

BUILDING AREA  
7867.38 S.F. (730.90 m<sup>2</sup>)

**PAD FOOTINGS**  
120 KPa, NATIVE SOIL  
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES**

**FOOTINGS ON NATIVE SOIL (120 KPa)**  
24"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).  
24"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.  
32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

**FOOTINGS ON ENGINEERED FILL (90 KPa)**  
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN  
32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).  
32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.  
44"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT).  
ASSUME 120KPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/13.0kPa FOR ENGINEERED FILL.  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

**VENEER CUT**  
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING**

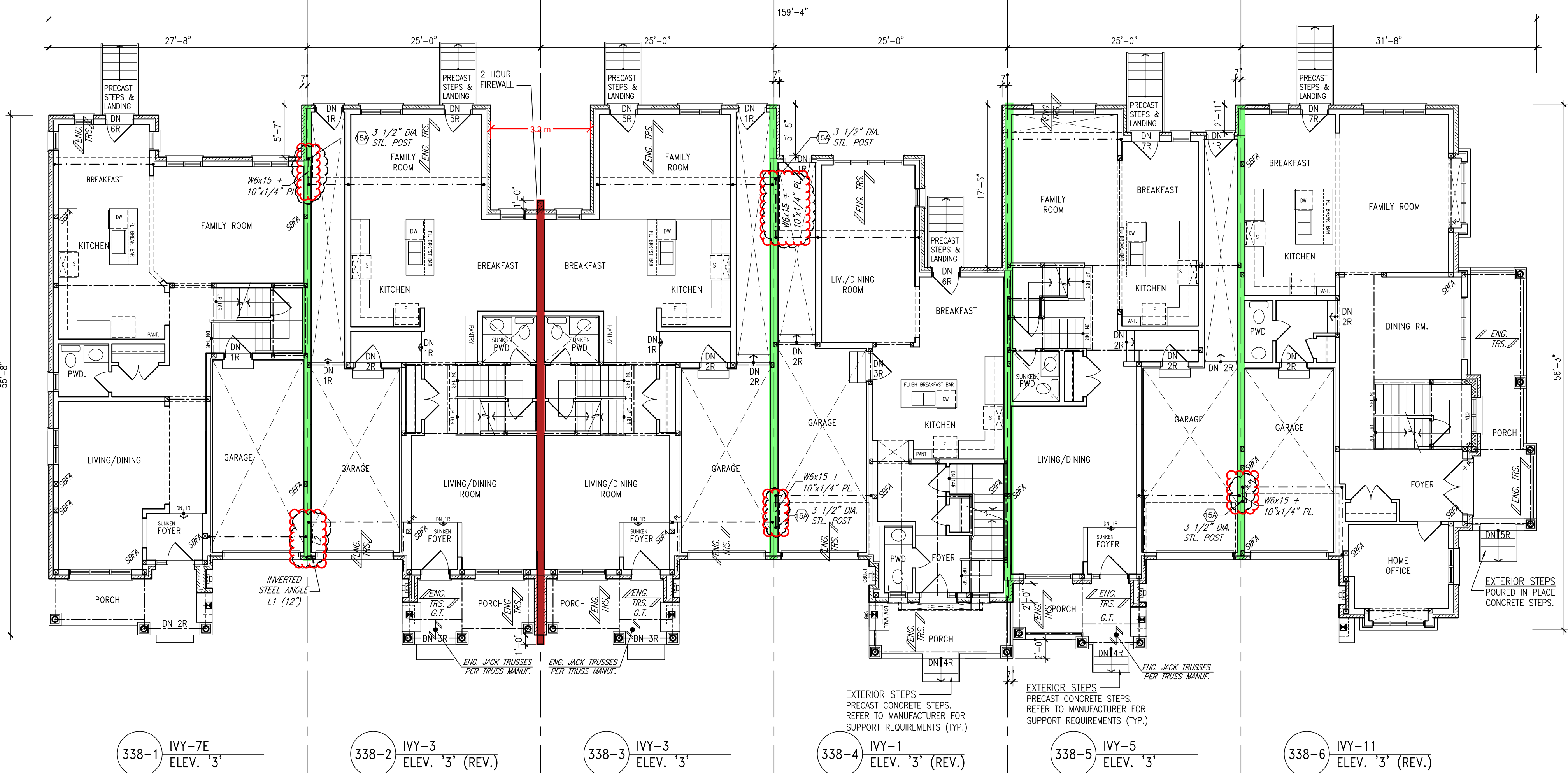
- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

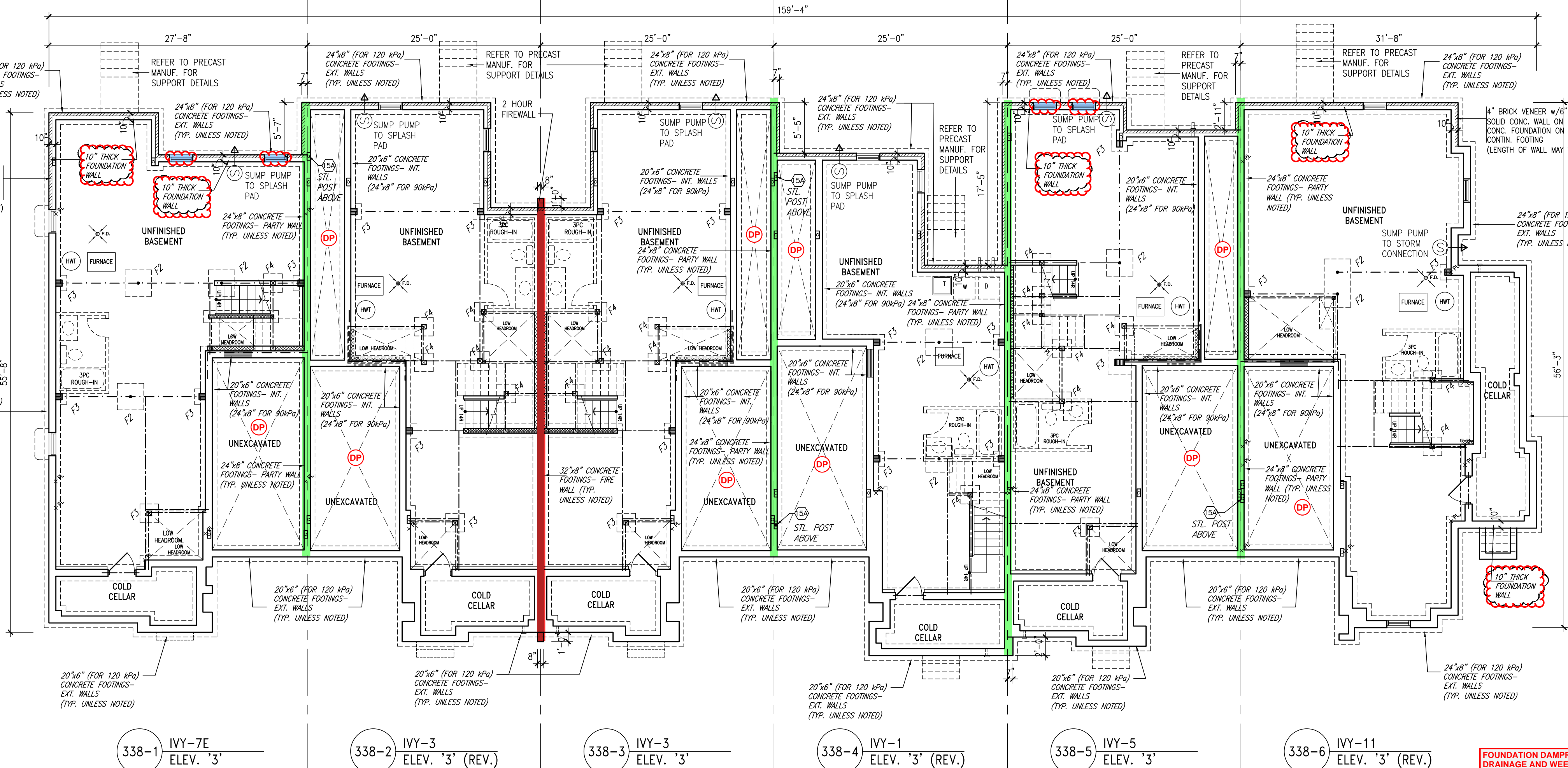
**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

**SUMP PUMP LOCATION**

**NOTE:**  
REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT



GROUND FLOOR PLAN



BASEMENT PLAN

2 HOUR FIREWALL (NON-COMBUSTIBLE)

**FIREWALL DETAILS**  
See standard details page 5 for standard firewall construction details

1 HOUR PARTY WALL (FIRE SEPARATION)  
**PARTY WALL DETAILS**  
See standard details page 4 for standard party wall construction details

**REQUIRED FOUNDATION REINFORCING**  
Refer to reviewed model drawings for required foundation reinforcing around window openings for the following models: IVY 2, IVY 4, IVY 5, AND IVY 7E

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

**NOTE:**  
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

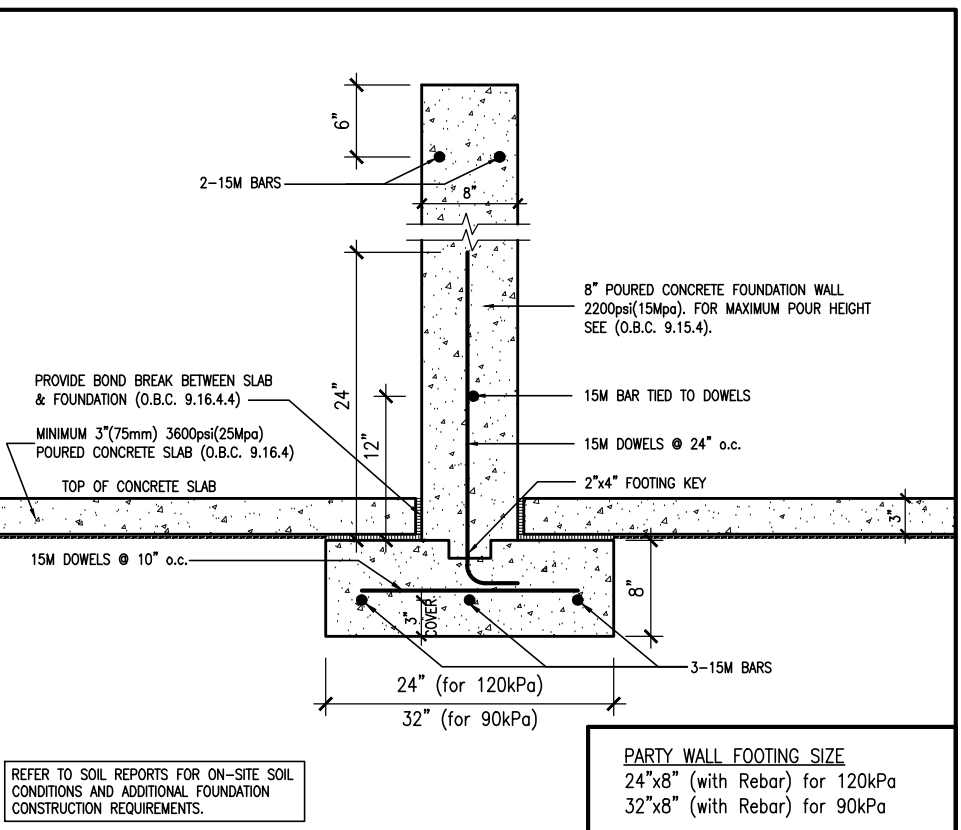
**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT-17-5233  
BUILDING REVIEWED  
SCOTT SHERRIFFS  
APR 24, 2017  
PLANS EXAMINER

**RECEIVED TOWN OF MILTON**  
MAR 29, 2017  
BUILDING DIVISION



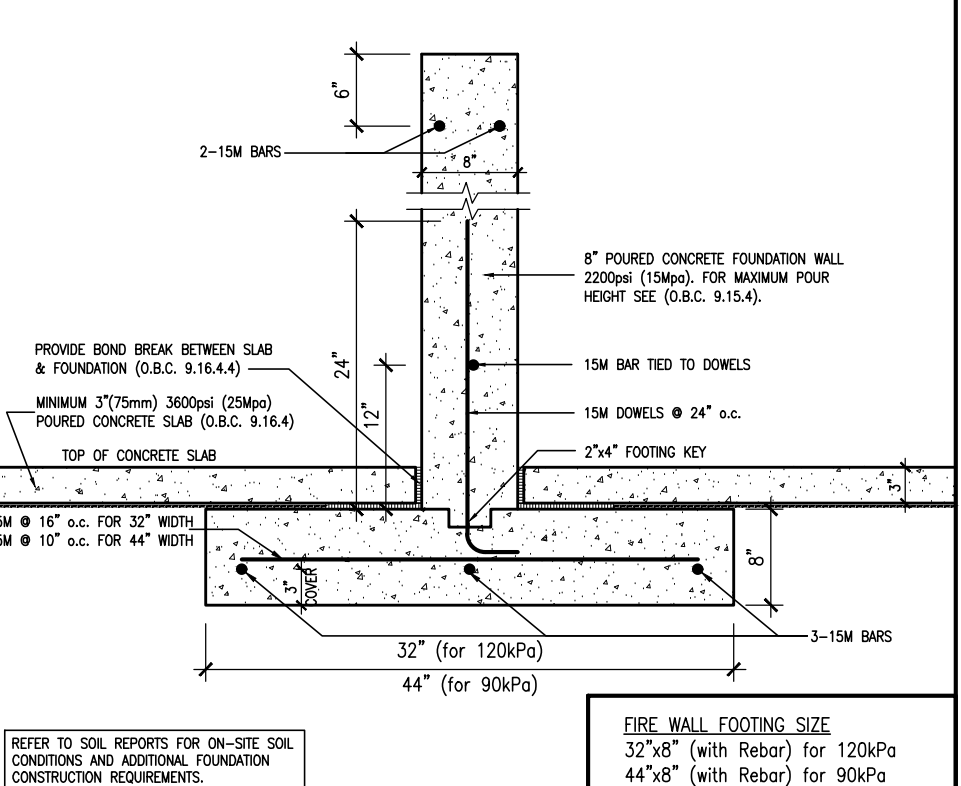
STRUDET INC.  
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**FOUNDATION DAMPROOFING DRAINAGE AND WEeping TILE**  
To be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)



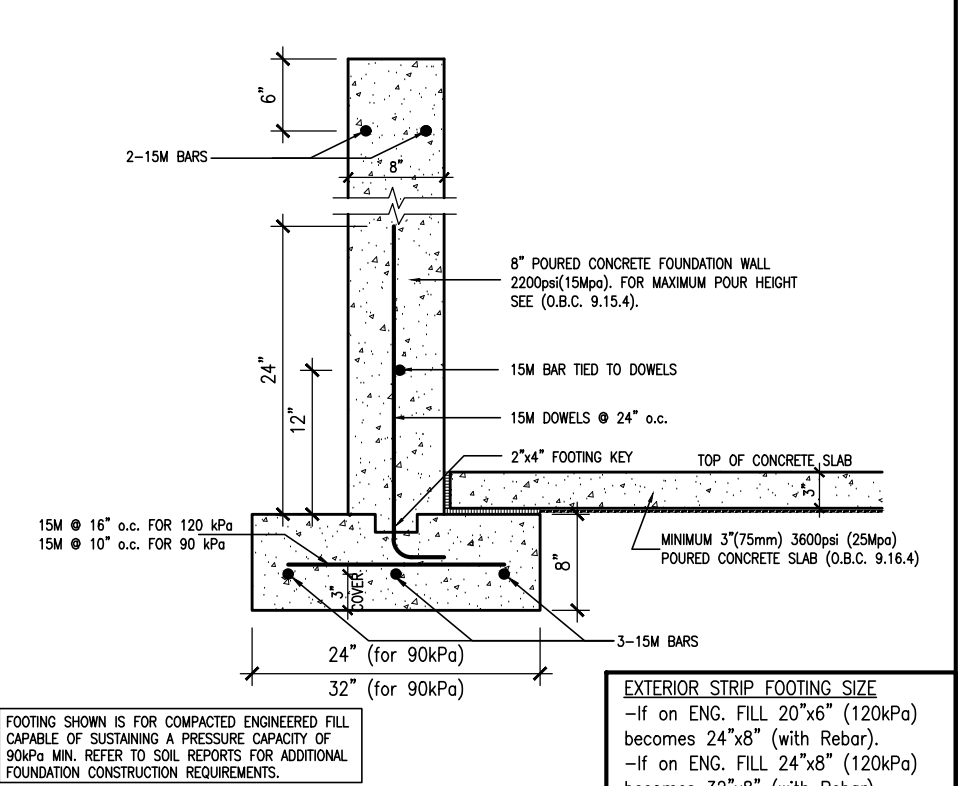
W2a TYPICAL PARTY WALL FOOTING

SCALE: Not to Scale



W2b TYPICAL FIRE WALL FOOTING

SCALE: Not to Scale



W2c EXTERIOR STRIP FOOTING  
(On Engineered Fill) (90KPa. Minimum)

SCALE: Not to Scale

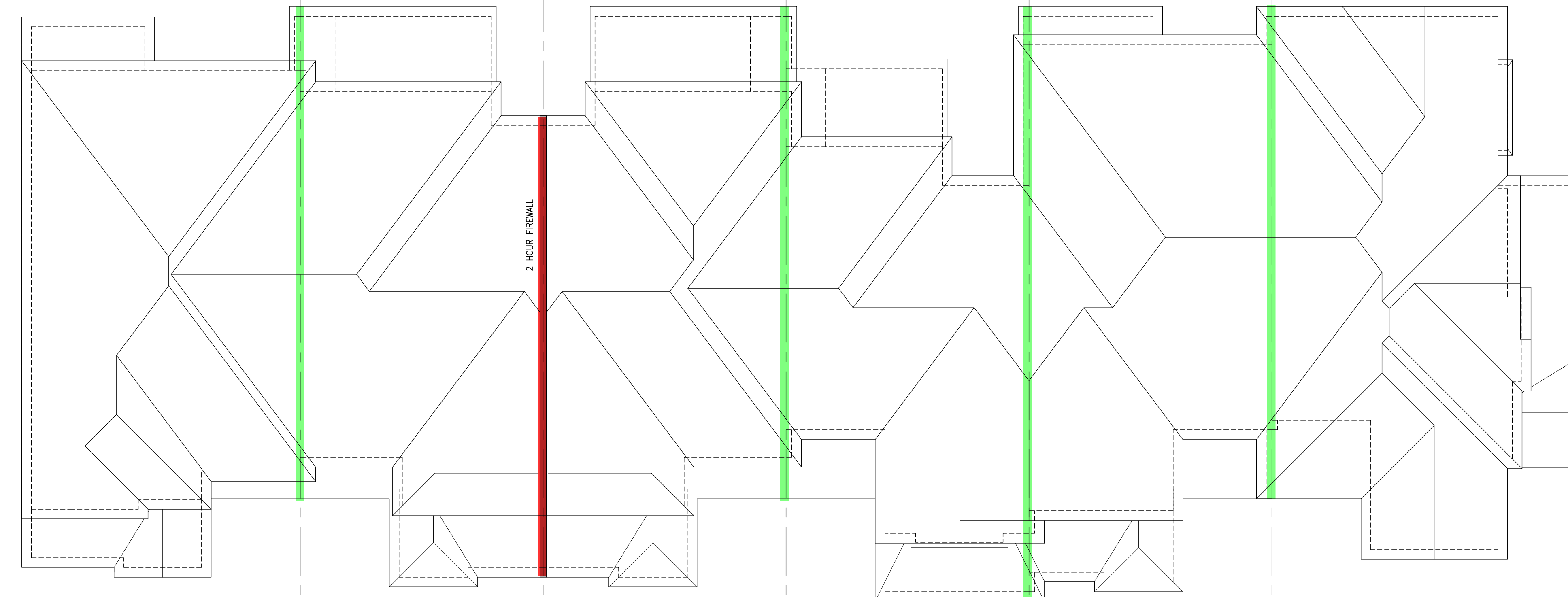
**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications

**BLOCK 338 ELEVATION 3**

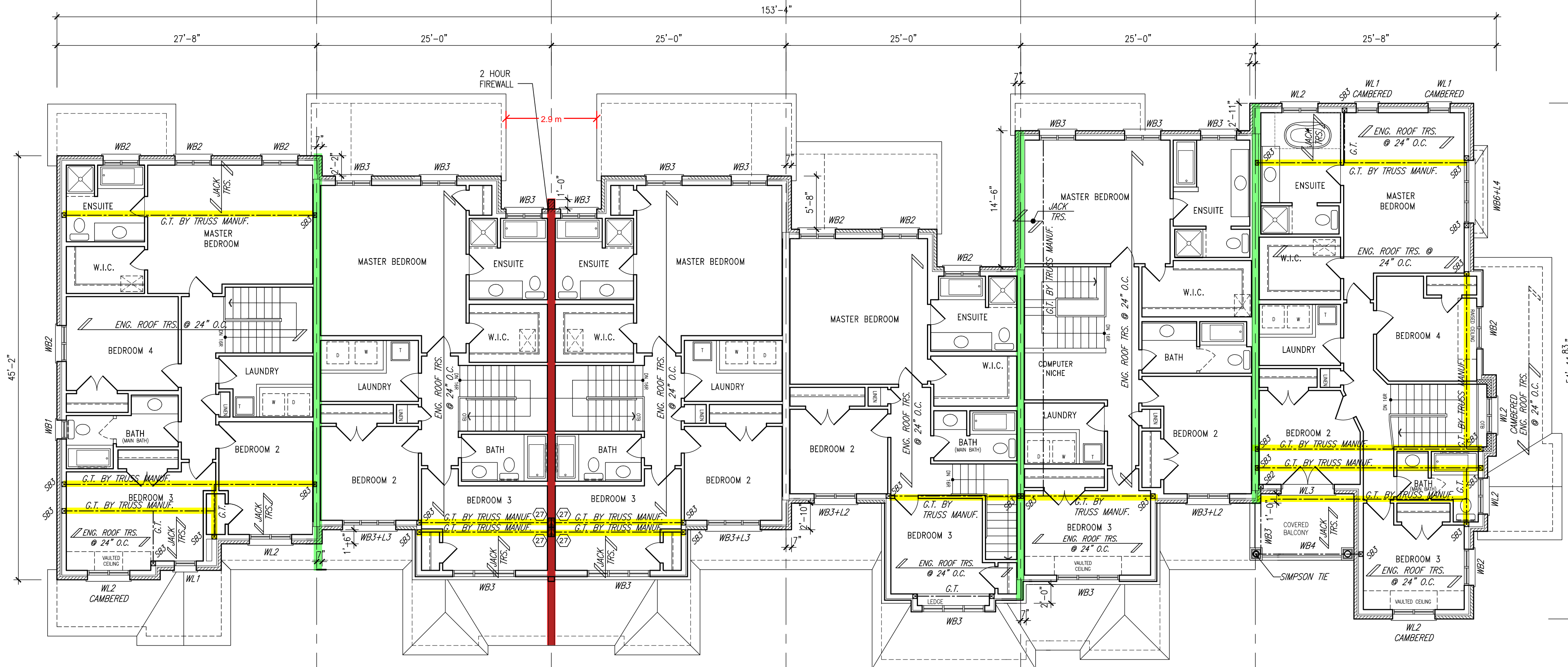
**V3 DESIGN**  
255 Consumers Rd  
Suite 120  
Toronto, ON M2J 1R4  
T 416.630.2255  
F 416.630.4182  
v3design.com

**Greenpark.**  
LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
16015  
BLOCK 338  
BLOCK 338 PLANS  
B1





ROOF PLAN



SECOND FLOOR PLAN

**NOTE:**  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

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**TOWNHOUSE MODELS**  
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model drawings and engineered truss system

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**2 HOUR FIREWALL**  
(NON-COMBUSTIBLE)  
**FIREWALL DETAILS**  
See standard details page 5  
for standard firewall  
construction details

**1 HOUR PARTY WALL**  
(FIRE SEPARATION)  
**PARTY WALL DETAILS**  
See standard details page 4  
for standard party wall  
construction details

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WHEN VENEER CUT IS GREATER  
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CONCRETE FOUNDATION WALL IS  
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**REFER TO INDIVIDUAL UNITS  
FOR THE FOLLOWING**  
-GROUND FLOOR ROOF  
STRUCTURE  
-BASEMENT AND GROUND  
FLOOR LINTELS  
-GROUND FLOOR AND  
SECOND FLOOR STRUCTURE  
-DOUBLE VOLUME WALL  
LOCATION AND DETAILS  
-CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND  
SECOND FLOOR LINTELS  
SHOWN ON BLOCK PLANS

**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF  
OVERLAP OF DEMISING LINE/  
PARTY WALL.

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
MILTON.

**ARCHITECTURAL REVIEW & APPROVAL**  
MAR 20 2017  
John G. Williams, Architect

**REGISTERED PROFESSIONAL ENGINEER**  
B. MARINKOVIC  
PROVINCE OF ONTARIO

**STRUDET INC.**  
FOR STRUCTURE ONLY

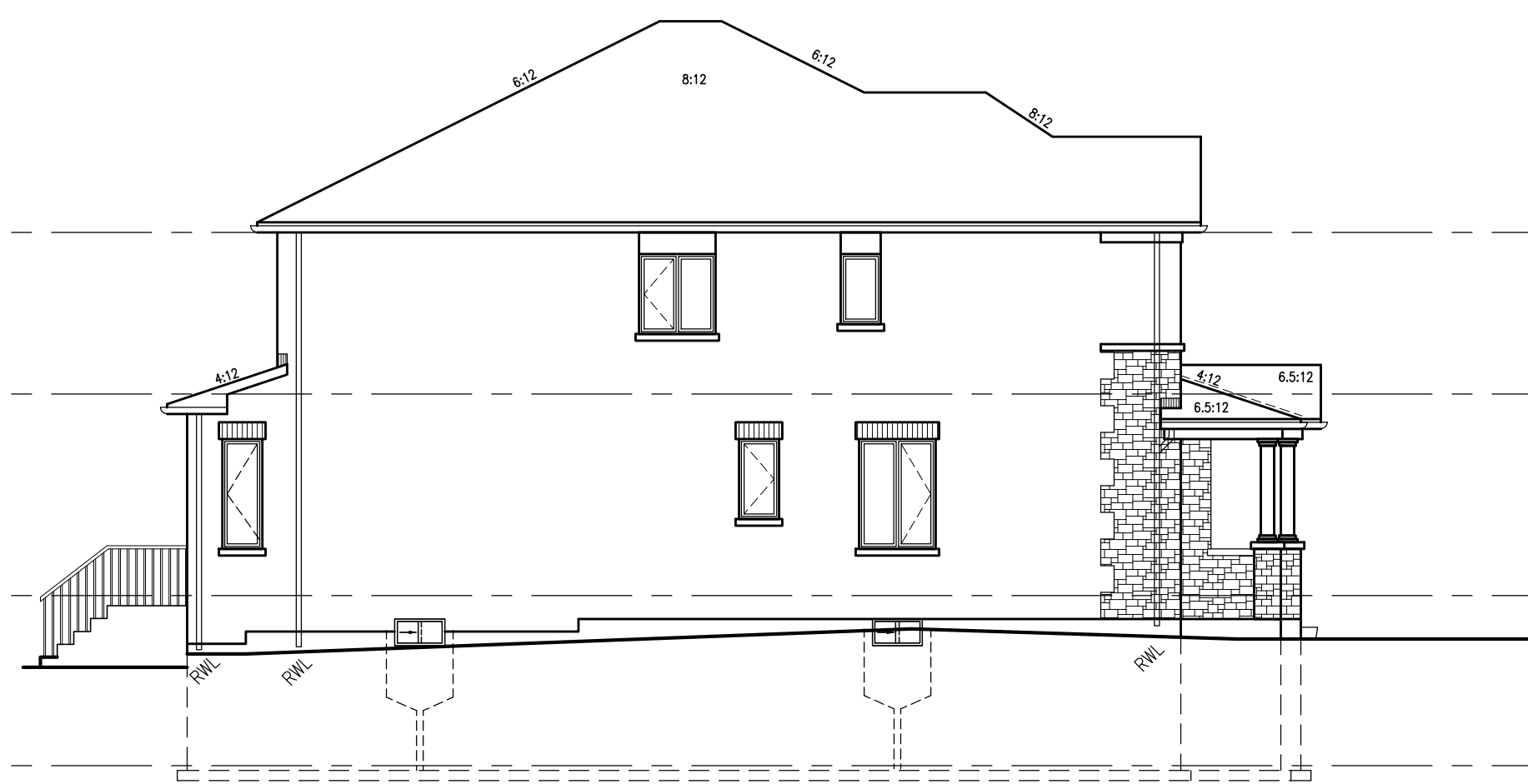
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f 416.630.4182  
vasdesign.com

**Greenpark.**  
LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
16015  
BLOCK 338  
BLOCK 338 PLANS  
SEPTEMBER 2016  
1/8" = 1'-0"

**BLOCK 338  
ELEVATION 3**

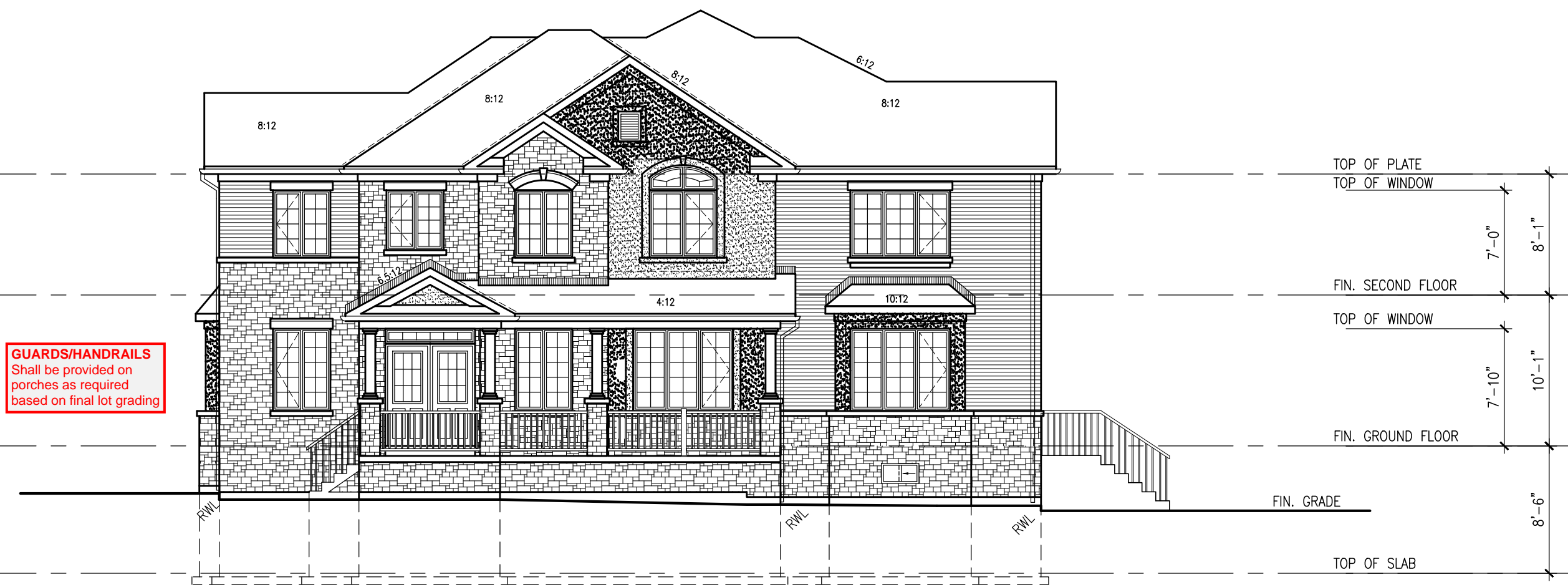
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TOWN OF MILTON  
16015  
BLOCK 338  
BLOCK 338 PLANS  
SEPTEMBER 2016  
1/8" = 1'-0"





338-1 IVY-7E  
ELEV. '3'

LEFT SIDE ELEVATION



338-6 IVY-11  
ELEV. '3' (REV.)

RIGHT SIDE ELEVATION

GUARDS/HANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading

NOTE:  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-5233  
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MAR 29, 2017  
17-5233  
BUILDING DIVISION

GENERAL NOTES/CONSTRUCTION DETAILS  
Reviewed model drawings to be read in  
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construction details and specifications

TOWNHOUSE MODELS  
Reviewed townhouse block drawings to be  
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338-6 IVY-11  
ELEV. '3' (REV.)

338-5 IVY-5  
ELEV. '3'

338-4 IVY-1  
ELEV. '3' (REV.)

338-3 IVY-3  
ELEV. '3'

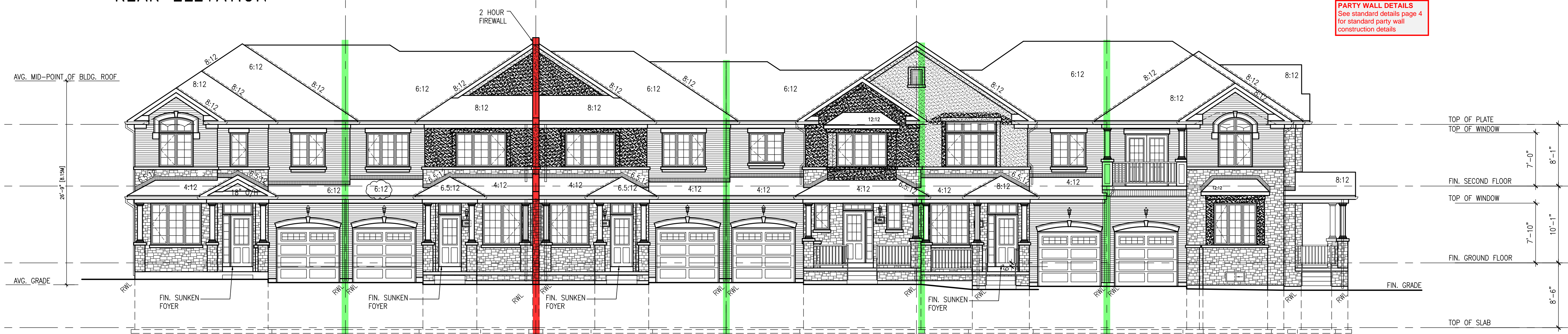
338-2 IVY-3  
ELEV. '3' (REV.)

338-1 IVY-7E  
ELEV. '3'

REAR ELEVATION

2 HOUR FIREWALL  
(NON-COMBUSTIBLE)  
FIREWALL DETAILS  
See standard details page 5  
for standard firewall  
construction details

1 HOUR PARTY WALL  
(FIRE SEPARATION)  
PARTY WALL DETAILS  
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for standard party wall  
construction details



338-1 IVY-7E  
ELEV. '3'

338-2 IVY-3  
ELEV. '3' (REV.)

338-3 IVY-3  
ELEV. '3'

338-4 IVY-1  
ELEV. '3' (REV.)

338-5 IVY-5  
ELEV. '3'

338-6 IVY-11  
ELEV. '3' (REV.)

FRONT ELEVATION

GUARDS/HANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading

BLOCK 338  
ELEVATION 3

It is the builder's complete responsibility to  
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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	ISSUED FOR PERMIT	MAR 01/17	GM
3	ISSUED FOR PERMIT	MAR 01/17	GM
4	ISSUED FOR PERMIT	MAR 01/17	GM
5	ISSUED FOR PERMIT	MAR 01/17	GM
6	ISSUED FOR PERMIT	MAR 01/17	GM
7	ISSUED FOR PERMIT	MAR 01/17	GM
8	ISSUED FOR PERMIT	MAR 01/17	GM
9	ISSUED FOR PERMIT	MAR 01/17	GM
10	ISSUED FOR PERMIT	MAR 01/17	GM

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VA3  
DESIGN

Greenpark.

LECCO RIDGE DEV. INC.

TOWN OF MILTON

IVY SERIES

SEPTEMBER 2016