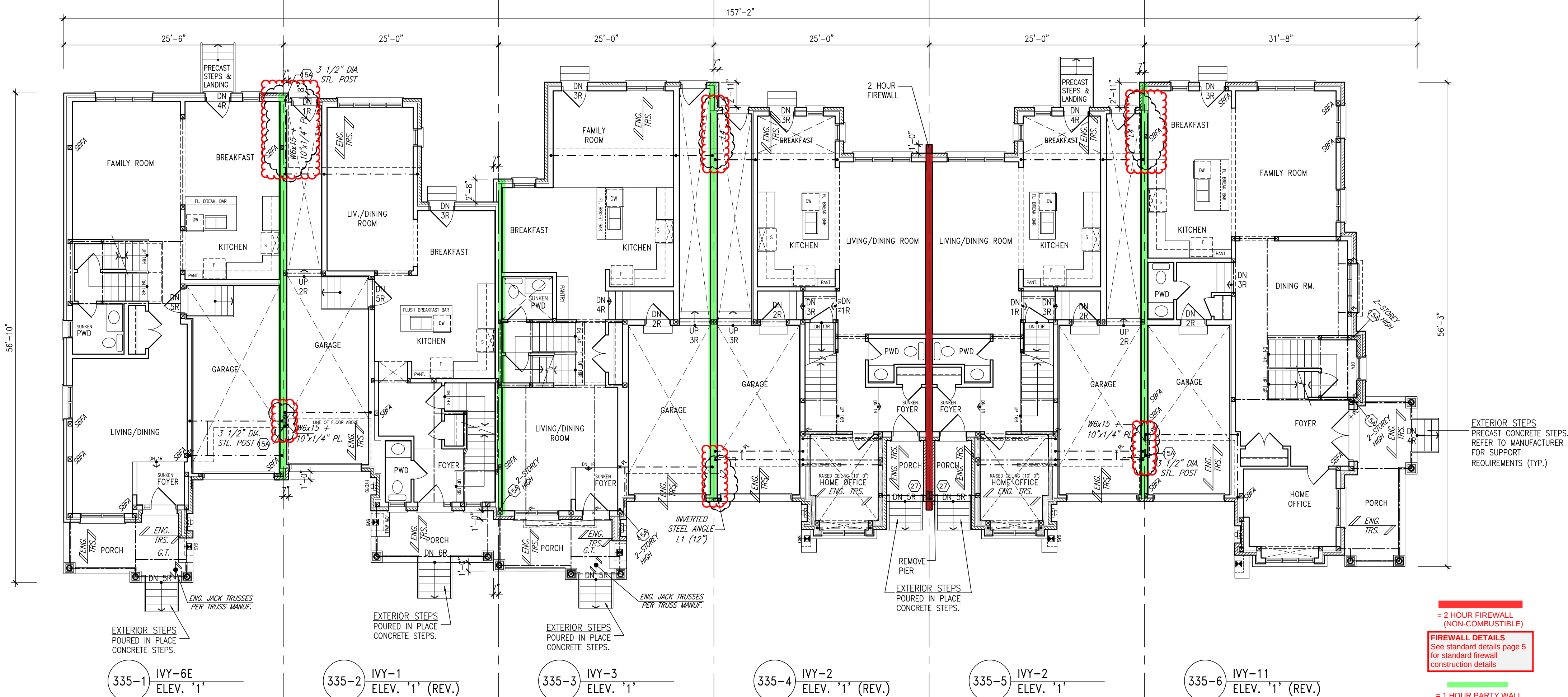
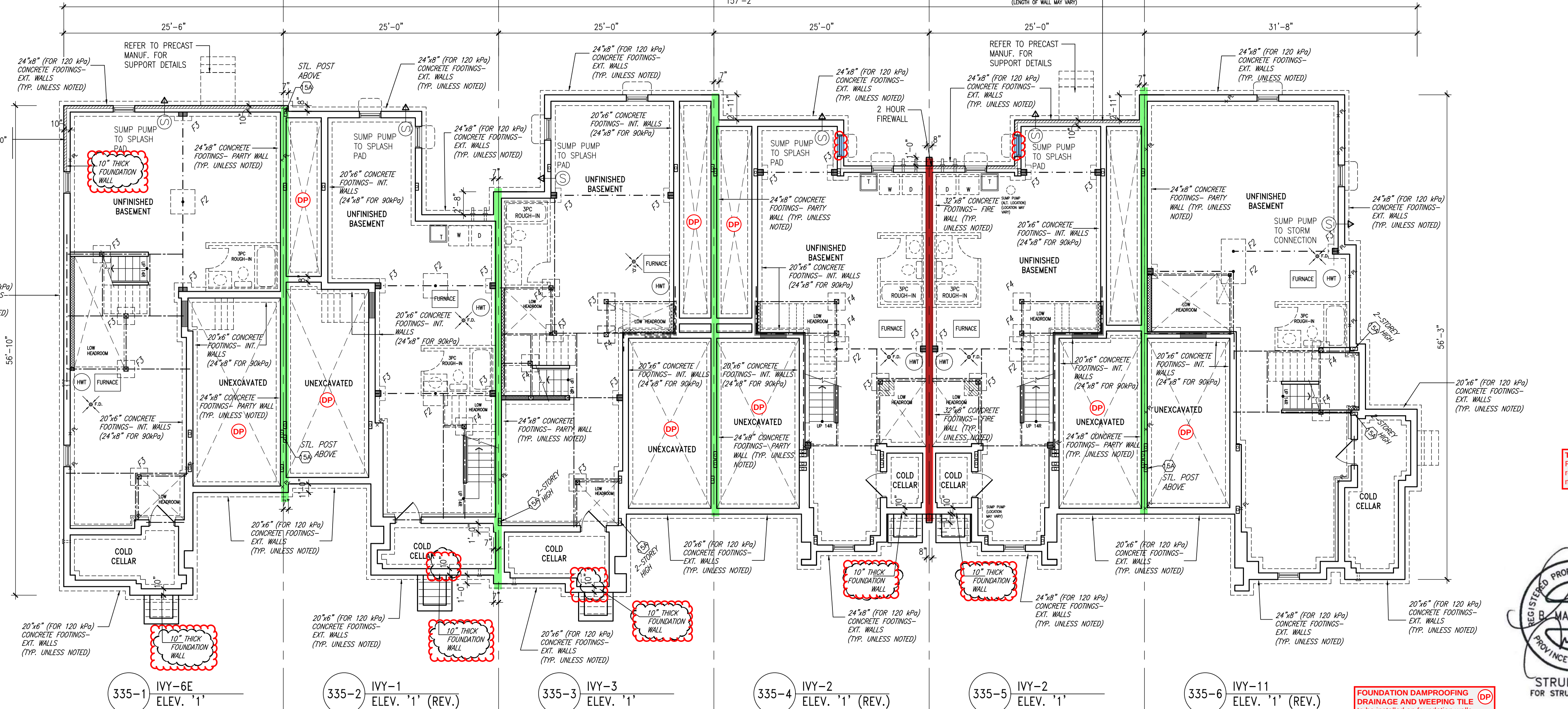


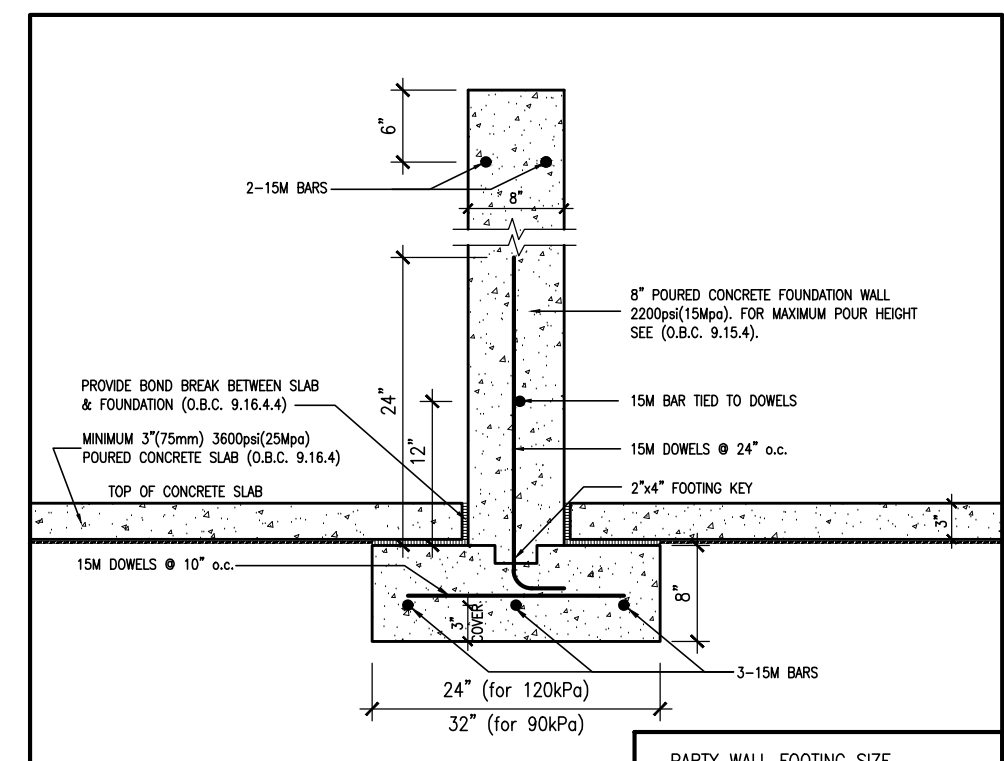


GROUND FLOOR PLAN

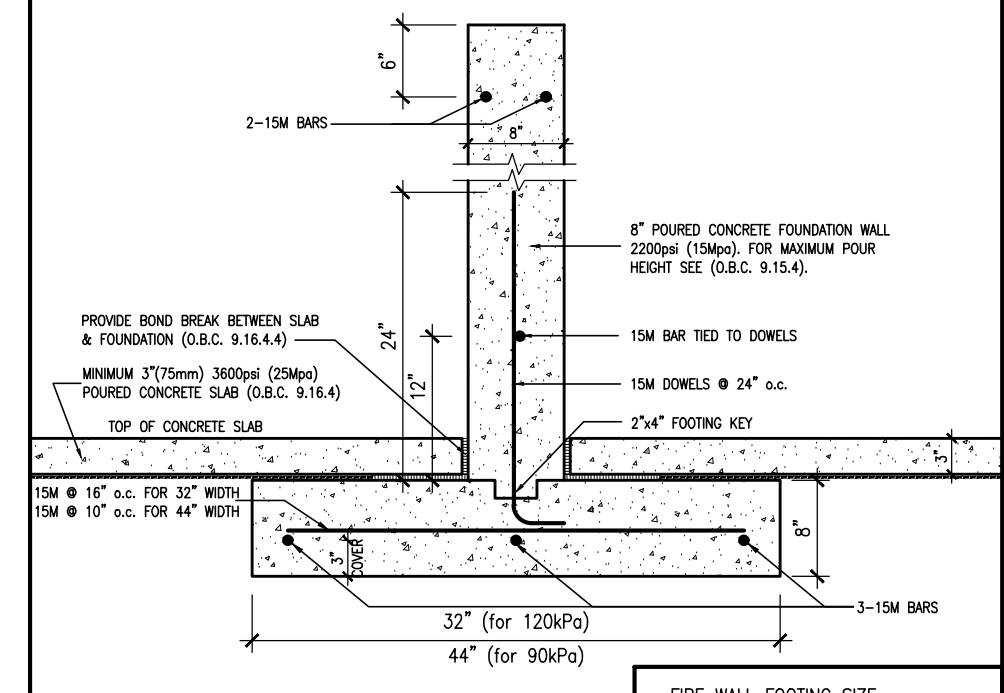


BASMENT PLAN

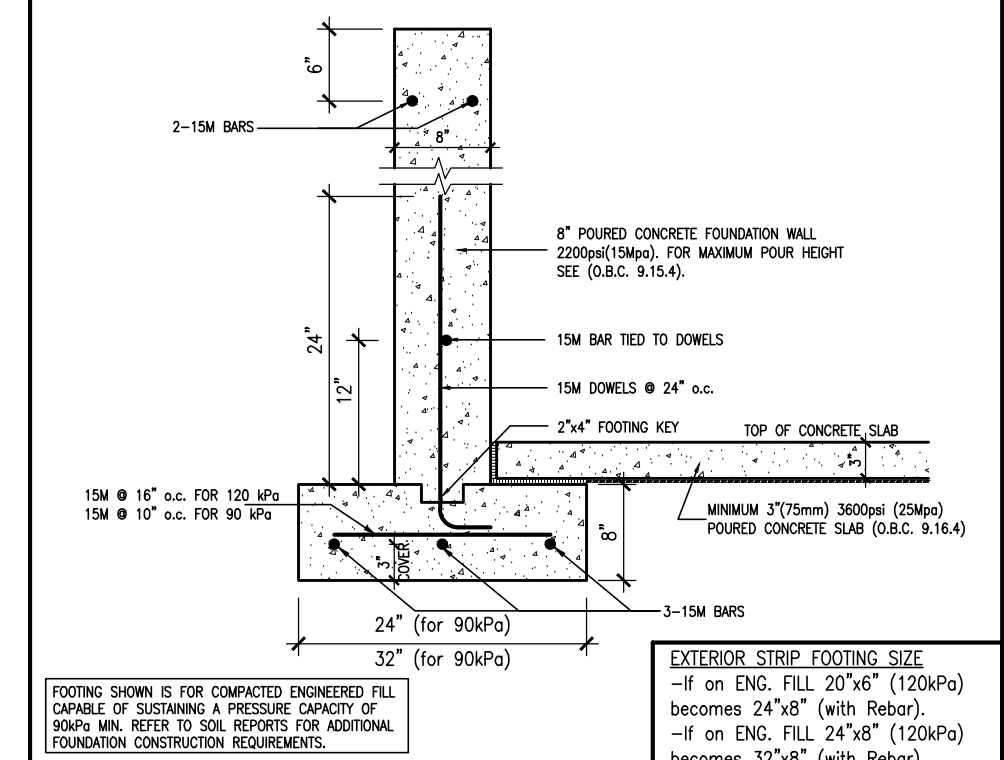
NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



W2a TYPICAL PARTY WALL FOOTING



W2b TYPICAL FIRE WALL FOOTING



W2c EXTERIOR STRIP FOOTING

TOWNHOUSE MODELS
Reviewed drawings to be read in
conjunction with reviewed townhouse
model drawings and engineered truss system

NOTE:
REFER TO GRADING PLAN
FOR NUMBER OF STEPS.

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5187
BUILDING REVIEWED
SCOTT SHERIFFS APR 24, 2017
PLANS EXAMINER
DATE
RECEIVED TOWN OF MILTON
MAR 29, 2017
BUILDING DIVISION

STRUDET INC.
FOR STRUCTURE ONLY

REQUIRED FOUNDATION
REINFORCING
Refer to reviewed model drawings for
required foundation reinforcing around
window openings for the following models:
IVY 2, IVY 4, IVY 5, AND IVY 11

BUILDING AREA
7420.83 S.F. (689.41 m²)

PAD FOOTINGS
120 KPa, NATIVE SOIL
F1 = 42'x42'x18" CONCRETE PAD
F2 = 36'x36'x18" CONCRETE PAD
F3 = 30'x30'x12" CONCRETE PAD
F4 = 24'x24'x12" CONCRETE PAD
F5 = 18'x18'x8" CONCRETE PAD
90 KPa, ENGINEERED FILL SOIL
F1 = 48'x48'x20" CONCRETE PAD
F2 = 40'x40'x16" CONCRETE PAD
F3 = 34'x34'x14" CONCRETE PAD
F4 = 28'x28'x12" CONCRETE PAD
F5 = 18'x18'x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa)
20'x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24'x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24'x8" CONCRETE STRIP FOOTINGS (WITH REINFC) BELOW PARTY WALLS
32'x8" CONCRETE STRIP FOOTINGS (WITH REINFC) BELOW FIRE WALLS
FOOTINGS ON ENGINEERED FILL (90 KPa)
24'x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32'x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)
32'x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
44'x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT)
ASSUME 120KPa/17.4kg/sq SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/13.0kg/sq FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Council Architectural Review Board may conduct an inspection of the work with respect to any zoning or building code or permit matter or that any house can be properly built in accordance with the guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 2/0 2017
John G. Williams, Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	REV. AS PER GRADING CHANGE	JAN 31/17	WT
3	ISSUED FOR PERMIT	JAN 17/17	GM
4	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	WT
5	ISSUED FOR CLIENT REVIEW		

255 Consumers Rd
Suite 120
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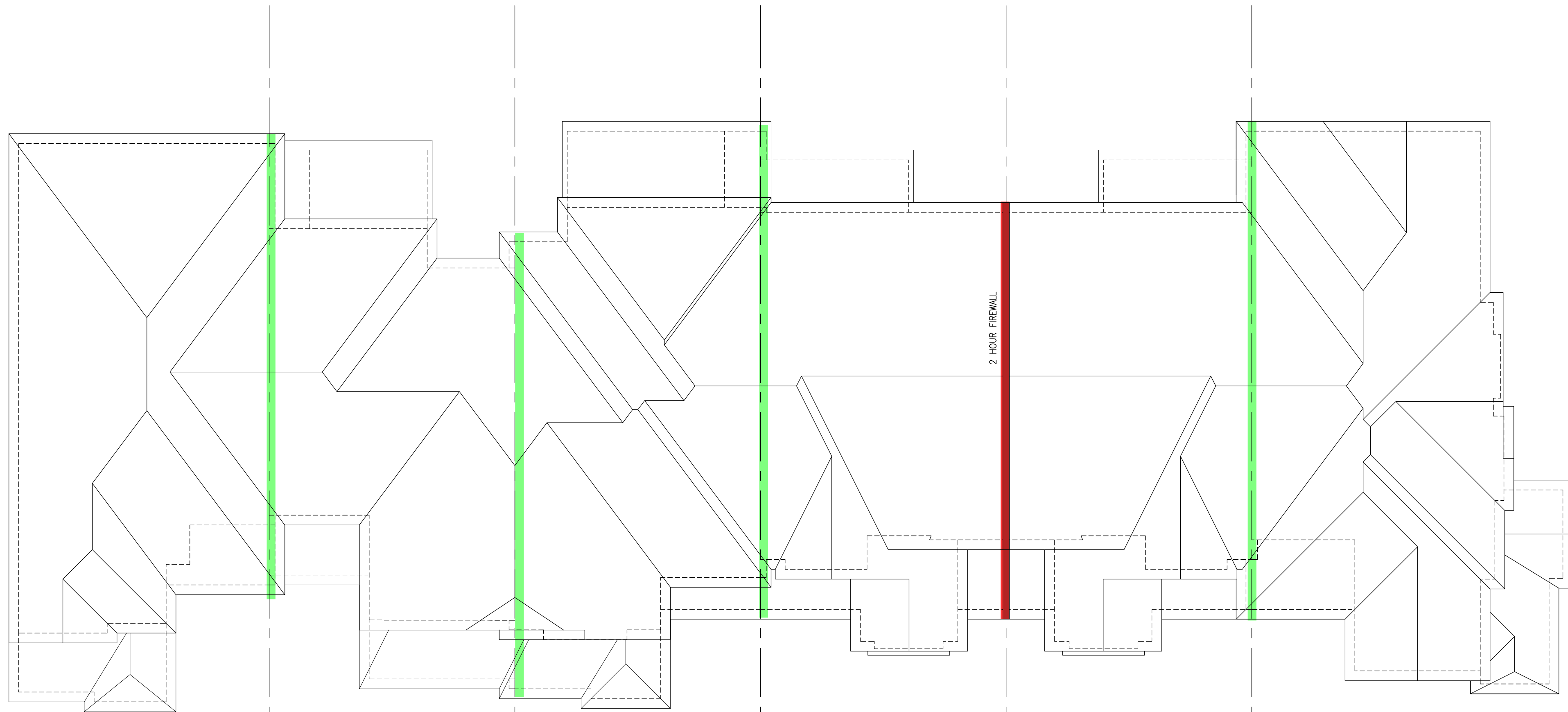
Greenpark.

LECCO RIDGE DEV. INC.

TOWN OF MILTON

IVY SERIES

BLOCK 335
ELEVATION 1



335-1 IVY-6E
ELEV. '1'

335-2 IVY-1
ELEV. '1' (REV.)

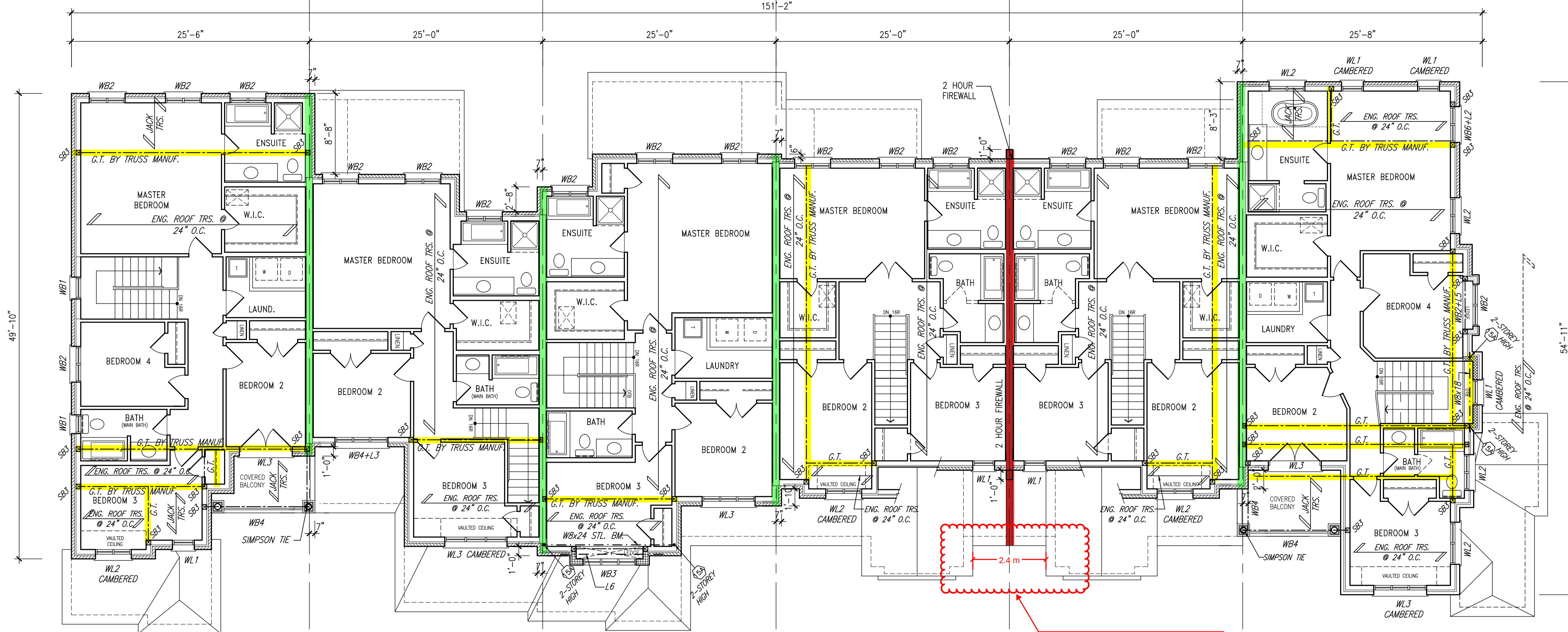
335-3 IVY-3
ELEV. '1'

335-4 IVY-2
ELEV. '1' (REV.)

335-5 IVY-2
ELEV. '1'

335-6 IVY-11
ELEV. '1' (REV.)

ROOF PLAN



335-1 IVY-6E
ELEV. '1'

335-2 IVY-1
ELEV. '1' (REV.)

335-3 IVY-3
ELEV. '1'

335-4 IVY-2
ELEV. '1' (REV.)

335-5 IVY-2
ELEV. '1'

335-6 IVY-11
ELEV. '1' (REV.)

SECOND FLOOR PLAN

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5187
BUILDING REVIEWED
SCOTT SHERRIFFS
DATE
APR 24, 2017

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5187
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

GUARDSHANDRAILS
Shall be provided on
porches as required
based on final lot grading

PAD FOOTINGS
120 KPa, NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
90 KPa, ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS
OTHERWISE NOTED).
24"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH
REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4qpa SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/ 13.0qpa FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements.
Including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	GW
2	REV. AS PER GRADING CHANGE	JAN 31/17	WT
3	ISSUED FOR PRICING	JAN 17/17	GW
4	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GW
5	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the
Designer before proceeding with the work. All drawings and specifications are
instruments of service and the property of the architect which must be returned at
the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
v3design.com

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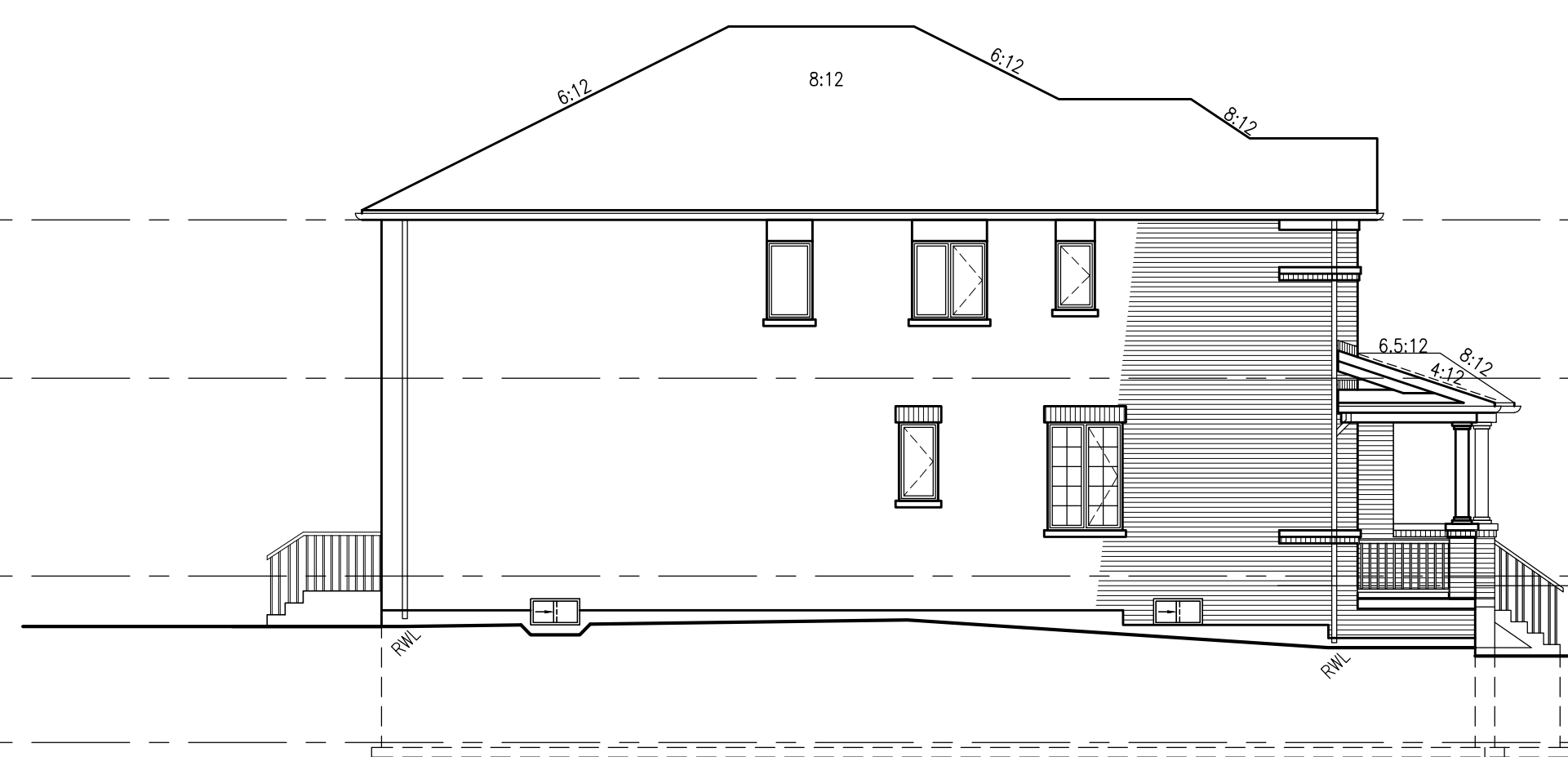
PROJECT NAME
LECCO RIDGE DEV. INC.

TOWN OF MILTON
16015
BLOCK 335
IVY SERIES

DATE
SEPTEMBER 2016
DRAWN BY
MT

CHECKED BY
CW
SCALE
1/8" = 1'-0"

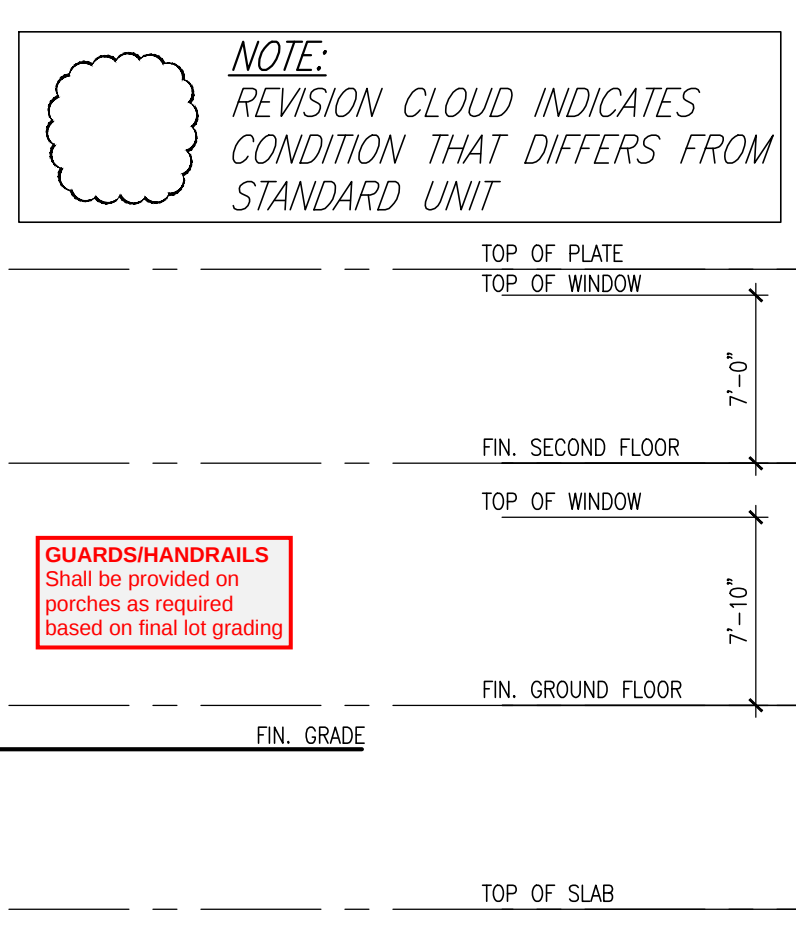
**BLOCK 335
ELEVATION 1**



335-1 IVY-6E
ELEV. '1'
LEFT SIDE ELEVATION



335-6 IVY-11
ELEV. '1' (REV.)
RIGHT SIDE ELEVATION



NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5187
BUILDING REVIEWED
SCOTT SHERRIFFS
PLANS EXAMINER
APR 24, 2017
DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario.
By-law of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5187
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications



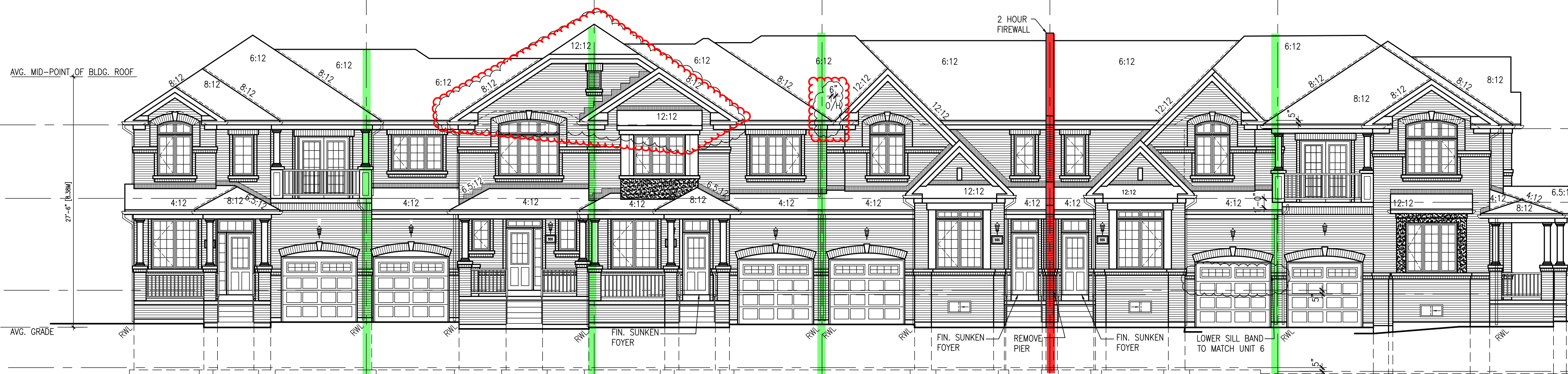
335-6 IVY-11
ELEV. '1' (REV.)
335-5 IVY-2
ELEV. '1'
335-4 IVY-2
ELEV. '1' (REV.)
335-3 IVY-3
ELEV. '1'
335-2 IVY-1
ELEV. '1' (REV.)
335-1 IVY-6E
ELEV. '1'
REAR ELEVATION

2 HOUR FIREWALL
(NON-COMBUSTIBLE)

1 HOUR PARTY WALL
(FIRE SEPARATION)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



335-1 IVY-6E
ELEV. '1'
335-2 IVY-1
ELEV. '1' (REV.)
335-3 IVY-3
ELEV. '1'
335-4 IVY-2
ELEV. '1' (REV.)
335-5 IVY-2
ELEV. '1'
335-6 IVY-11
ELEV. '1' (REV.)
FRONT ELEVATION

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

BLOCK 335 ELEVATION 1

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements.
Including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
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house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
T 416.630.2255
F 416.630.4782
vasdesign.com

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prohibited without VAS DESIGN's
written permission.

The architect has reviewed and taken responsibility for the design
and for the specifications and notes the representations are as in the
above. Building Code is to be followed.
Specification Reference
Richard Vink
signature
24488
date
24488

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
16015
TOWN OF MILTON
16015
BLOCK 335
BLOCK 335 ELEVATIONS
1/8" = 1'-0"

DATE
SEPTEMBER 2016
DRAWN BY
DW
CHECKED BY
DW
DATE
16015-BLOCK-335