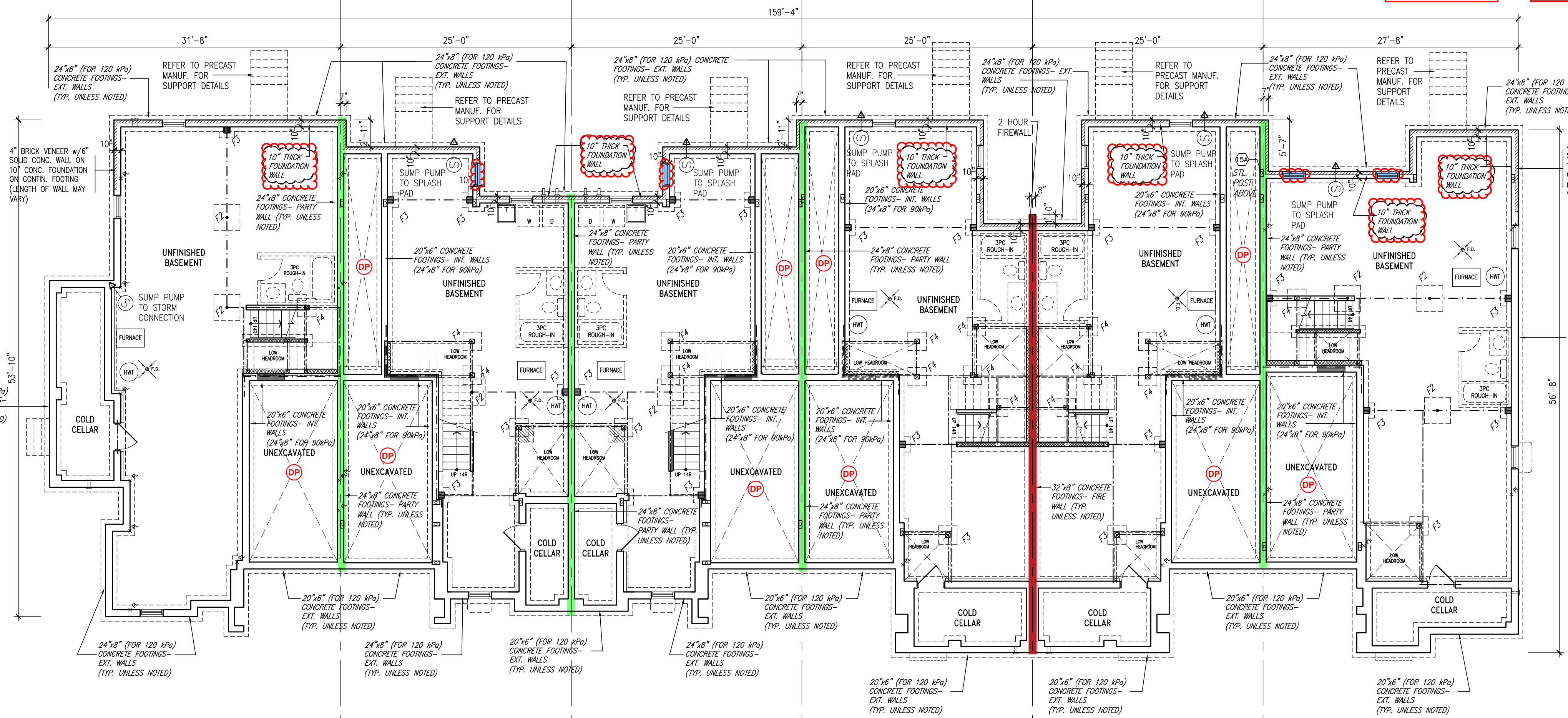


GROUND FLOOR PLAN



BASEMENT PLAN

NOTE:  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT 17-5246  
BUILDING REVIEWED  
SCOTT SHERRIFFS  
DATE  
APR 24, 2017  
PLANNING EXAMINER

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-5246  
BUILDING DIVISION

BUILDING AREA  
7708.87 S.F. (716.17 m<sup>2</sup>)

**PAD FOOTINGS**  
120 KPa, NATIVE SOIL  
F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD  
90 KPa, ENGINEERED FILL SOIL  
F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES**

**FOOTINGS ON NATIVE SOIL (120 KPa)**  
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)  
24"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS  
32"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS

**FOOTINGS ON ENGINEERED FILL (90 KPa)**  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN  
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)  
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS  
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kg/sq SOIL BEARING CAPACITY FOR NATIVE SOIL  
OR 90KPa/13.0kg/sq FOR ENGINEERED FILL  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

**VENEER CUT**  
WHEN VENEER CUT IS GREATER  
THAN 26", A 10" POURED  
CONCRETE FOUNDATION WALL IS  
REQUIRED.

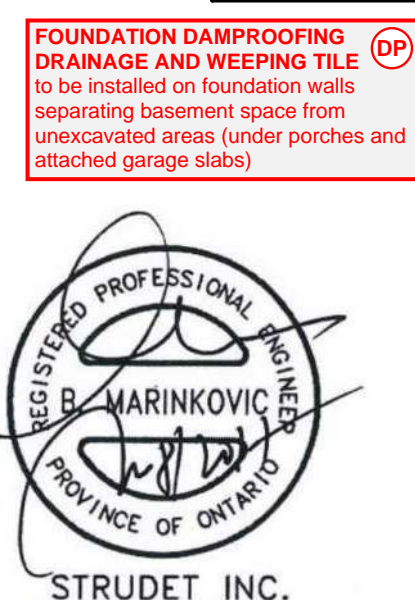
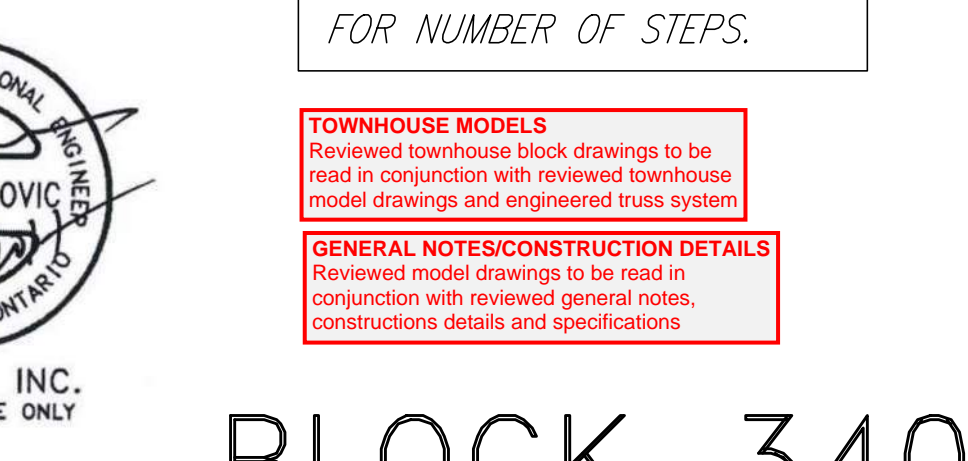
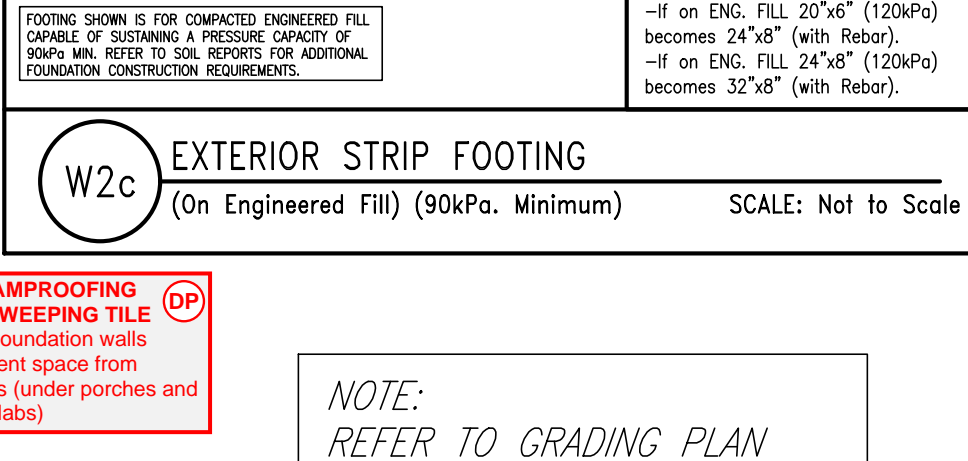
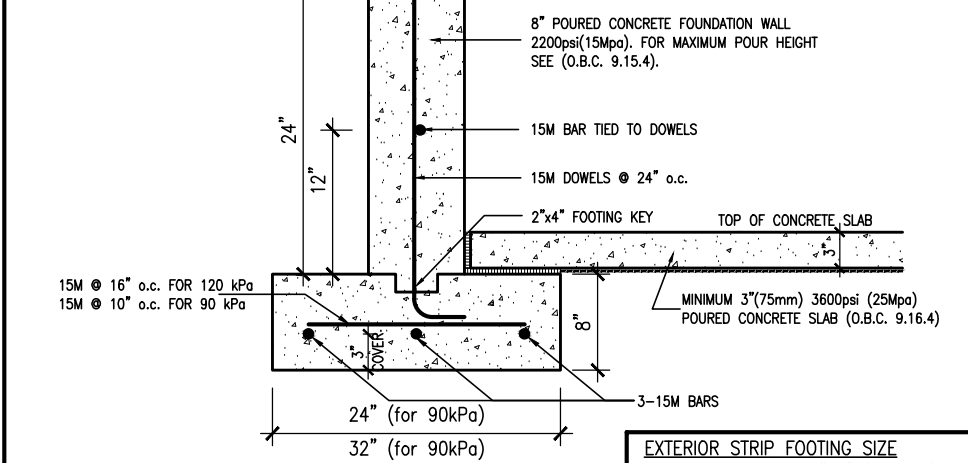
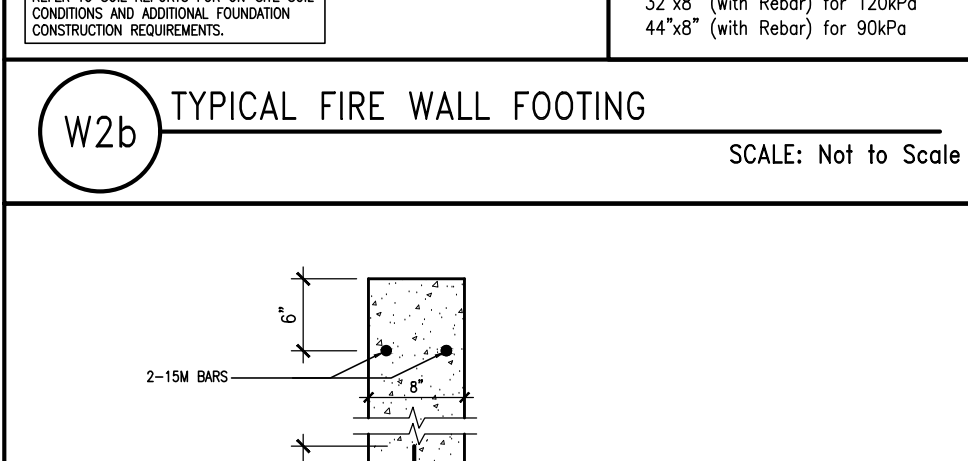
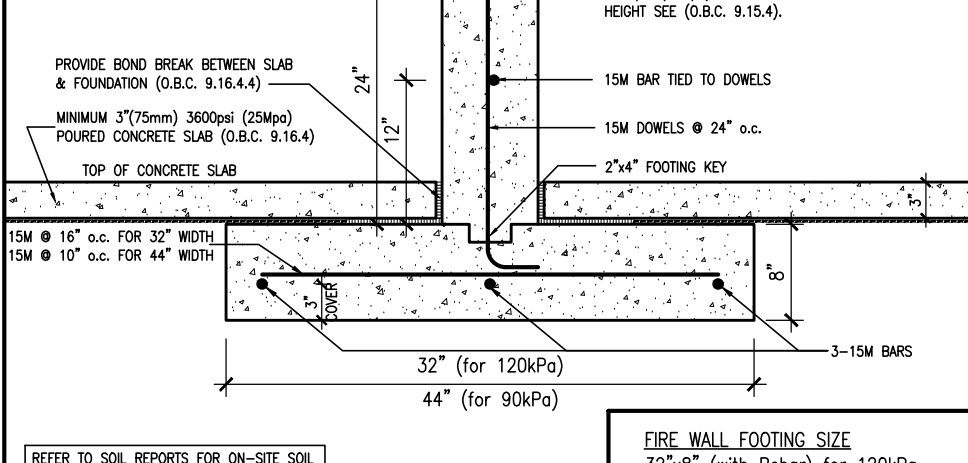
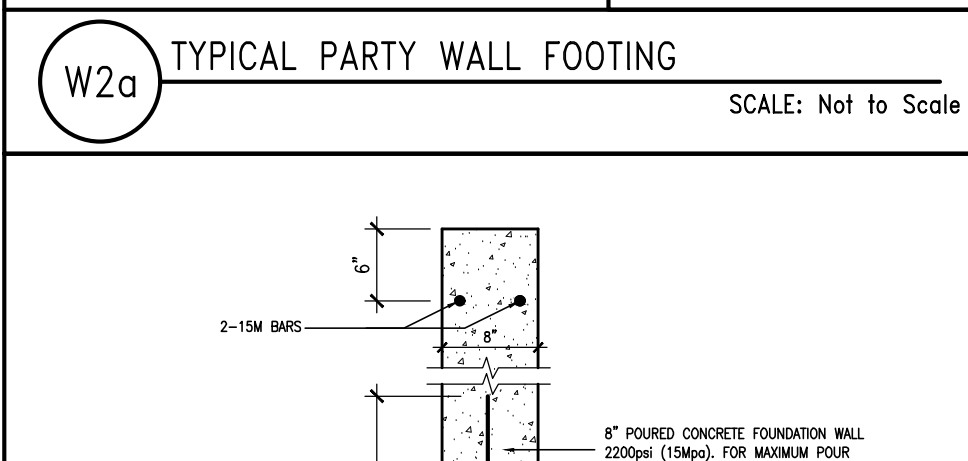
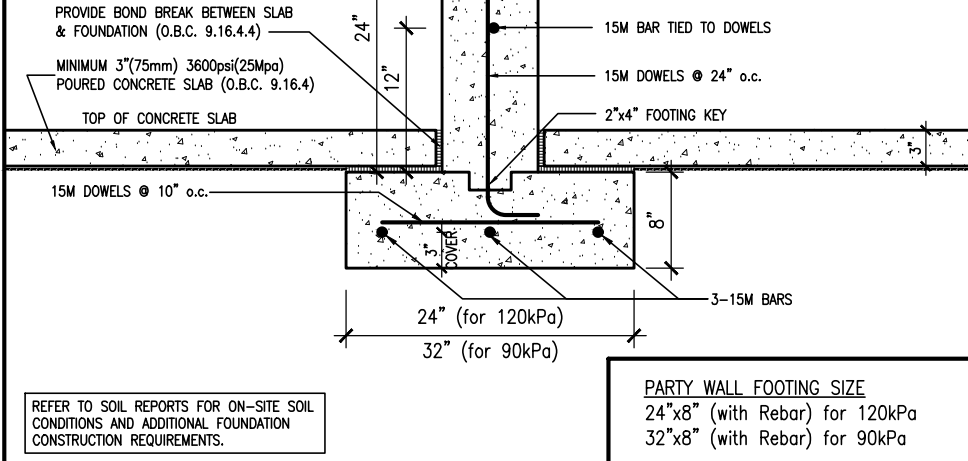
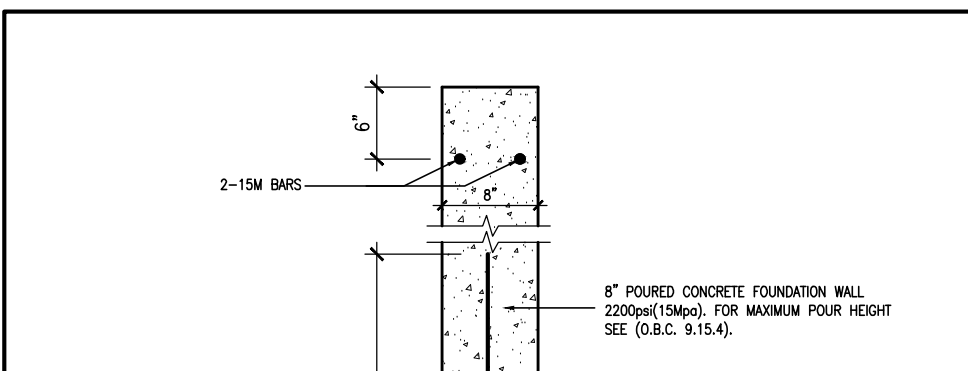
**REFER TO INDIVIDUAL UNITS  
FOR THE FOLLOWING**

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND  
SECOND FLOOR LINTELS  
SHOWN ON BLOCK PLANS

**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF  
OVERLAP OF DEMISING LINE/  
PARTY WALL.

**4-S SUMP PUMP LOCATION**



NOTE:  
REFER TO GRADING PLAN  
FOR NUMBER OF STEPS.

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be  
read in conjunction with reviewed townhouse  
model drawings and engineered truss system

**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in  
conjunction with reviewed general notes,  
construction details and specifications

**REQUIRED FOUNDATION  
REINFORCING**  
Refer to reviewed model drawings for  
required foundation reinforcing around  
window openings for the following models:  
IVY 2, IVY 4, IVY 5, AND IVY 7E

**BLOCK 340  
ELEVATION 2**

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
in the subdivision agreement. The Council  
Architect is not responsible in any way for  
building code or zoning matter or that any  
house can be properly built or located on its lot.  
This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
Milton.  
ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Licensed Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	CM
2	4 SUMP PUMP LOCATIONS ADDED, GRADING CHANGES	FEB 02/17	CM
3	ISSUED FOR FINISHING	JAN 17/17	CM
4	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	CM
5	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the  
Designer before proceeding with the work. All drawings and specifications are  
instruments of service and the property of the architect which must be returned at  
the completion of the work. Drawings are not to be scaled.

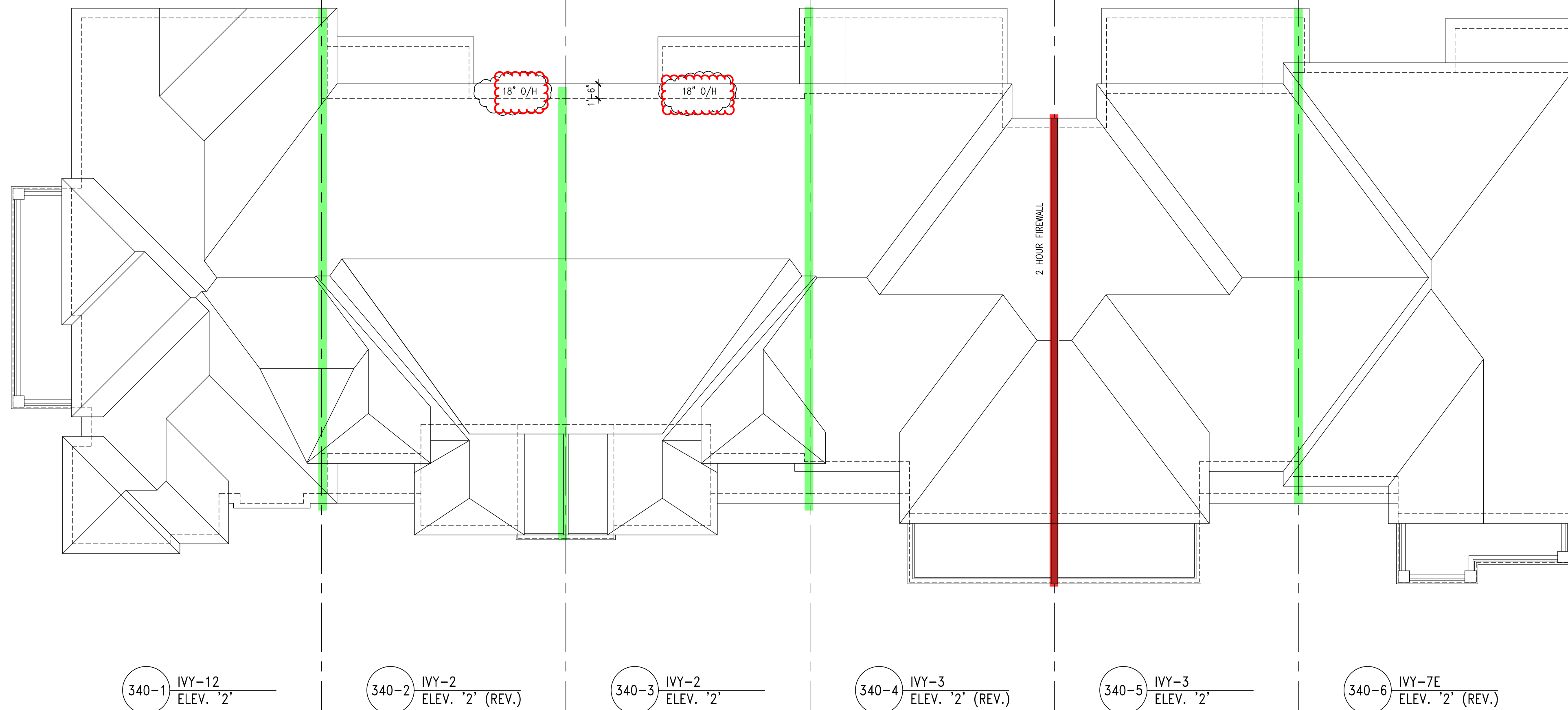
**VAS DESIGN**

255 Consumers Rd  
Suite 120  
Toronto ON M2J 1R4  
T 416.630.2255  
F 416.630.4182  
vas3design.com

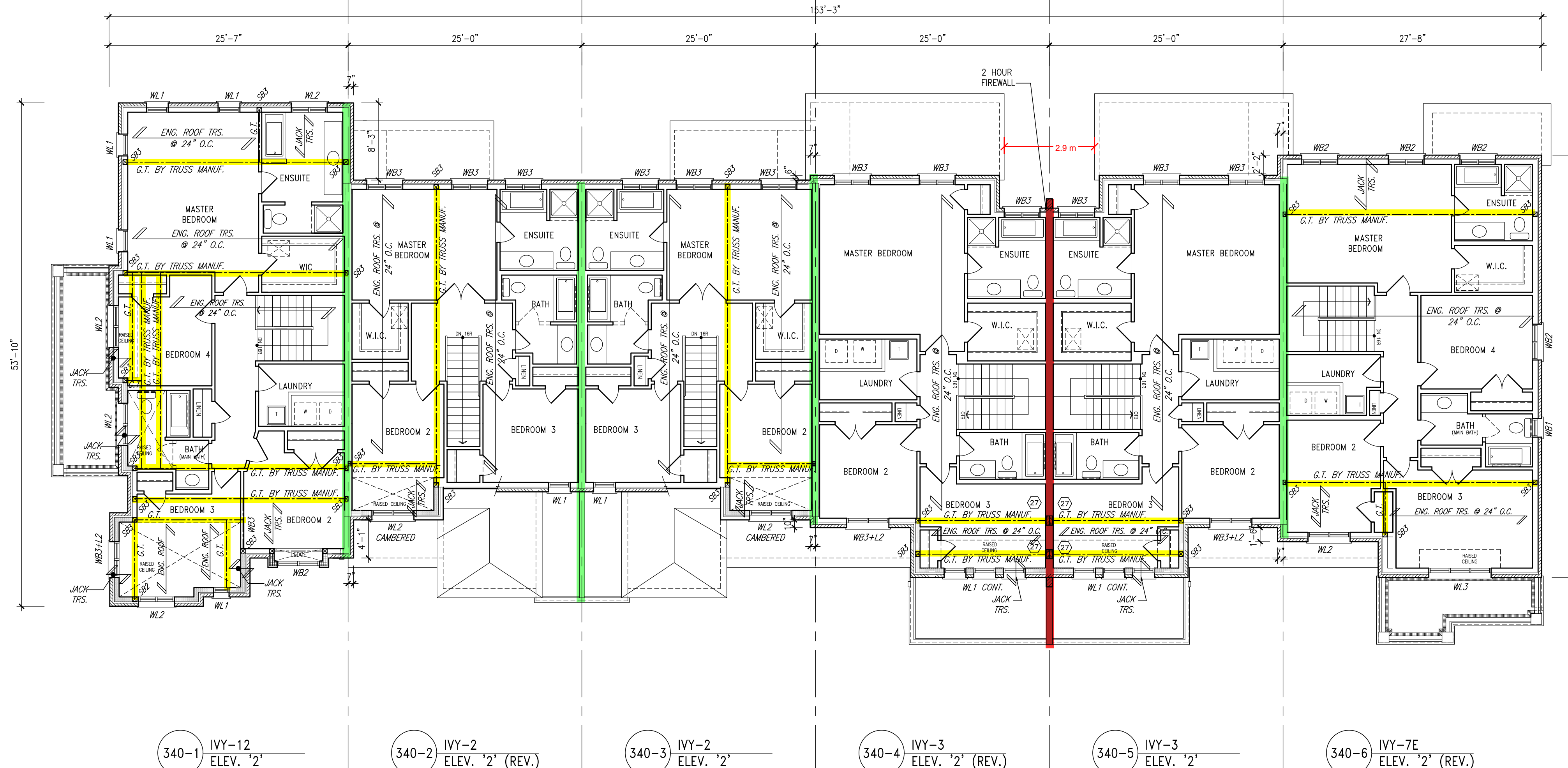
**Greenpark.**

LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
IVY SERIES  
BLOCK 340  
BLOCK 340 PLANS  
B1





ROOF PLAN



SECOND FLOOR PLAN

**NOTE:**  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

**TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5246  
BUILDING REVIEWED  
SCOTT SHERRIFFS  
PLANS EXAMINER  
APR 24, 2017  
DATE**

**RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-5246  
BUILDING DIVISION**

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be  
read in conjunction with reviewed townhouse  
model drawings and engineered truss system

**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in  
conjunction with reviewed general notes,  
construction details and specifications

**= 2 HOUR FIREWALL  
(NON-COMBUSTIBLE)**

**FIREWALL DETAILS**  
See standard details page 5  
for standard firewall  
construction details

**= 1 HOUR PARTY WALL  
(FIRE SEPARATION)**

**PARTY WALL DETAILS**  
See standard details page 4  
for standard party wall  
construction details



**BLOCK 340  
ELEVATION 2**

**PAD FOOTINGS**  
**120 KPa, NATIVE SOIL**  
F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD

**90 KPa, ENGINEERED FILL SOIL**  
F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES**  
**FOOTINGS ON NATIVE SOIL (120 KPa.)**  
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).  
24"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.  
32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

**FOOTINGS ON ENGINEERED FILL (90 KPa.)**  
24"x6" CONCRETE STRIP FOOTINGS (with REINFORCEMENT, AS NOTED ON PLAN  
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (with REINFORCEMENT (UNLESS OTHERWISE NOTED).  
32"x6" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW PARTY WALLS.  
44"x6" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW FIRE WALLS.  
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL  
OR 90KPa/ 13.0psi FOR ENGINEERED FILL  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

**VENEER CUT**  
WHEN VENEER CUT IS GREATER  
THAN 26", A 10" POURED  
CONCRETE FOUNDATION WALL IS  
REQUIRED.

**REFER TO INDIVIDUAL UNITS  
FOR THE FOLLOWING**  
-GROUND FLOOR FLOOR  
STRUCTURE  
-BASEMENT AND GROUND  
FLOOR LINTELS  
-GROUND FLOOR AND  
SECOND FLOOR STRUCTURE  
-DOUBLE VOLUME WALL  
LOCATION AND DETAILS  
-CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND  
SECOND FLOOR LINTELS  
SHOWN ON BLOCK PLANS

**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF  
OVERLAP OF DEMISING LINE/  
PARTY WALL.

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements,  
including zoning provisions and any provisions  
in the subdivision agreement. The Council  
Architect is not responsible in any way for  
building code or zoning matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.

**ARCHITECTURAL REVIEW & APPROVAL**  
**MAR 20 2017**  
John G. Williams, Licensed Architect

10					
9					
8					
7					
6					
5					
4	ISSUED FOR PERMIT			MAR 01/17	GM
3	SUMP PUMP LOCATIONS ADDED, GRADING CHANGES.			FEB 02/17	GM
2	ISSUED FOR PRICING			JAN 17/17	GM
1	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS			DEC 13/16	GM
0	ISSUED FOR CLIENT REVIEW				
no	description			date	by

Contractor must verify all dimensions on the job and report any discrepancy to the  
Designer before proceeding with the work. All drawings and specifications are  
instruments of service and the property of the architect which must be returned at  
the completion of the work. Drawings are not to be scaled.

**VAS DESIGN**  
255 Consumers Rd  
Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255  
f 416.630.4182  
vasdesign.com

All drawings, specifications, related  
documents and design are the  
copyright property of VAS DESIGN.  
Reproduction of this property in  
whole or in part is strictly  
prohibited without VAS DESIGN's  
written permission.

The architect has reviewed and taken responsibility for the design  
and for the specifications and notes the requirements set out in the  
contract. Building Code is not a contract.  
Richard Vink  
signature  
VAS Design Inc.  
24488  
42658

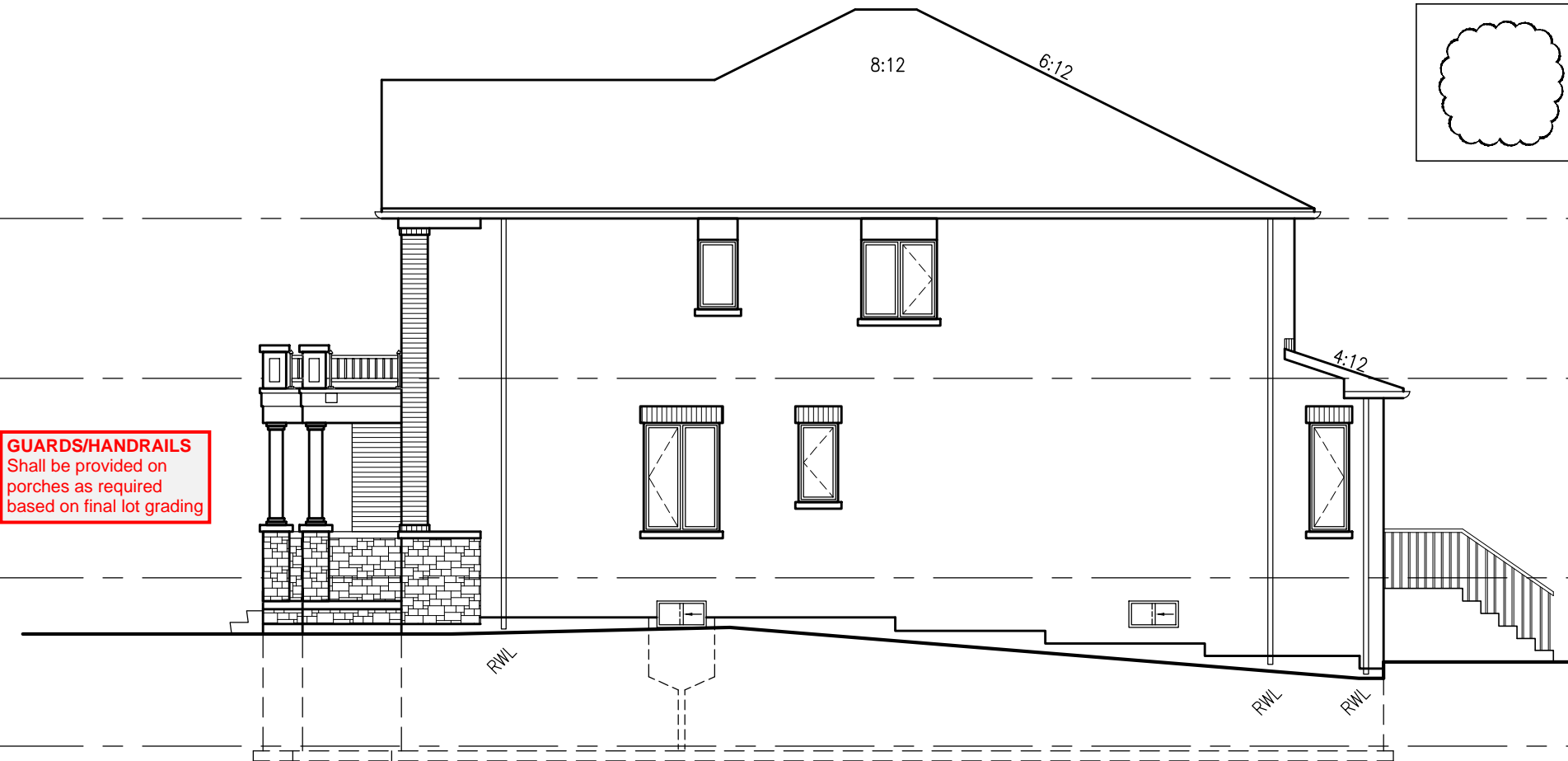
**Greenpark.**  
PROJECT NAME  
**LECCO RIDGE DEV. INC.**  
PROJECT NO.  
TOWN OF MILTON  
16015  
BLOCK 340  
IVY SERIES  
BLOCK 340 PLANS  
SEPTEMBER 2016  
drawn by  
checked by  
16015-BLOCK-340  
B2





340-1 IVY-12  
ELEV. '2'

LEFT SIDE ELEVATION



340-6 IVY-7E  
ELEV. '2' (REV.)

RIGHT SIDE ELEVATION

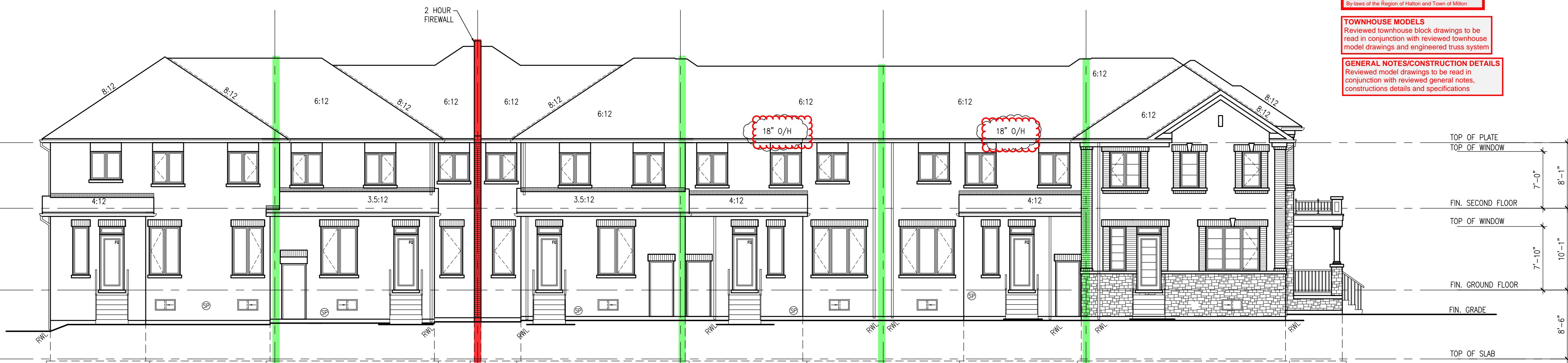
NOTE:  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5246  
BUILDINGS REVIEWED  
SCOTT SHERIFFS  
APR 24, 2017  
DATE  
NEITHER THE ISSUANCE OF A PERMIT NOR CARRYING OUT OF  
INSPECTIONS BY THE TOWN OF MILTON RELIEVES THE OWNER FROM  
FULL RESPONSIBILITY FOR COMPLIANCE WITH THE PROVISIONS OF  
THE ONTARIO BUILDING CODE ACT AND THE CHARTER BUILDING  
CODE, both as amended, as well as other applicable  
regulations and regulations of the Province of Ontario.  
By-laws of the Region of Halton and Town of Milton

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-5246  
BUILDING DIVISION

TOWNHOUSE MODELS  
Reviewed townhouse block drawings to be  
read in conjunction with reviewed townhouse  
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS  
Reviewed model drawings to be read in  
conjunction with reviewed general notes,  
constructions details and specifications



340-6 IVY-7E  
ELEV. '2' (REV.)

340-5 IVY-3  
ELEV. '2'

340-4 IVY-3  
ELEV. '2' (REV.)

340-3 IVY-2  
ELEV. '2'

340-2 IVY-2  
ELEV. '2' (REV.)

340-1 IVY-12  
ELEV. '2'

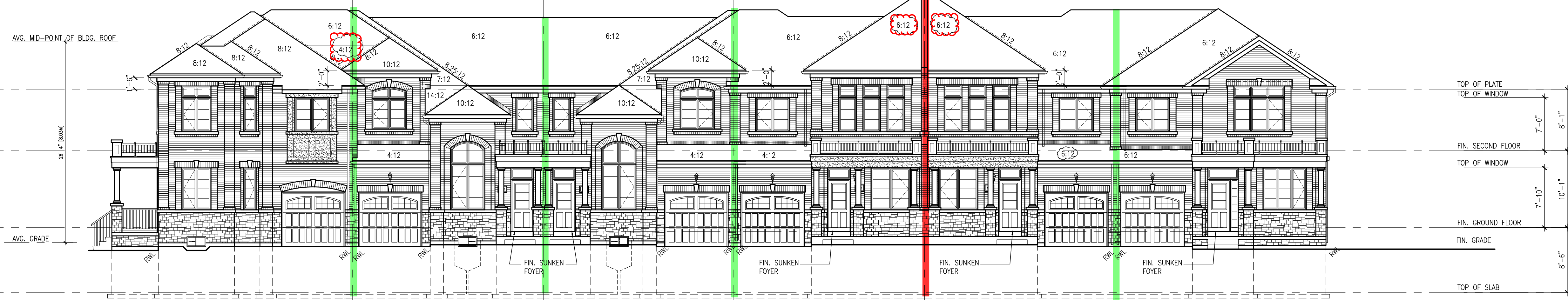
REAR ELEVATION

= 2 HOUR FIREWALL  
(NON-COMBUSTIBLE)

FIREWALL DETAILS  
See standard details page 5  
for standard firewall  
construction details

= 1 HOUR PARTY WALL  
(FIRE SEPARATION)

PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details



340-1 IVY-12  
ELEV. '2'

340-2 IVY-2  
ELEV. '2' (REV.)

340-3 IVY-2  
ELEV. '2'

340-4 IVY-3  
ELEV. '2' (REV.)

340-5 IVY-3  
ELEV. '2'

340-6 IVY-7E  
ELEV. '2' (REV.)

FRONT ELEVATION

GUARDSHANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading

BLOCK 340  
ELEVATION 2

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements,  
including zoning provisions and any provisions  
in the subdivision agreement. The Council  
Architect is not responsible in any way for  
issuing or approving the (dotted) lines or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	ISSUED FOR PERMIT	MAR 01/17	GM
3	ISSUED FOR PERMIT	MAR 01/17	GM
4	ISSUED FOR PERMIT	MAR 01/17	GM
5	ISSUED FOR PERMIT	MAR 01/17	GM
6	ISSUED FOR PERMIT	MAR 01/17	GM
7	ISSUED FOR PERMIT	MAR 01/17	GM
8	ISSUED FOR PERMIT	MAR 01/17	GM
9	ISSUED FOR PERMIT	MAR 01/17	GM
10	ISSUED FOR PERMIT	MAR 01/17	GM

255 Consumers Rd  
Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255  
f 416.630.4782  
vo3design.com

VA3  
DESIGN

Greenpark.

LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
16015  
BLOCK 340  
ELEVATION 2  
B3