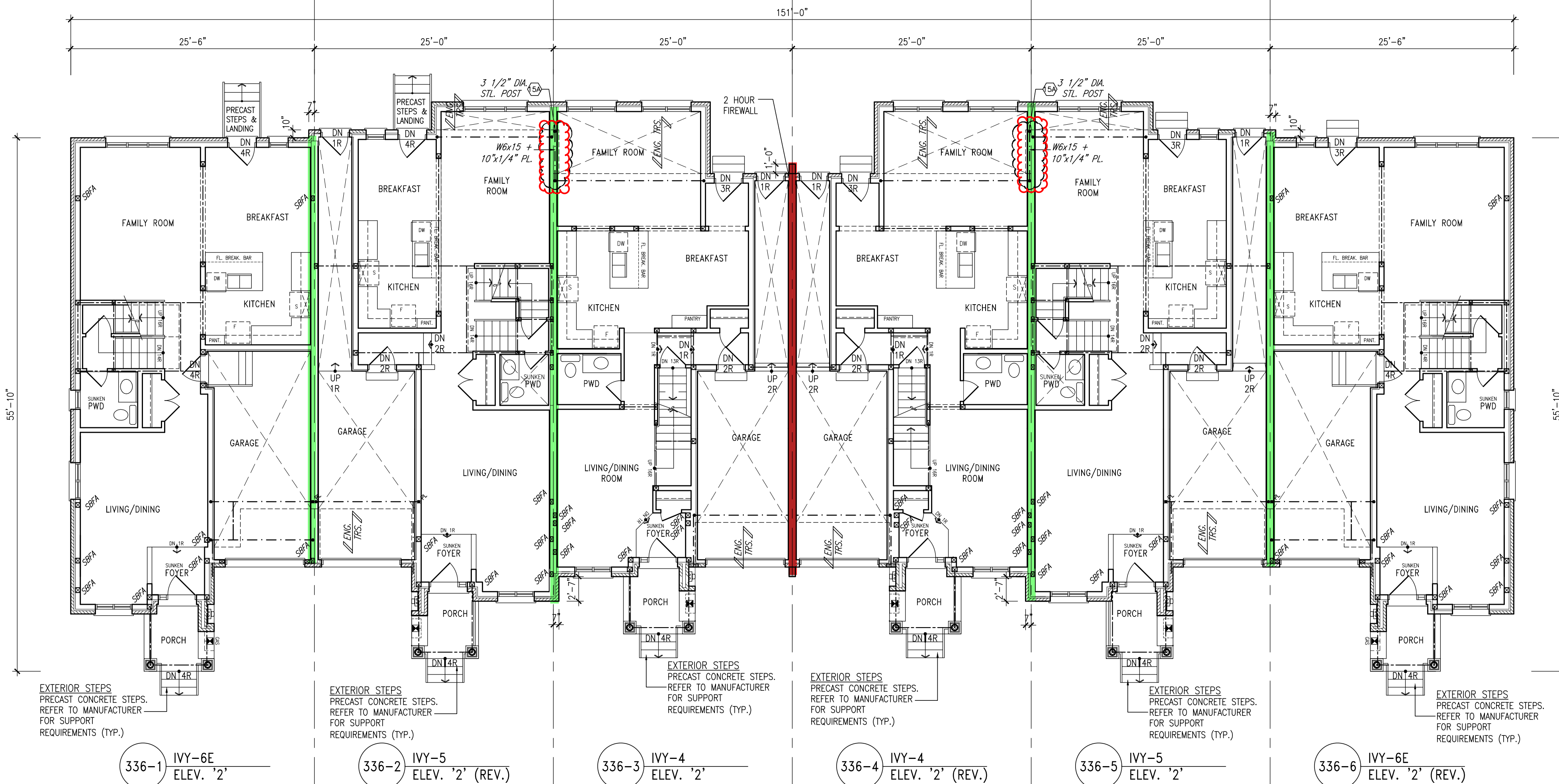
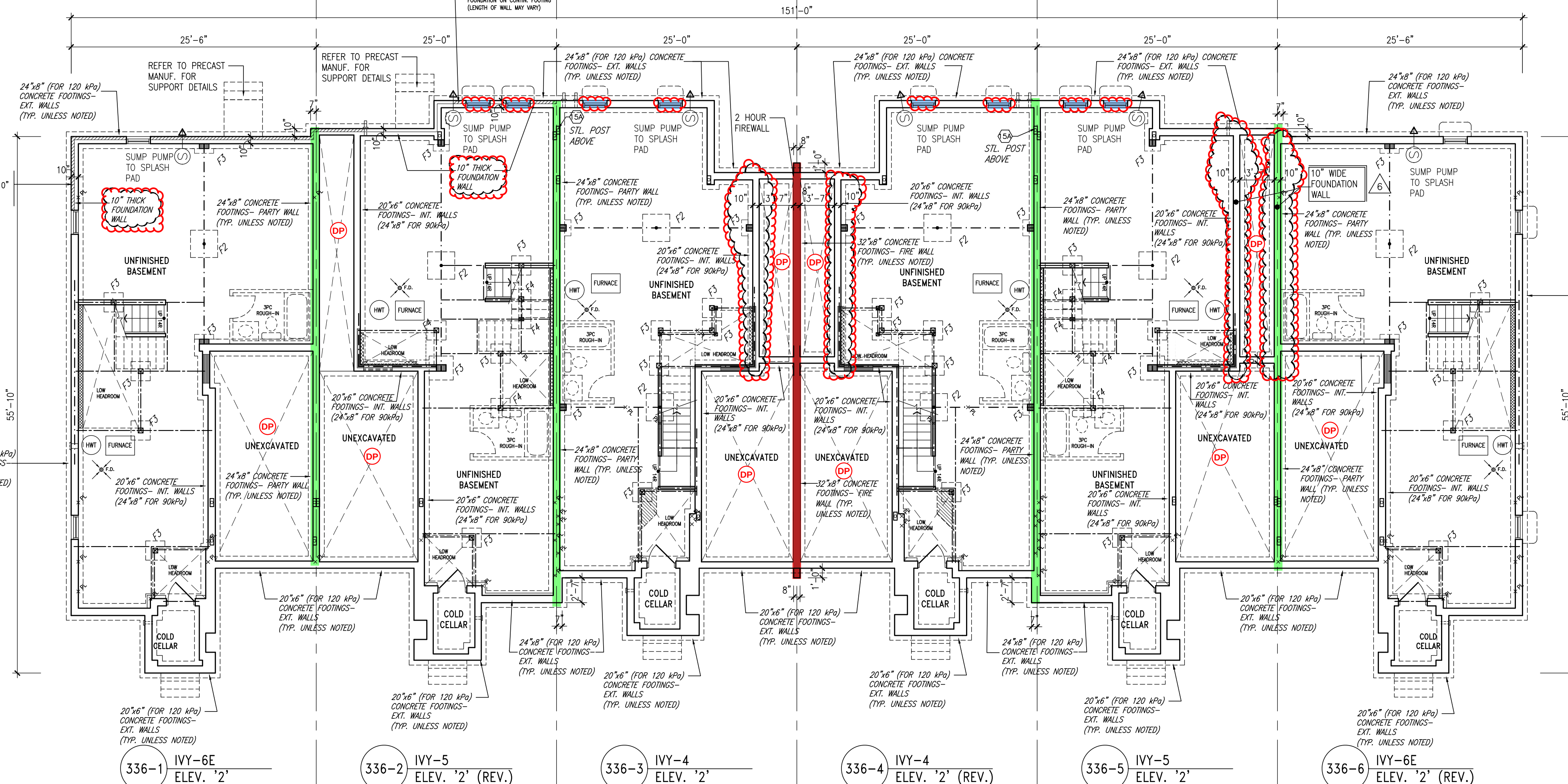




GROUND FLOOR PLAN



BASEMENT PLAN

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

**= 1 HOUR PARTY WALL
(FIRE SEPARATION)**
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

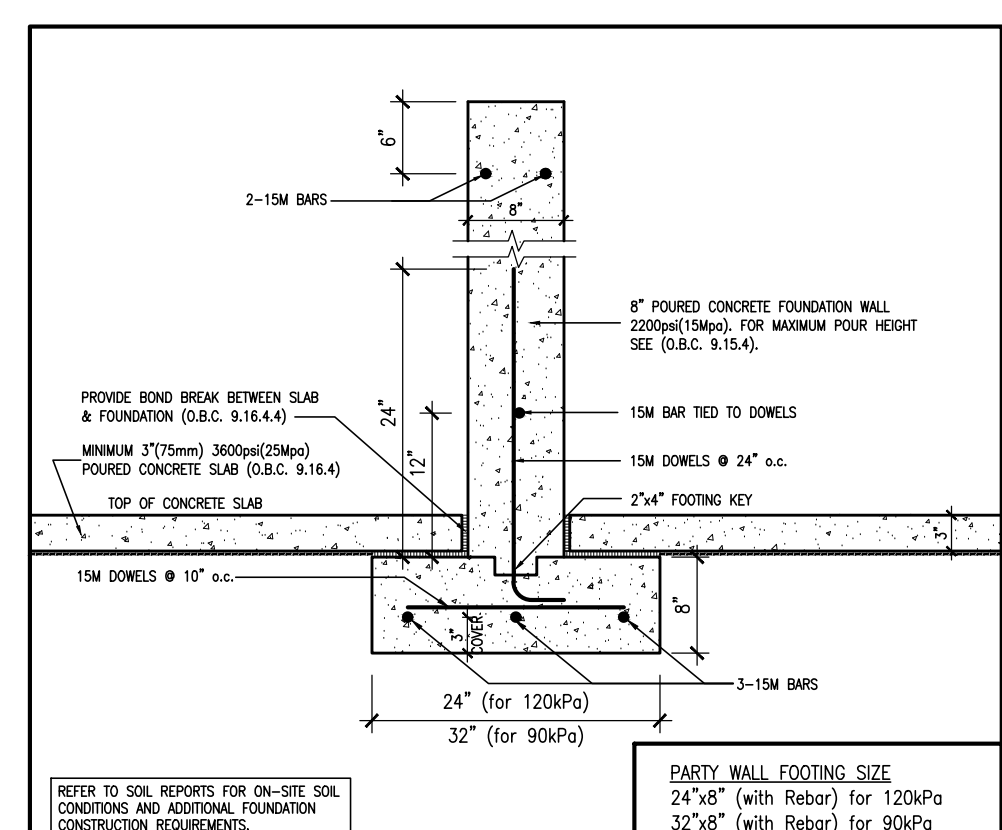
**= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)**
FIREWALL DETAILS
See standard details page 5
for standard fire wall
construction details

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

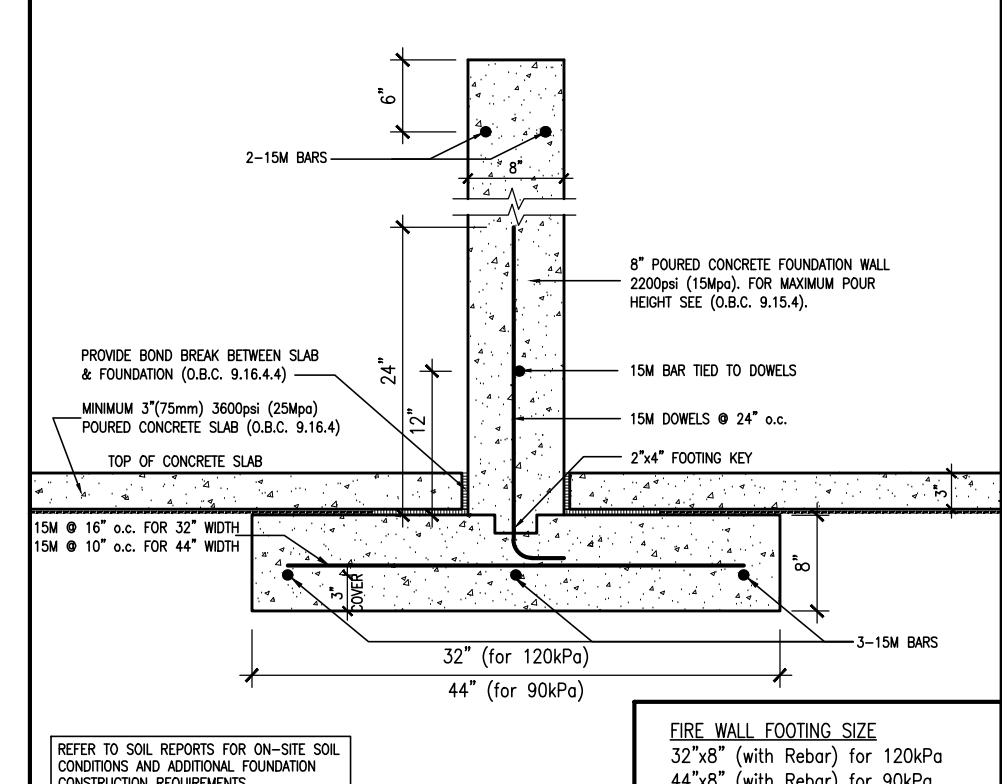
GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
construction details and specifications

**REQUIRED FOUNDATION
REINFORCING**
Refer to reviewed model drawings for
required foundation reinforcing around
window openings for the following models:
IVY 2, IVY 4, IVY 5, AND IVY 7E

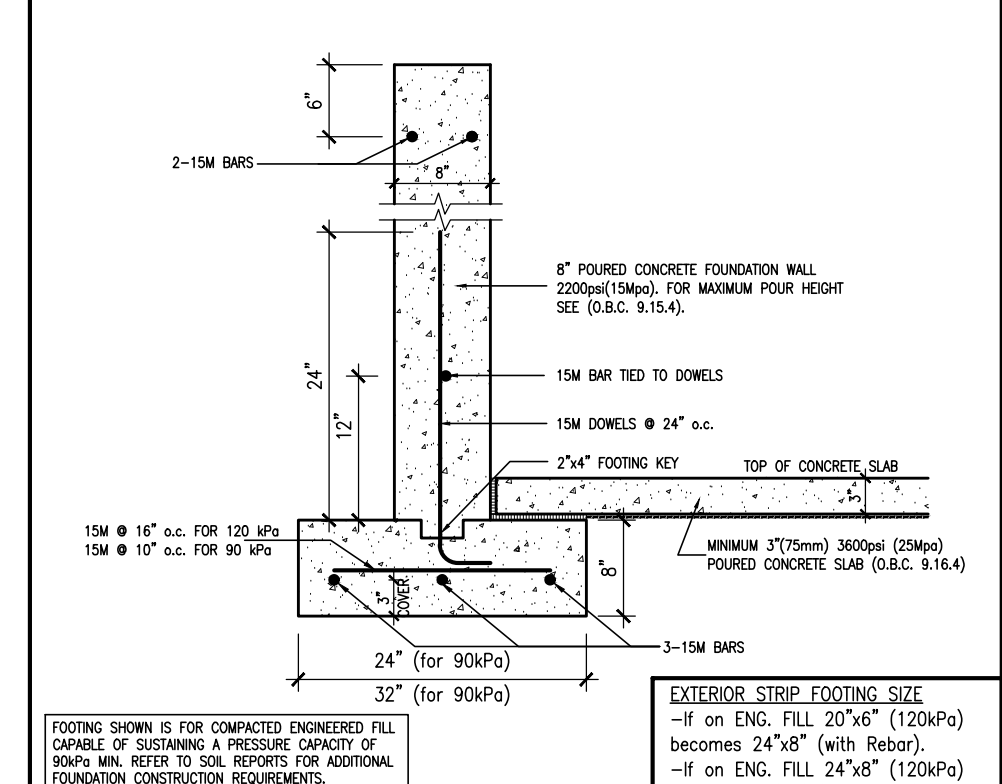
**FOUNDATION DAMPROOFING
DRAINAGE AND WEeping TILE**
to be installed on foundation walls
separating basement space from
unexcavated areas (under porches and
attached garage slabs)



W2a TYPICAL PARTY WALL FOOTING
SCALE: Not to Scale



W2b TYPICAL FIRE WALL FOOTING
SCALE: Not to Scale



W2c EXTERIOR STRIP FOOTING
(On Engineered Fill) (90kPa. Minimum)
SCALE: Not to Scale

BUILDING AREA
7506.67 S.F. (697.39 m²)

PAD FOOTINGS	
120 KPa. NATIVE SOIL	90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kPa/17.4kps SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90kPa/ 13.0kps FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any processes in place for reviewing and approving plans. Architect is not responsible in any way for examining or approving site related plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 02/17	CM
2	ISSUED FOR PERMIT	MAR 02/17	CM
3	ISSUED FOR PERMIT	MAR 02/17	CM
4	ISSUED FOR PERMIT	MAR 02/17	CM
5	ISSUED FOR PERMIT	MAR 02/17	CM
6	ISSUED FOR PERMIT	MAR 02/17	CM
7	ISSUED FOR PERMIT	MAR 02/17	CM
8	ISSUED FOR PERMIT	MAR 02/17	CM
9	ISSUED FOR PERMIT	MAR 02/17	CM
10	ISSUED FOR PERMIT	MAR 02/17	CM

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4182
va3design.com

Greenpark.
LECCO RIDGE DEV. INC.
TOWN OF MILTON
16015
BLOCK 336
ELEVATION 2
B1

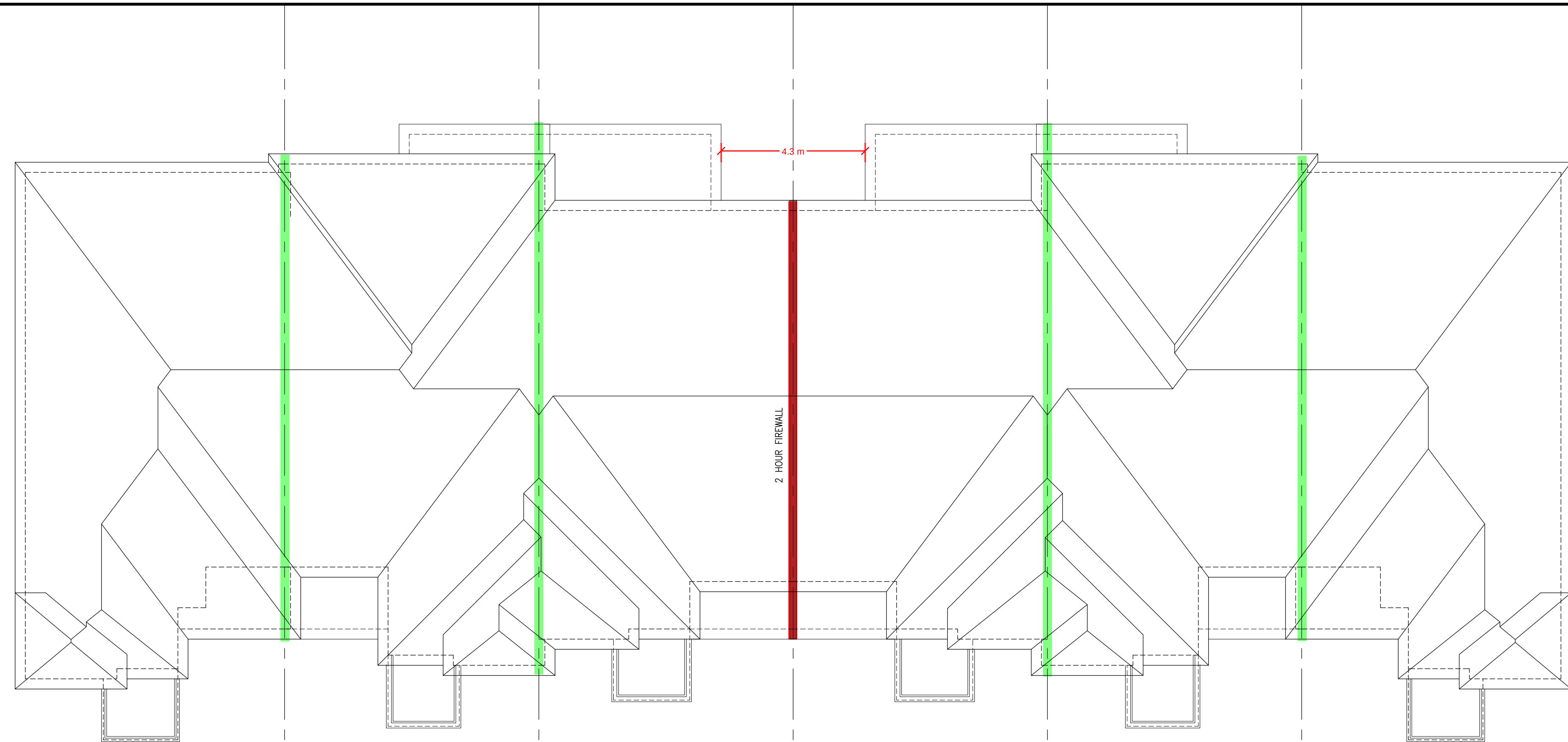


NOTE:
REFER TO GRADING PLAN
FOR NUMBER OF STEPS.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT 17-5215
BUILDING REVIEWED
SCOTT SHERIFFS
APR 24, 2017
DATE

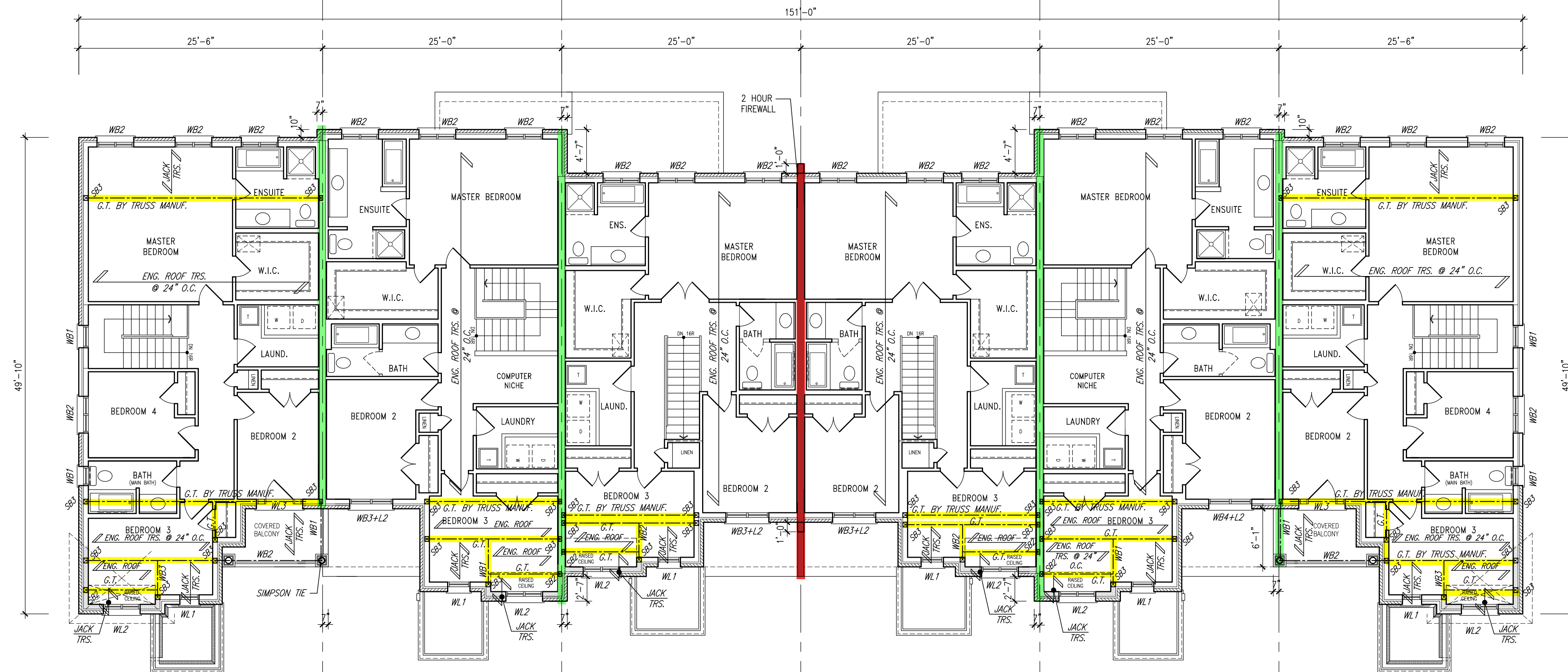
RECEIVED TOWN OF MILTON
MAR 29, 2017
17-5215
BUILDING DIVISION

**BLOCK 336
ELEVATION 2**



336-1 IVY-6E ELEV. '2'
336-2 IVY-5 ELEV. '2' (REV.)
336-3 IVY-4 ELEV. '2'
336-4 IVY-4 ELEV. '2' (REV.)
336-5 IVY-5 ELEV. '2'
336-6 IVY-6E ELEV. '2' (REV.)

ROOF PLAN



336-1 IVY-6E ELEV. '2'
336-2 IVY-5 ELEV. '2' (REV.)
336-3 IVY-4 ELEV. '2'
336-4 IVY-4 ELEV. '2' (REV.)
336-5 IVY-5 ELEV. '2'
336-6 IVY-6E ELEV. '2' (REV.)

SECOND FLOOR PLAN

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5215
BUILDING REVIEWED
SCOTT SHERRIFFS
APR 24, 2017
PLEASE EXAMINE
neither the issuance of a permit nor carrying out of
inspection by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
regulations and regulations of the Province of Ontario.
By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5215
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
construction details and specifications

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details



**BLOCK 336
ELEVATION 2**

PAD FOOTINGS
120 KPa, NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
90 KPa, ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS
OTHERWISE NOTED).
24"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH
REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kpa SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/ 13.0kpa FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**

- GROUND FLOOR ROOF
STRUCTURE
- BASEMENT AND GROUND
FLOOR LINTELS
- GROUND FLOOR AND
SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL
LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any processes
in the building agreement.
The Architect is not responsible in any way for
examining or approving site, field plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.
This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
Milton.
ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Licensed Architect

10			
9			
8			
7			
6			
5	ISSUED FOR PERMIT	MAR 01/17	GM
4	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GM
3	ISSUED FOR PRICING	JAN 17/17	GM
2	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GM
1	ISSUED FOR CLIENT REVIEW		
0	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the
Designer before proceeding with the work. All drawings and specifications are
instruments of service and the property of the architect which must be returned at
the completion of the work. Drawings are not to be copied.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4182
v3design.com

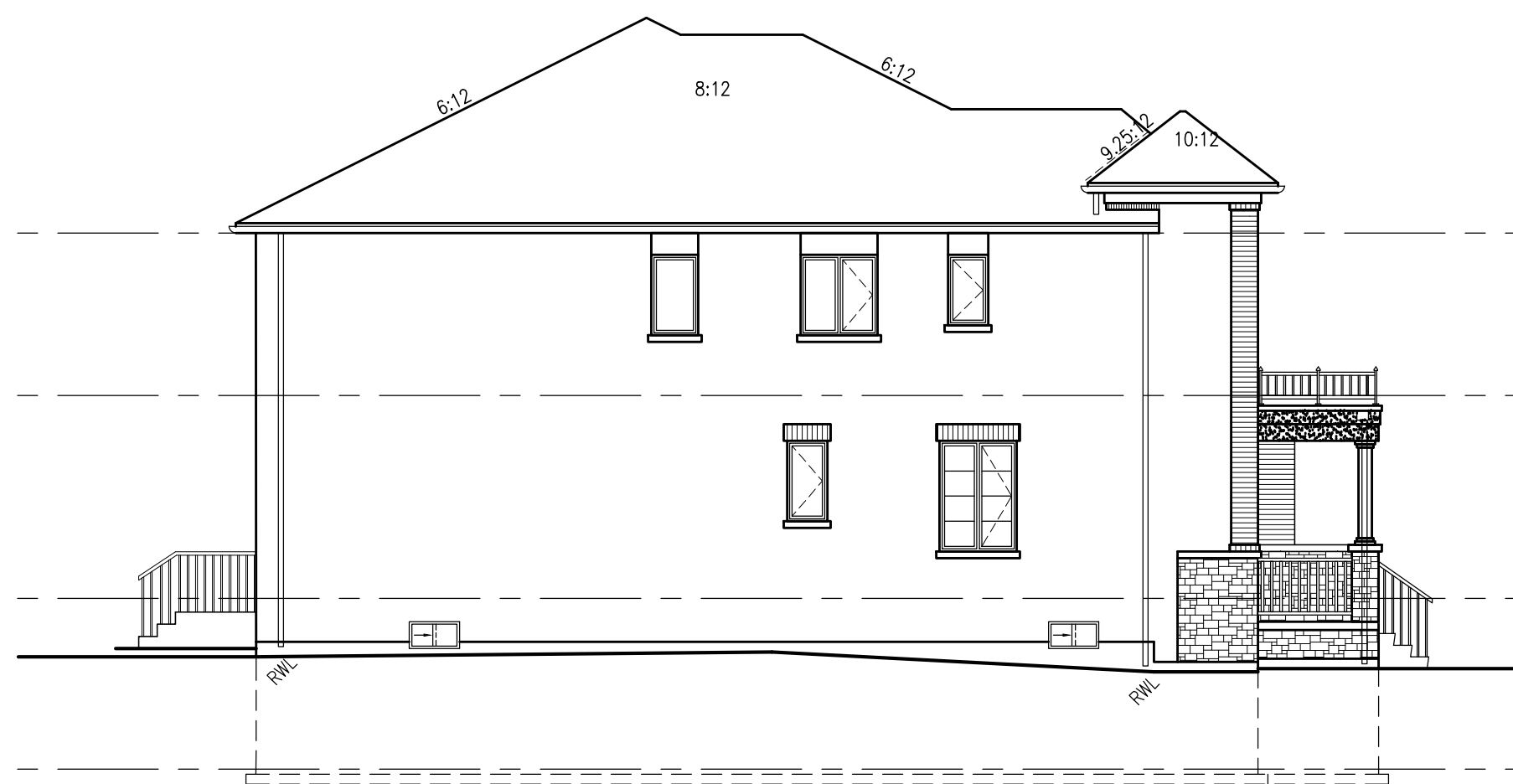
All drawings, specifications, related
documents and design are the
copyright property of V3 DESIGN.
Reproduction of this property in
whole or in part is strictly
prohibited without V3 DESIGN's
written permission.
The architect has reviewed and taken responsibility for the design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
signature
Richard Vink
24488
signature
V3 Design Inc.
42488

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
TOWN OF MILTON
16015

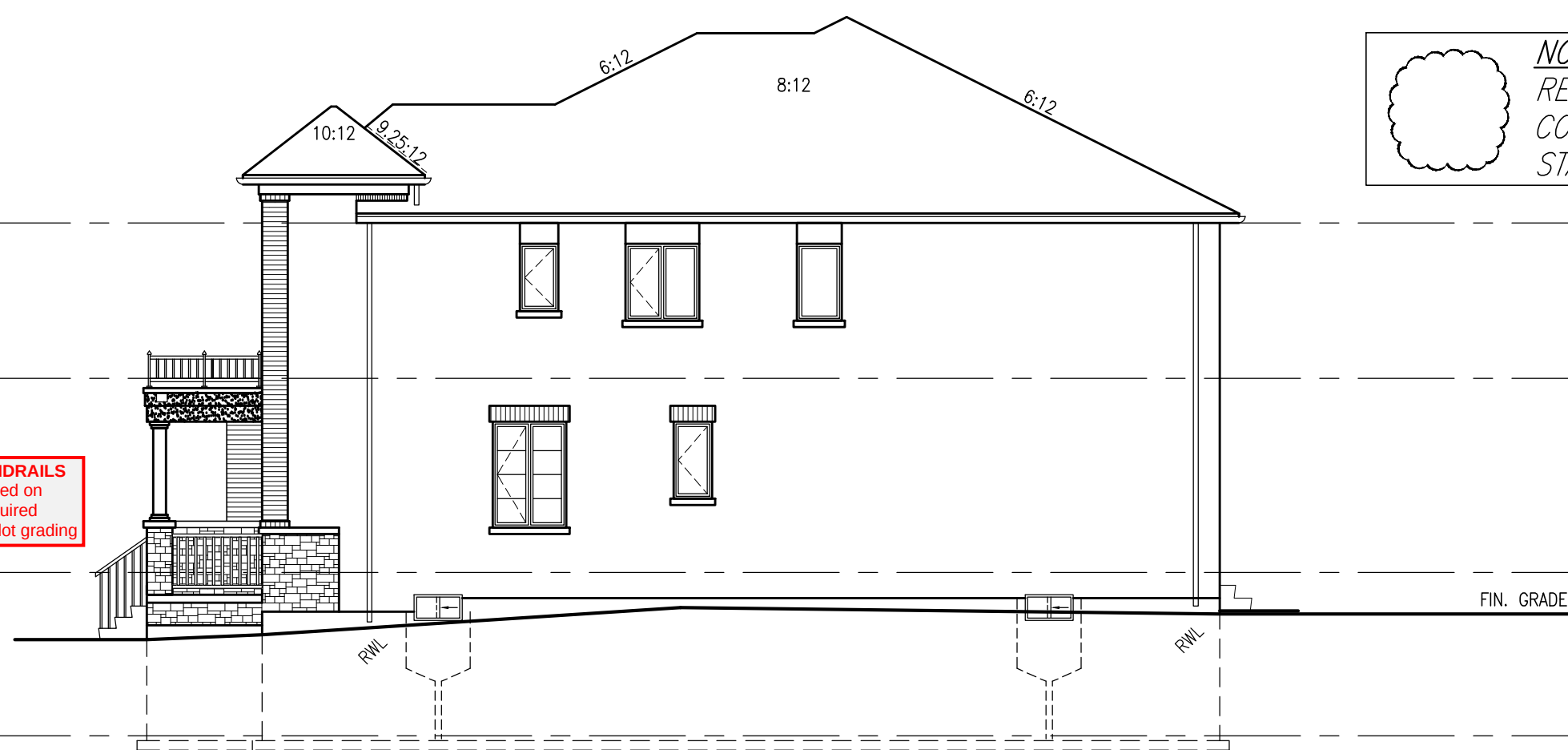
IVY SERIES
BLOCK 336
BLOCK 336 PLANS

DATE
SEPTEMBER 2016
drawn by
checked by
1/8" = 1'-0"
16015-BLOCK-336



336-1 IVY-6E
ELEV. '2'

LEFT SIDE ELEVATION



336-6 IVY-6E
ELEV. '2' (REV.)

RIGHT SIDE ELEVATION

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOP OF PLATE
TOP OF WINDOW
7'-0"
8'-1"
FIN. SECOND FLOOR
TOP OF WINDOW
7'-10"
10'-1"
FIN. GROUND FLOOR
8'-6"

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5215
BUILDING REVIEWED
SCOTT SHERRIFFS APR 24, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton releases the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario.
By Name of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5215
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications



336-6 IVY-6E
ELEV. '2' (REV.)

336-5 IVY-5
ELEV. '2'

336-4 IVY-4
ELEV. '2' (REV.)

336-3 IVY-4
ELEV. '2'

336-2 IVY-5
ELEV. '2' (REV.)

336-1 IVY-6E
ELEV. '2'

REAR ELEVATION

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details



336-1 IVY-6E
ELEV. '2'

336-2 IVY-5
ELEV. '2' (REV.)

336-3 IVY-4
ELEV. '2'

336-4 IVY-4
ELEV. '2' (REV.)

336-5 IVY-5
ELEV. '2'

336-6 IVY-6E
ELEV. '2' (REV.)

FRONT ELEVATION

GUARDSHANDRAILS
Shall be provided on
porches as required
based on final lot grading

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Contractor
Architect is not responsible in any way for
examining or approving site related plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	CM
2	ISSUED FOR PERMIT	MAR 01/17	CM
3	ISSUED FOR PERMIT	MAR 01/17	CM
4	ISSUED FOR PERMIT	MAR 01/17	CM
5	ISSUED FOR PERMIT	MAR 01/17	CM
6	ISSUED FOR PERMIT	MAR 01/17	CM
7	ISSUED FOR PERMIT	MAR 01/17	CM
8	ISSUED FOR PERMIT	MAR 01/17	CM
9	ISSUED FOR PERMIT	MAR 01/17	CM
10	ISSUED FOR PERMIT	MAR 01/17	CM

Contractor must verify all dimensions on the job and report any discrepancy to the
Designer before proceeding with the work. All drawings and specifications are
instruments of service and the property of the architect which must be returned at
the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
vasdesign.com

Greenpark.

LECCO RIDGE DEV. INC.
TOWN OF MILTON
16015

IVY SERIES
BLOCK 336
BLOCK 336 ELEVATIONS

SEPTEMBER 2016
1/8" = 1'-0"
B3