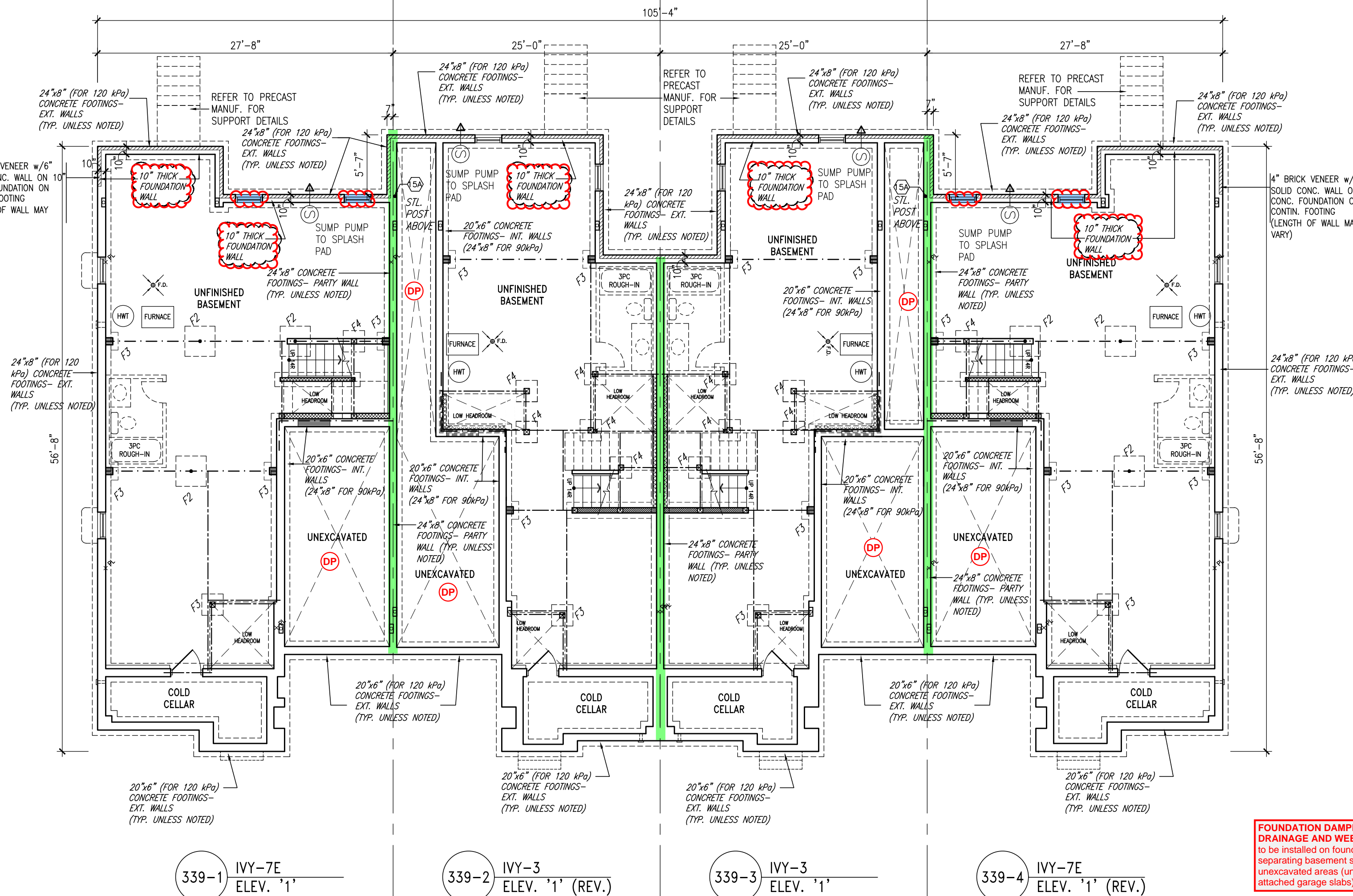


GROUND FLOOR PLAN



BASEMENT PLAN

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5239
BUILDING REVIEWED
SCOTT SHERRIFFS APR 24, 2017
DATE
RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5239
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

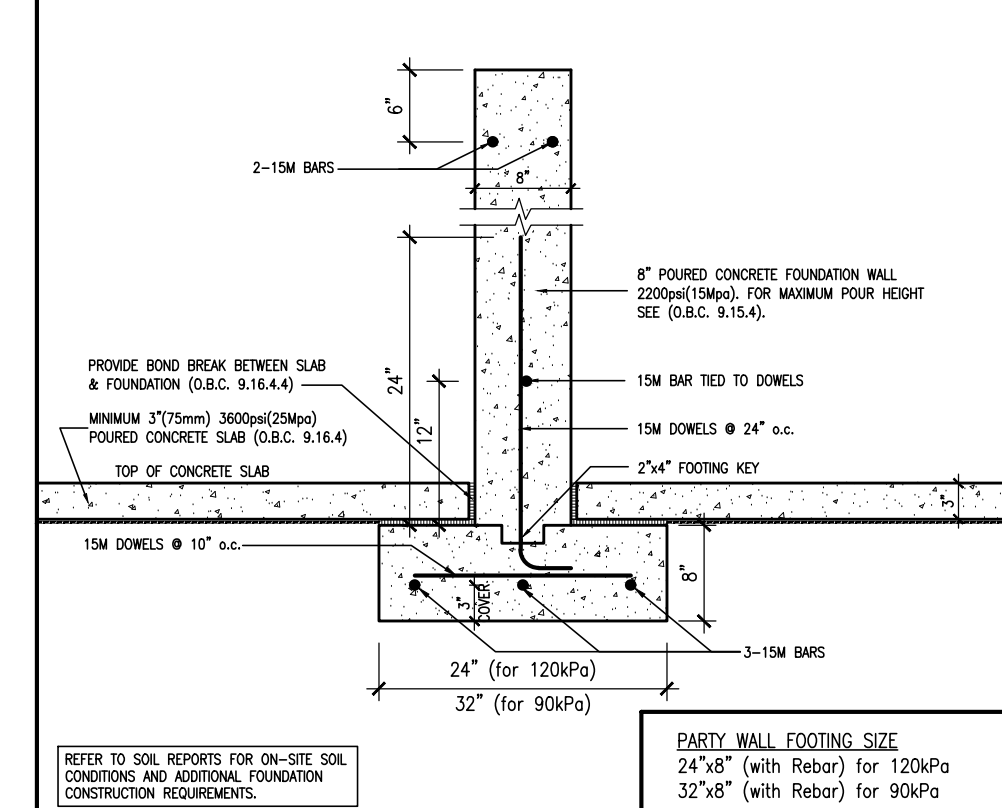
GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications

1 HOUR PARTY WALL (FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

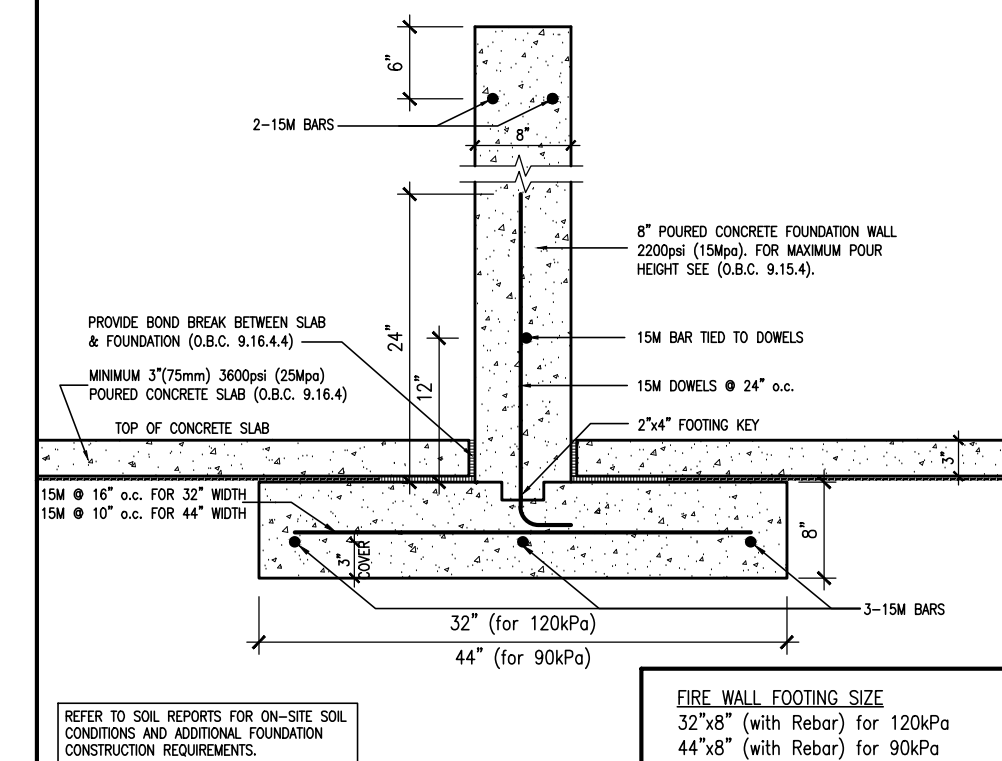
FOUNDATION DAMPROOFING DRAINAGE AND WEERING TILE
to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)

REQUIRED FOUNDATION REINFORCING
Refer to reviewed model drawings for required foundation reinforcing around window openings for the following models: IVY 2, IVY 4, IVY 5, and IVY 7E

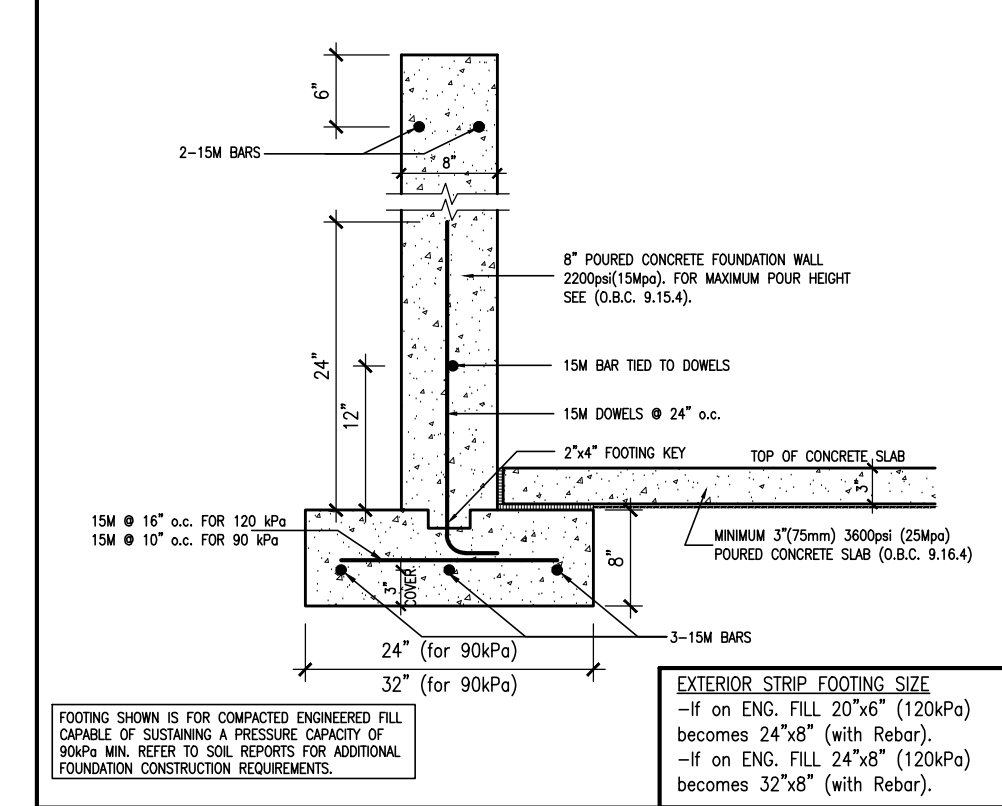
NOTE:
REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT



W2a TYPICAL PARTY WALL FOOTING SCALE: Not to Scale



W2b TYPICAL FIRE WALL FOOTING SCALE: Not to Scale



W2c EXTERIOR STRIP FOOTING (On Engineered Fill) (90kPa. Minimum) SCALE: Not to Scale

NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.



BLOCK 339 ELEVATION 1

BUILDING AREA
5343.43 S.F. (496.42 m²)

PAD FOOTINGS
120 KPa. NATIVE SOIL 90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kgf SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/ 13.0kgf FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

SUMP PUMP LOCATION

It is the builder's complete responsibility to fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for omissions or errors in these plans or for any building code or permit matter or that any house does not properly suit or located on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Licensed Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	SUMP PUMP LOCATIONS ADDED, GRADING CHANGES	FEB. 02/17	GM
3	ISSUED FOR PRICING	JAN. 17/17	GM
4	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16	GM
5	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
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The architect has reviewed and taken responsibility for the design documents and design on the copyright property of V3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V3 DESIGN's written permission.

Richard Vink
signature
V3 Design Inc.
42888

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

TOWN OF MILTON

IVY SERIES

BLOCK 339

BLOCK 339 PLANS

SEPTEMBER 2016

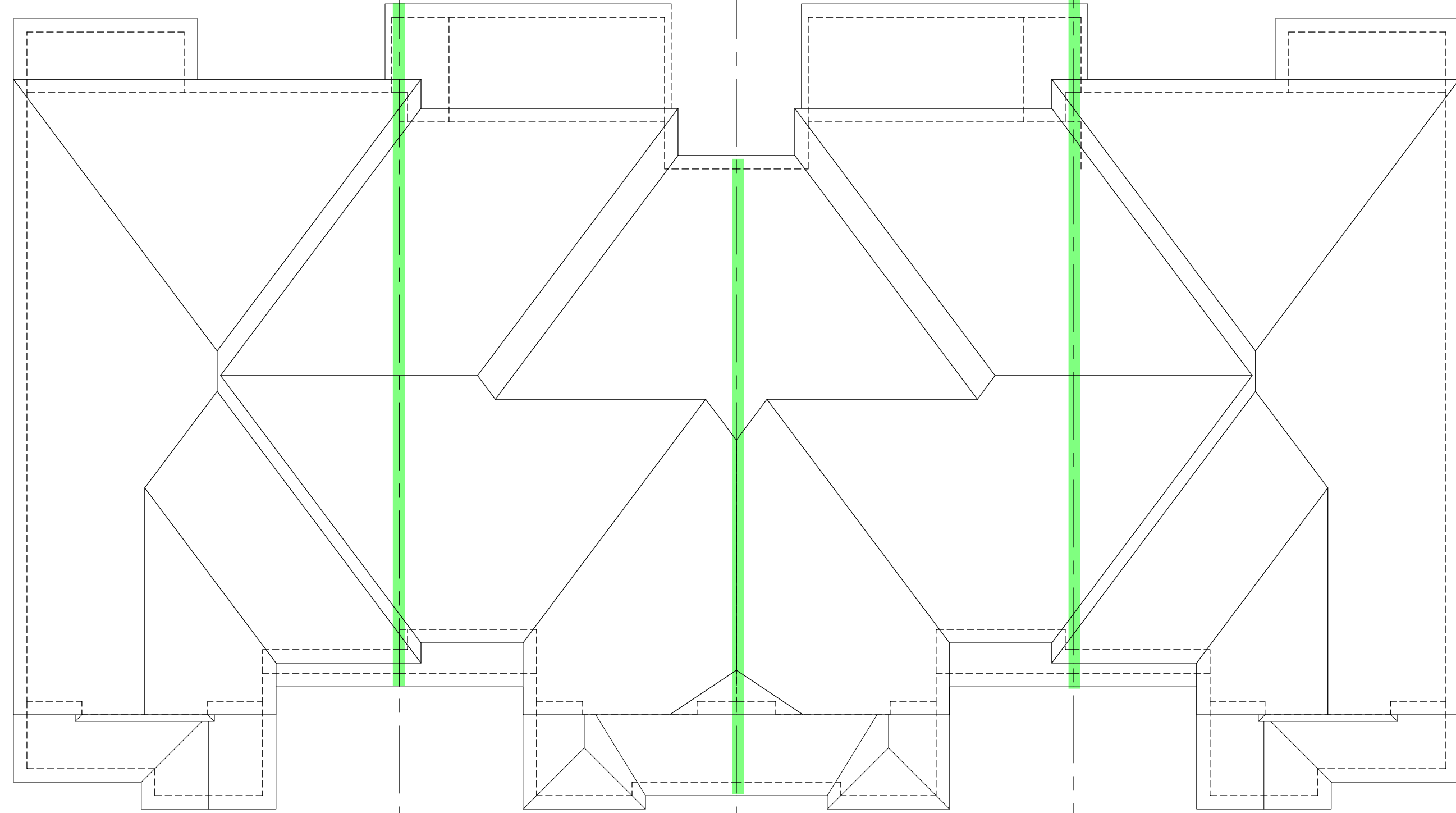
drawn by
BT

checked by
GM

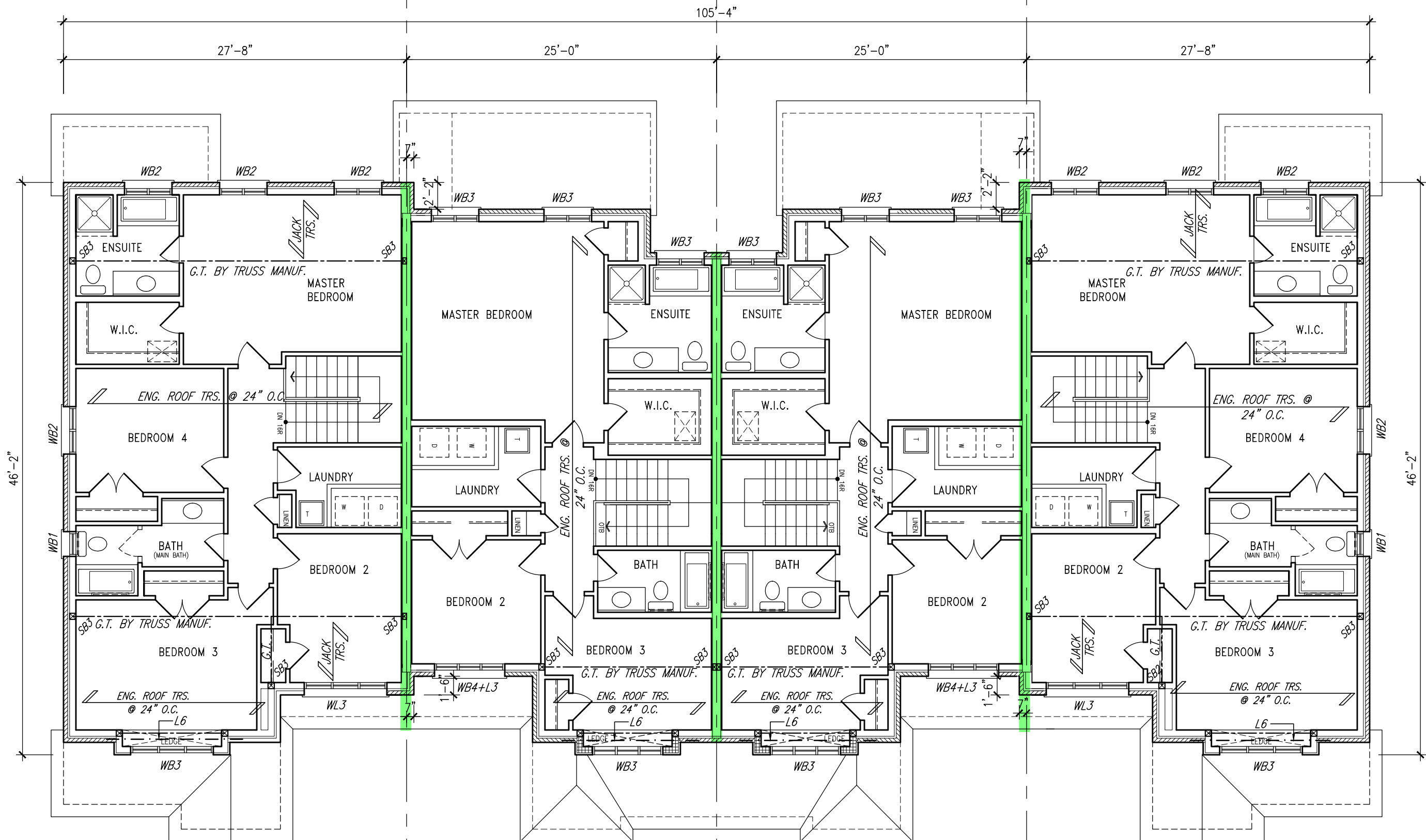
scale
1/8" = 1'-0"

sheet no.
B1

16015-BLOCK-339



ROOF PLAN



SECOND FLOOR PLAN

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5239
BUILDINGS REVIEWED
SCOTT SHERRIFFS APR 24, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton releases the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
regulations and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5239
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

BUILDING AREA
5343.43 S.F. (496.42 m²)

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120 KPa, NATIVE SOIL 90 KPa, ENGINEERED FILL SOIL
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FOOTINGS ON ENGINEERED FILL (90 KPa.)
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32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH
REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
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VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING

-GROUND FLOOR
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Contract
Architect is not responsible in any way for
examining, or approving site, building plans or
building code or permit matter or that any
house plan is properly built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

10				
9				
8				
7				
6				
5	ISSUED FOR PERMIT	MAR 01/17	GM	
4	SUMP PUMP LOCATIONS ADDED, GRADING CHANGES	FEB 02/17	GM	
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2	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GM	
1	ISSUED FOR CLIENT REVIEW			
no	description	date	by	

Contractor must verify all dimensions on the job and report any discrepancy to the
Designer before proceeding with the work. All drawings and specifications are
instruments of service and the property of the architect which must be returned at
the completion of the work. Drawings are not to be scaled.

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The architect has reviewed and taken responsibility for this design
and for the qualifications and needs the requirements set out in the
contract. Building Code is not a design
specification. Information
Richard Vink 24488
signature
VAS Design Inc. 42658

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

PROJECT NAME
TOWN OF MILTON

PROJECT NO.
16015

BLOCK 339
ELEVATION 1

PROJECT NAME
TOWN OF MILTON

PROJECT NO.
16015

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5239
BUILDING REVIEWED
SCOTT SHERRIFFS
APR 24, 2017
PLANS EXAMINER
DATE
The issuance of a permit not carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
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statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
BUILDING DIVISION

Reviewed drawings and engineering notes
in conjunction with reviewed general notes,
construction details and specifications

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
construction details and specifications



339-4 IVY-7E
ELEV. '1' (REV.)

RIGHT SIDE ELEVATION



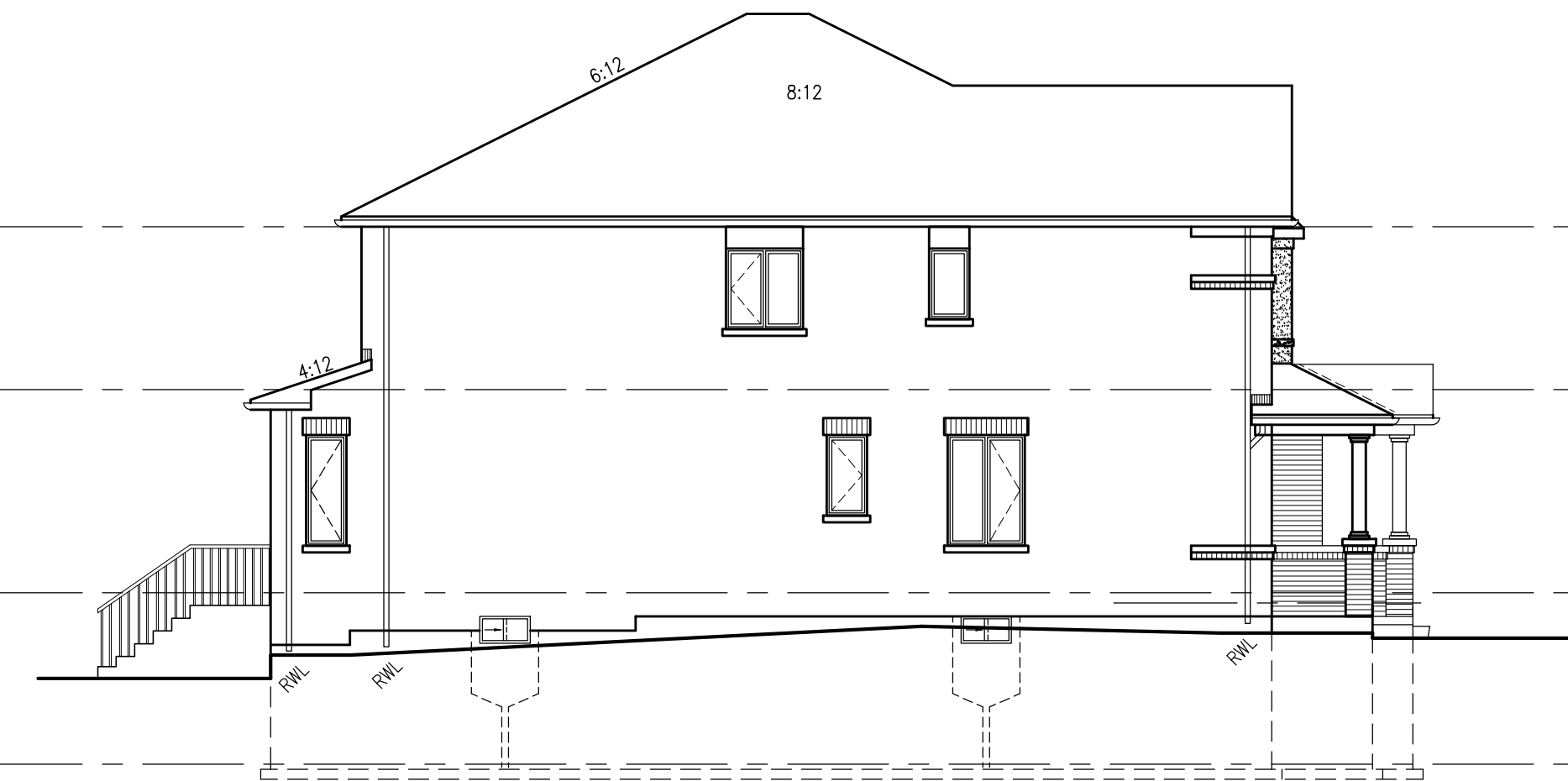
339-4 IVY-7E
ELEV. '1' (REV.)

REAR ELEVATION

339-3 IVY-3
ELEV. '1'

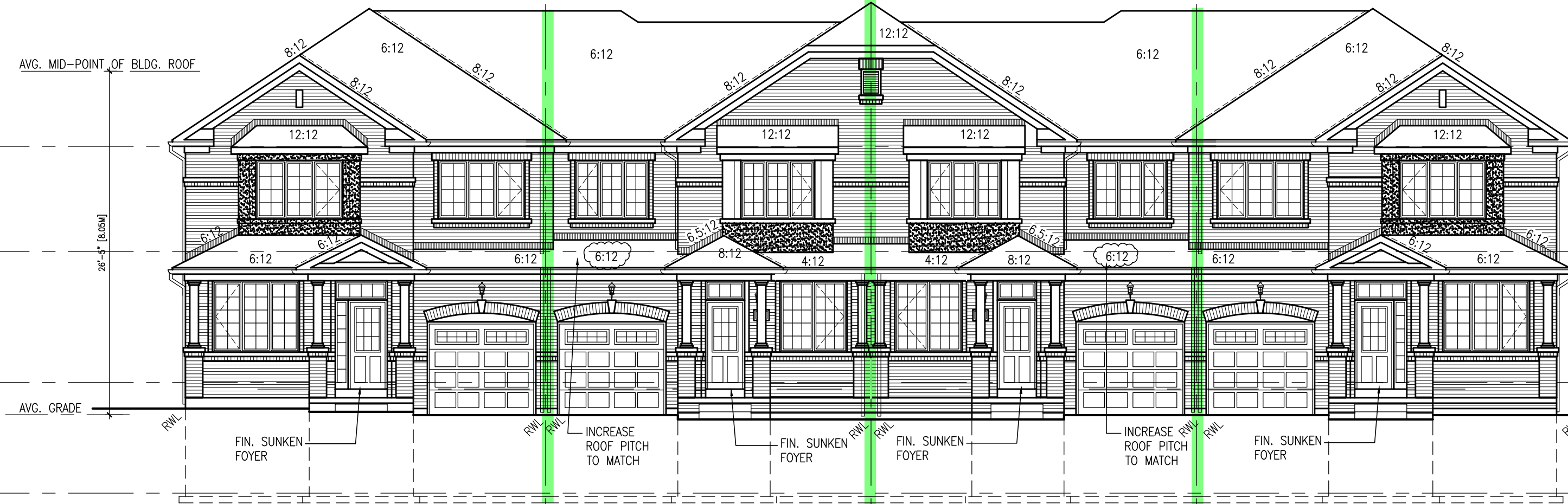
339-2 IVY-3
ELEV. '1' (REV.)

339-1 IVY-7E
ELEV. '1'



339-1 IVY-7E
ELEV. '1'

LEFT SIDE ELEVATION



339-1 IVY-7E
ELEV. '1'

FRONT ELEVATION

339-2 IVY-3
ELEV. '1' (REV.)

339-3 IVY-3
ELEV. '1'

339-4 IVY-7E
ELEV. '1' (REV.)

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

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Architect is not responsible in any way for
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working drawings with respect to any zoning or
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house be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Licensed Architect

no.	description	date	by
10			
9			
8			
7			
6			
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The architect has reviewed and taken responsibility for the design
and for the specifications and notes the representations are set in the
design. Building Code is set in design.
specification information

Richard Vink 24488
signature
signature information
VAS Design Inc. 42658

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

PROJECT TYPE
TOWN OF MILTON

PROJECT DATE
SEPTEMBER 2016

BLOCK 339
ELEVATION 1

drawn by
checked by
date