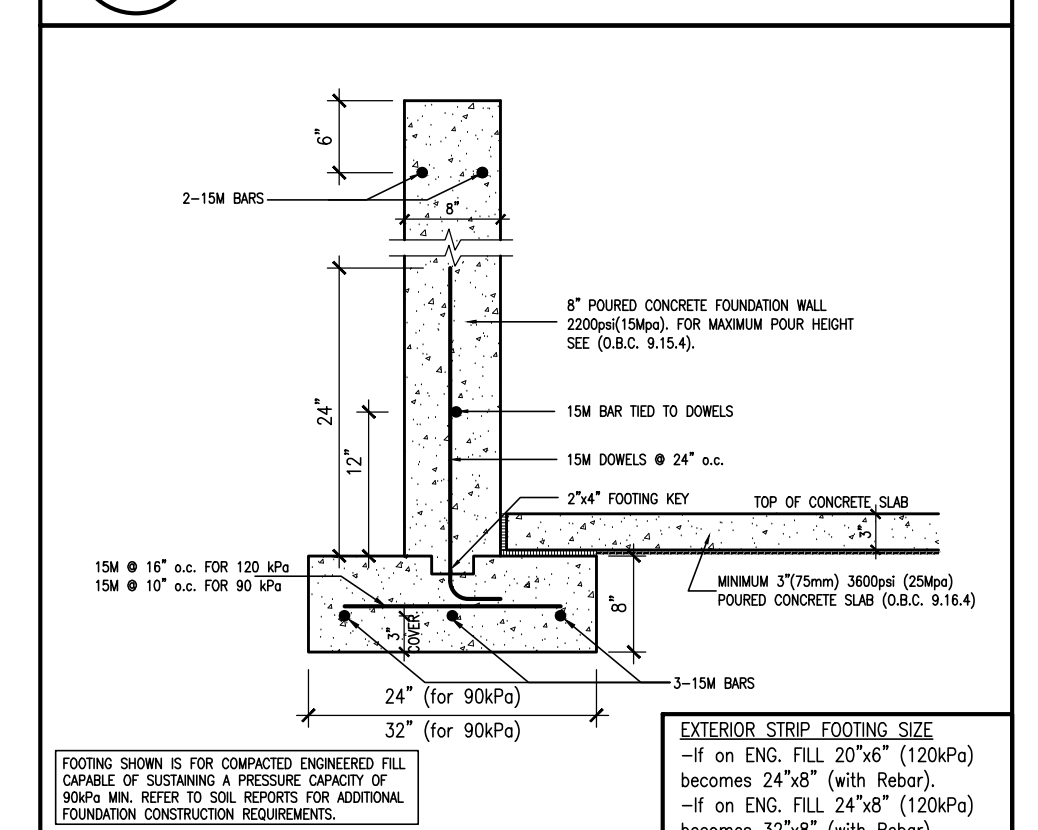
NOTE: REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT



W2a TYPICAL PARTY WALL FOOTING



W2b TYPICAL FIRE WALL FOOTING



W2c EXTERIOR STRIP FOOTING

BUILDING AREA
7219.26 S.F. (670.69 m²)

PAD FOOTINGS
120 KPa, NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
90 KPa, ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.
FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT).

ASSUME 120KPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/13.0kPa FOR ENGINEERED FILL. SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

← SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable regulations and requirements including zoning regulations and provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any drainage or house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams, Architect



NOTE: REFER TO GRADING PLAN FOR NUMBER OF STEPS.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5253
BUILDING REVIEWED
SCOTT SHERIFFS
APR 24, 2017
17-5253

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MAR 29, 2017
BUILDING DIVISION

REQUIRED FOUNDATION REINFORCING
Refer to reviewed model drawings for required foundation reinforcing around window openings for the following models: IVY 2, IVY 4, IVY 5, AND IVY 7E

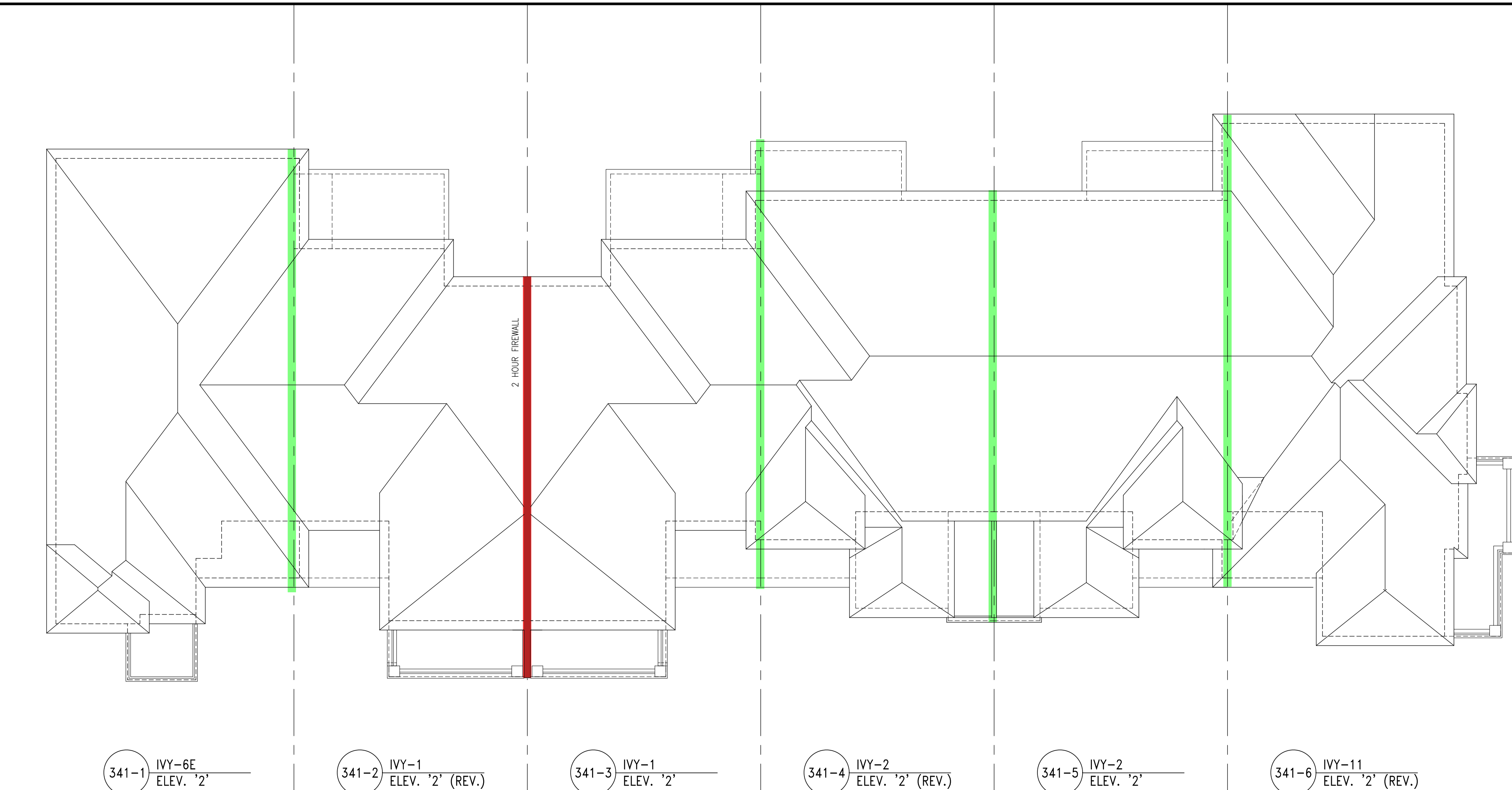
FOUNDATION DAMPROOFING DRAINAGE AND WEeping TILE
To be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)

BLOCK 341
ELEVATION 2

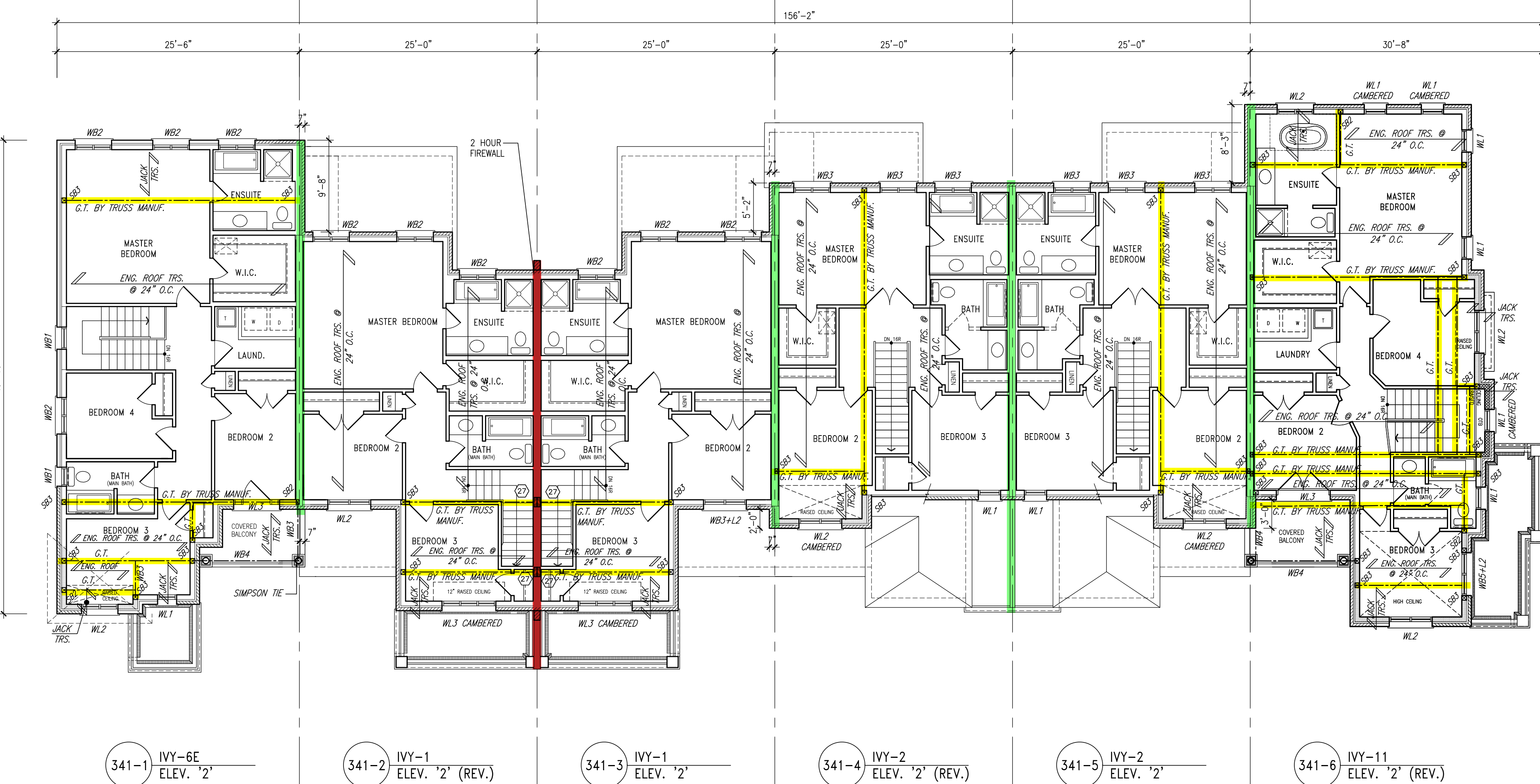
VA3 DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4182
va3design.com

Greenpark.
LECCO RIDGE DEV. INC.
TOWN OF MILTON
16015
16015-BLOCK-341

BLOCK 341 PLANS
BLOCK 341
ELEVATION 2
16015-BLOCK-341



ROOF PLAN



SECOND FLOOR PLAN

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

**TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5253
BUILDING REVIEWED
SCOTT SHERIFFS
APR 24, 2017
DATE**

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TOWN OF MILTON
MAR 29, 2017
17-5253
BUILDING DIVISION**

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
construction details and specifications

**= 1 HOUR PARTY WALL
(FIRE SEPARATION)**

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

**= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)**

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details



**BLOCK 341
ELEVATION 2**

PAD FOOTINGS
120 KPa, NATIVE SOIL **90 KPa, ENGINEERED FILL SOIL**
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
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(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPa.)
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OTHERWISE NOTED).
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32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.
FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH
REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/ 13.0psi FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**
-GROUND FLOOR
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
comply with the applicable regulations and
requirements including zoning provisions and
requirements in the subdivision agreement. The
Contractor is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any structure
or house that is not properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams, Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	CM
2	SUMP PUMP LOCATIONS ADDED	FEB 02/17	CM
3	ISSUED FOR PRICING	JAN 17/17	CM
4	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	CM
5	ISSUED FOR CLIENT REVIEW		

V3 DESIGN
255 Consumers Rd
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Toronto ON M2J 1R4
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f 416.630.4182
v3design.com

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copyright property of V3 DESIGN.
Reproduction in this property in
whole or in part is strictly
prohibited without V3 DESIGN's
written permission.

The contractor has reviewed and taken responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a "designer".
signature
Richard Vink 24489
V3 Design Inc.

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

TOWN OF MILTON
BLOCK 341

IVY SERIES
BLOCK 341 PLANS

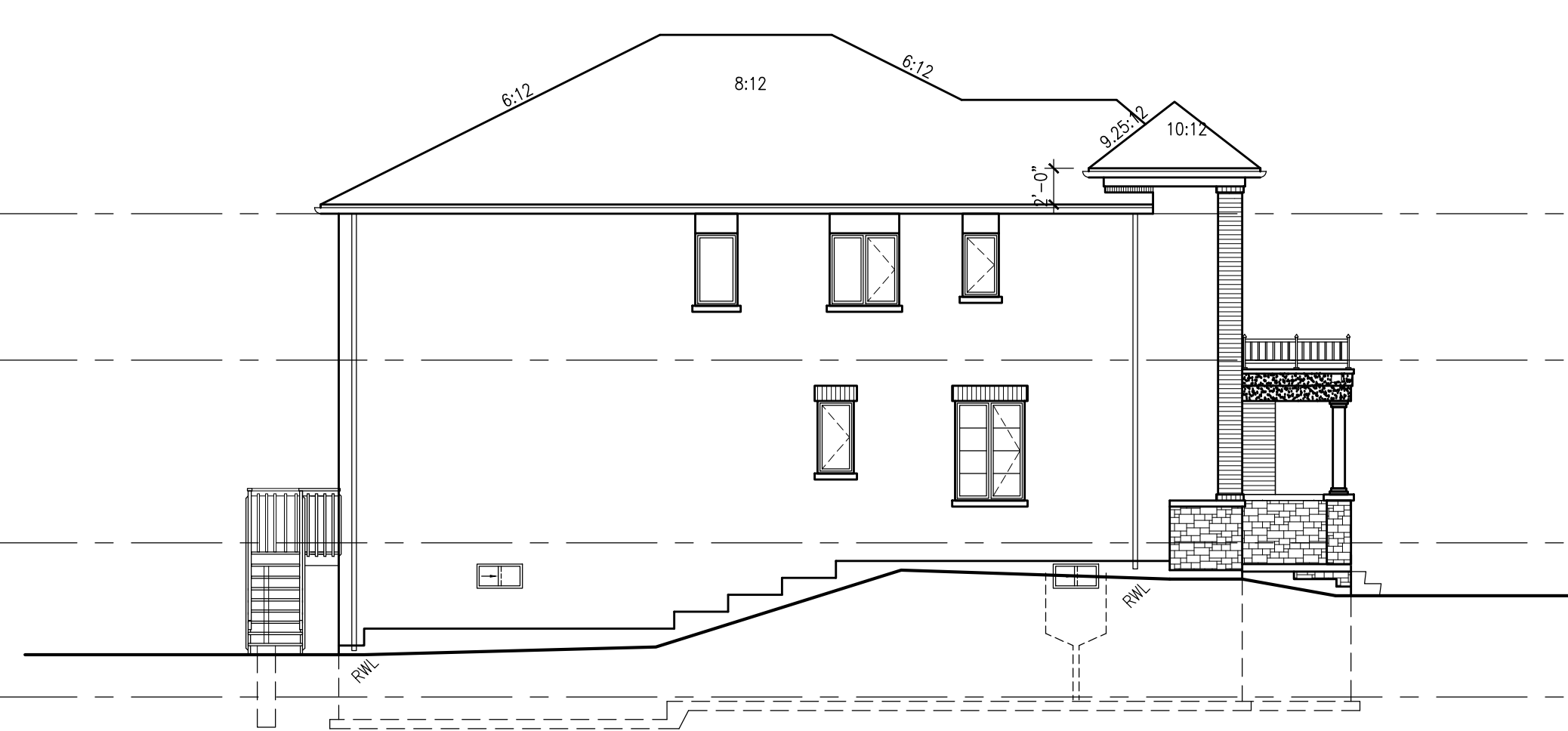
SEPTEMBER 2016
drawn by
checked by
16015-BLOCK-341

DATE
1/8" = 1'-0"

BY
CM

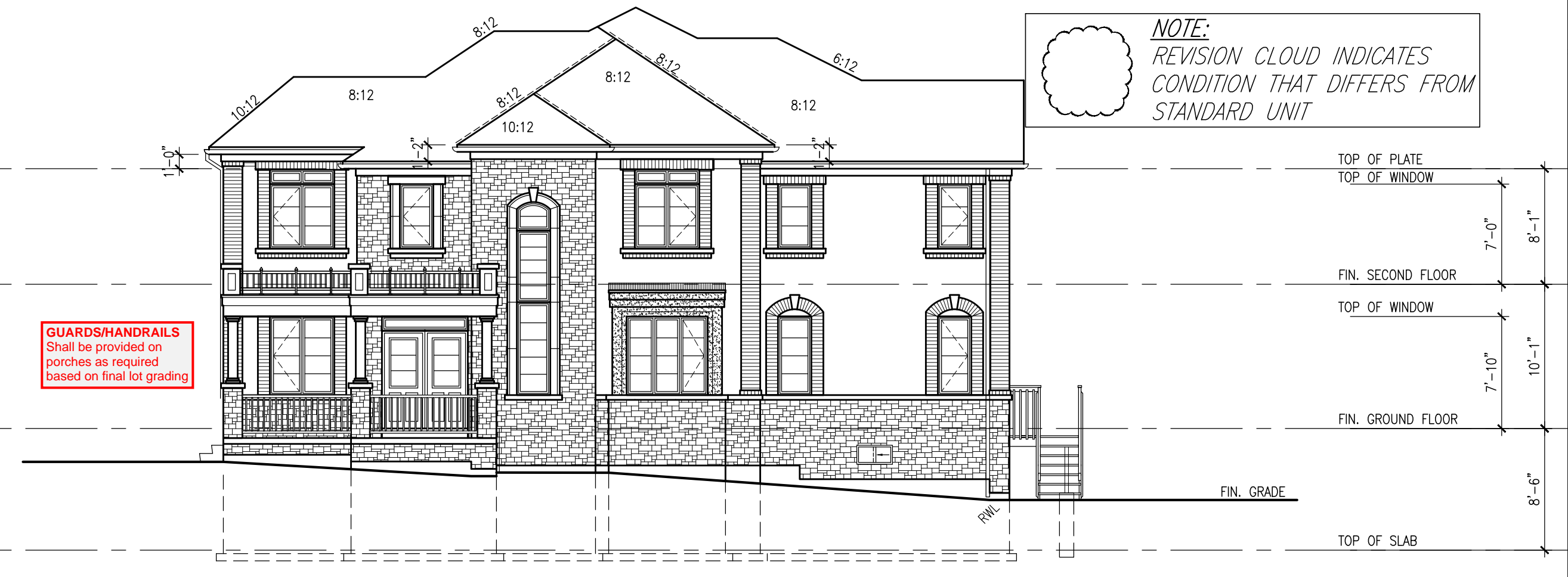
42588

B2



341-1 IVY-6E
ELEV. '2'

LEFT SIDE ELEVATION



341-6 IVY-11
ELEV. '2' (REV.)

RIGHT SIDE ELEVATION

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

7'-0"
8'-1"
7'-10"
10'-1"
8'-6"

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5253
BUILDING REVIEWED
SCOTT SHERRIFFS
APR 24, 2017
DATE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5253
BUILDING DIVISION

TOWNHOUSE MODELS
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model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
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construction details and specifications



341-6 IVY-11
ELEV. '2' (REV.)

341-5 IVY-2
ELEV. '2'

341-4 IVY-2
ELEV. '2' (REV.)

341-3 IVY-1
ELEV. '2'

341-2 IVY-1
ELEV. '2' (REV.)

341-1 IVY-6E
ELEV. '2'

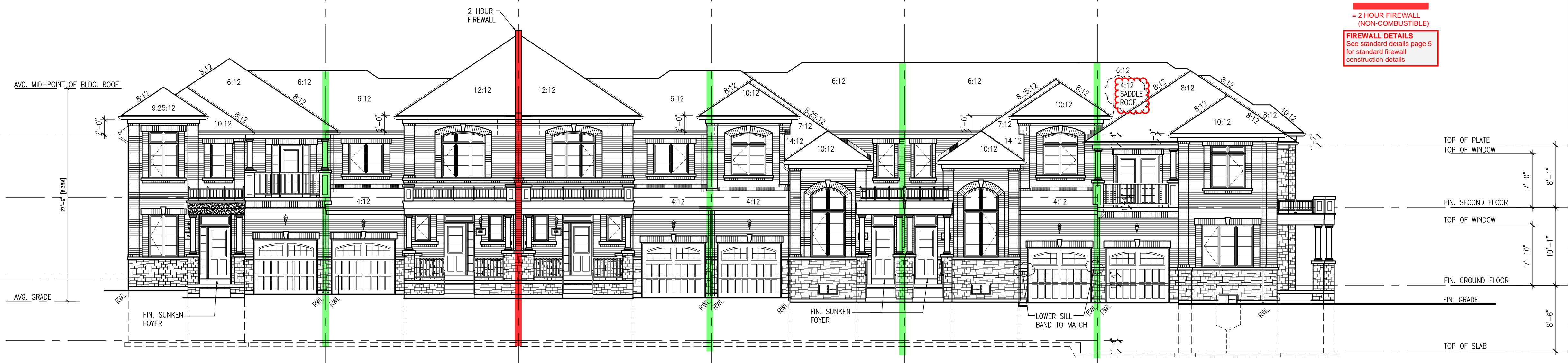
REAR ELEVATION

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details



341-1 IVY-6E
ELEV. '2'

341-2 IVY-1
ELEV. '2' (REV.)

341-3 IVY-1
ELEV. '2'

341-4 IVY-2
ELEV. '2' (REV.)

341-5 IVY-2
ELEV. '2'

341-6 IVY-11
ELEV. '2' (REV.)

FRONT ELEVATION

GUARDSHANDRAILS
Shall be provided on
porches as required
based on final lot grading

BLOCK 341 ELEVATION 2

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable regulations and requirements of the Town of Milton. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any structural building code or permit matter or their any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	ISSUED FOR PERMIT	FEB 02/17	GM
3	ISSUED FOR PERMIT	JAN 17/17	GM
4	ISSUED FOR PERMIT	DEC 13/16	GM
5	ISSUED FOR PERMIT	DEC 13/16	GM

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

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f 416.630.4782
vasdesign.com

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Richard Vink
signature
24488
42658

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
TOWN OF MILTON
16015

IVY SERIES
BLOCK 341
ELEVATIONS
B3