TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5181

BUILDING: REVIEWED
SCOTT SHERRIFFS APR 24, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relives the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5181
BUILDING DIVISION

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

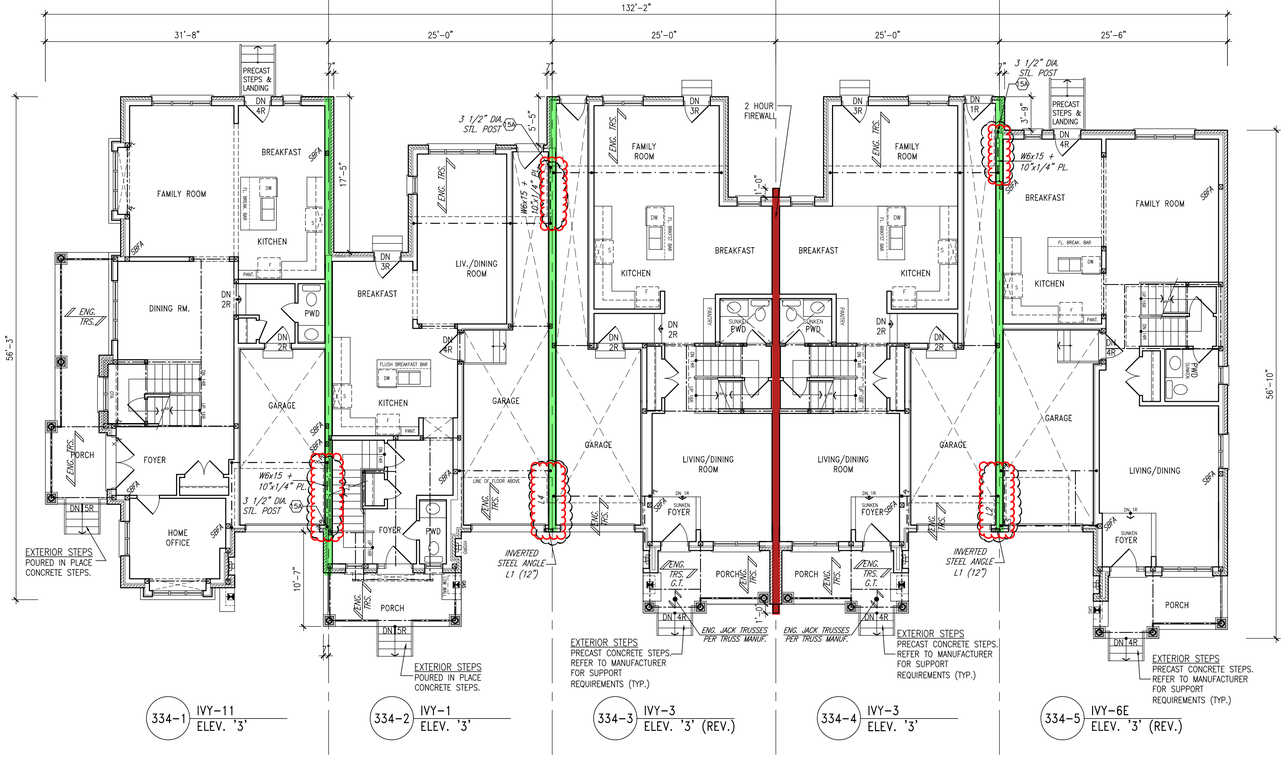
TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

= 2 HOUR FIREWALL (NON-COMBUSTIBLE)

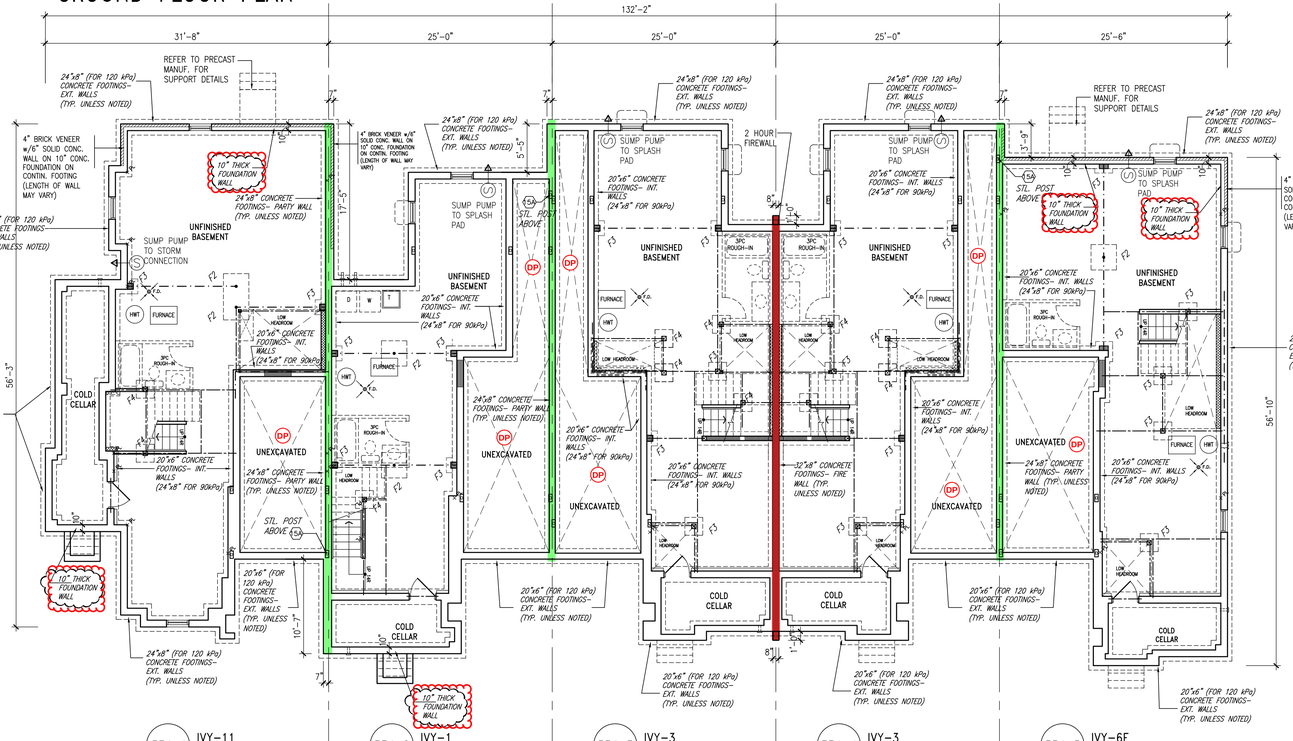
FIREWALL DETAILS
See standard details page 5 for standard firewall construction details

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



GROUND FLOOR PLAN

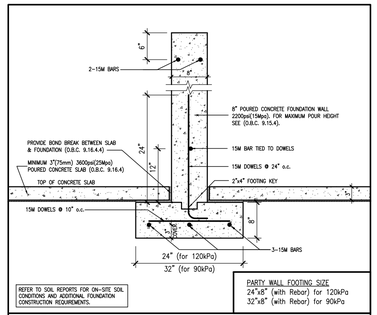


BASEMENT PLAN

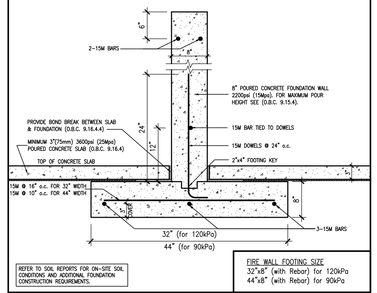
FOUNDATION DAMPROOFING DRAINAGE AND WEEPING TILE (DP)
to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)

STRUDET INC.
FOR STRUCTURE ONLY

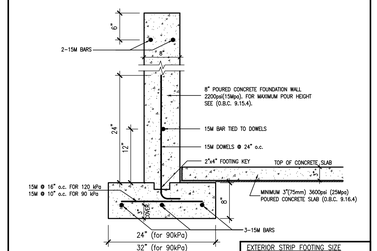
NOTE:
REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT



W2a TYPICAL PARTY WALL FOOTING
SCALE: Not to Scale



W2b TYPICAL FIRE WALL FOOTING
SCALE: Not to Scale



W2c EXTERIOR STRIP FOOTING
(On Engineered Fill) (90kPa. Minimum)
SCALE: Not to Scale

NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

BUILDING AREA
6493.40 S.F. (603.25 m2)

PAD FOOTINGS

120 kPa. NATIVE SOIL	90 kPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS – FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 kPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REINF.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REINF.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 kPa.)
24"x8" CONCRETE STRIP FOOTINGS- with REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS- with REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS- with REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS – with REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90kPa/ 13.0psi FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

Ⓢ SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval meet the requirements of the Ontario Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any provision of any building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 2/0 2017
John G. Williams Limited, Architect

no.	description	date	by
10		-	-
9		-	-
8		-	-
7		-	-
6		-	-
5	ISSUED FOR PERMIT.	MAR. 01/17	CW
4	SUMP PUMP LOCATIONS ADDED.	FEB. 02/17	CW
3	ISSUED FOR PRICING.	JAN. 17/17	CW
2	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16	CW
1	ISSUED FOR CLIENT REVIEW	-	-

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

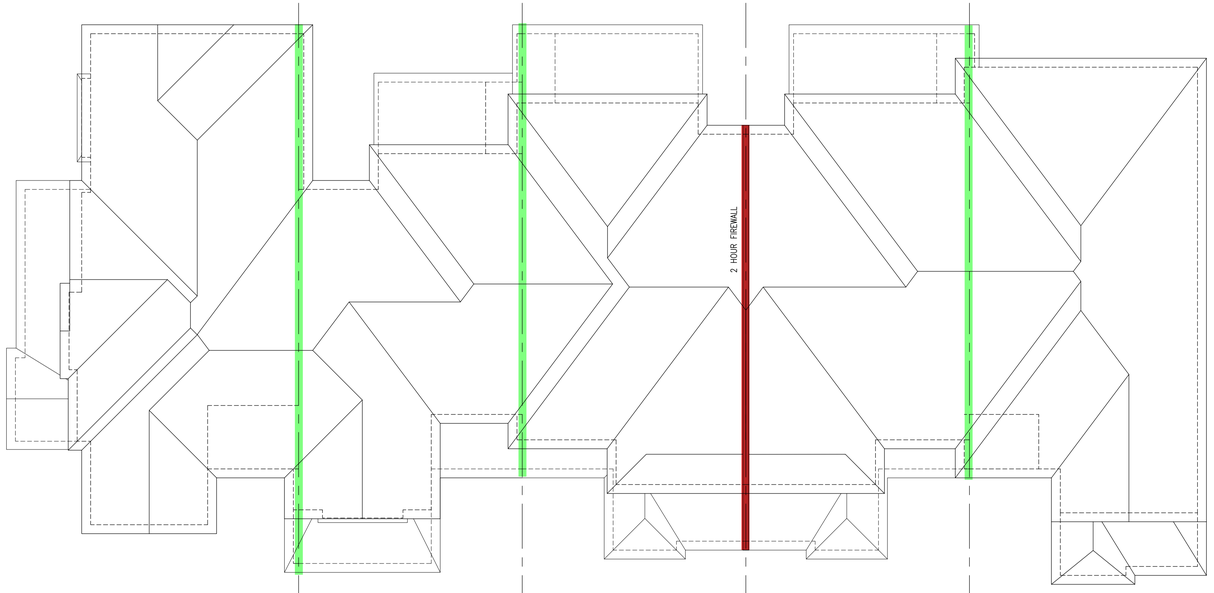
VA3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
va3design.com

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information: Richard Vink 24488
registration information: VA3 Design Inc. 42658
signature

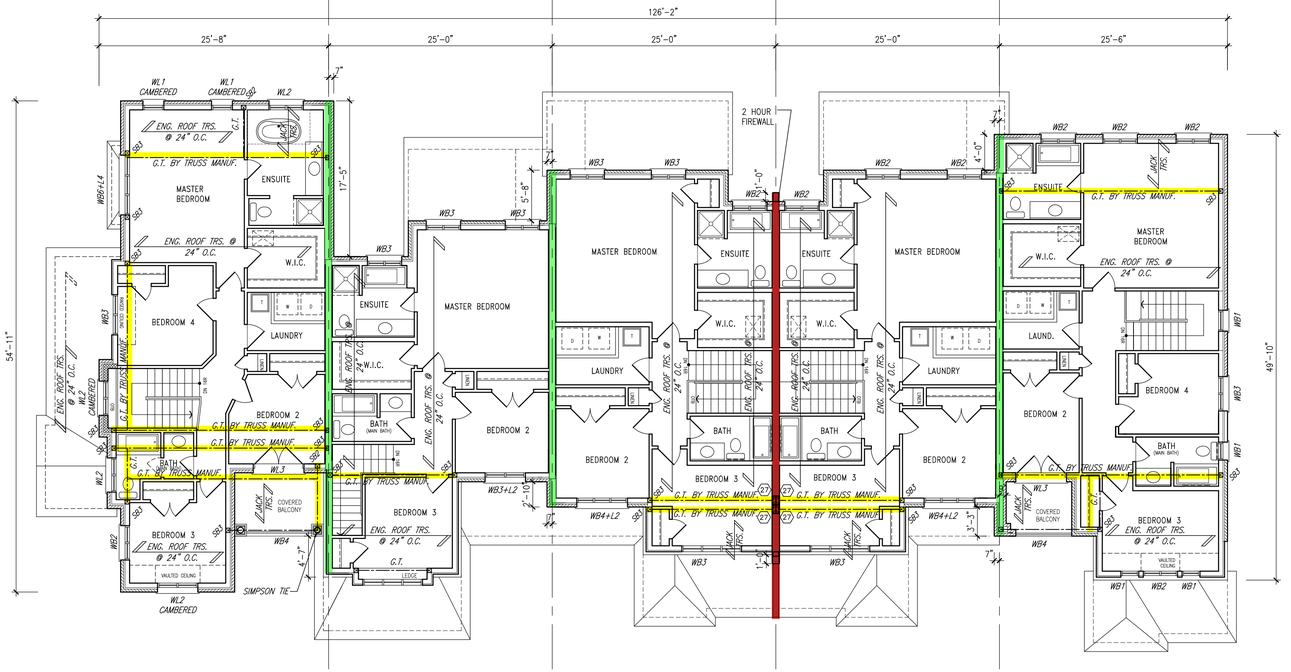
Greenpark.

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
unit name: IVY SERIES
unit no.: BLOCK 334
BLOCK 334 PLANS
date: SEPTEMBER 2016
scale: 1/8" = 1'-0"
drawing no.: B1
drawn by: WT
checked by: CW
file name: 16015-BLOCK-334



334-1 IVY-11 ELEV. '3' | 334-2 IVY-1 ELEV. '3' | 334-3 IVY-3 ELEV. '3' (REV.) | 334-4 IVY-3 ELEV. '3' | 334-5 IVY-6E ELEV. '3' (REV.)

ROOF PLAN



334-1 IVY-11 ELEV. '3' | 334-2 IVY-1 ELEV. '3' | 334-3 IVY-3 ELEV. '3' (REV.) | 334-4 IVY-3 ELEV. '3' | 334-5 IVY-6E ELEV. '3' (REV.)

SECOND FLOOR PLAN

NOTE:
REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5181
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 24, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relives the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5181
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse (model drawings and engineered truss system)

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

= 2 HOUR FIREWALL (NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5 for standard firewall construction details

PAD FOOTINGS

120 kPa, NATIVE SOIL	90 kPa, ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS – FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 kPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REINF.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REINF.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 kPa.)
24"x8" CONCRETE STRIP FOOTINGS–with REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS–with REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS– with REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS – with REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90kPa/ 13.0psi FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
–GROUND FLOOR ROOF STRUCTURE
–BASEMENT AND GROUND FLOOR LINTELS
–GROUND FLOOR AND SECOND FLOOR STRUCTURE
–DOUBLE VOLUME WALL LOCATION AND DETAILS
–CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of agreements of purchase and sale. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 2/0 2017
John G. Williams Limited, Architect

no.	description	date	by
10	-	-	-
9	-	-	-
8	-	-	-
7	-	-	-
6	-	-	-
5	ISSUED FOR PERMIT.	MAR. 01/17	CW
4	SUMP PUMP LOCATIONS ADDED.	FEB. 02/17	CW
3	ISSUED FOR PRICING.	JAN. 17/17	CW
2	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16	CW
1	ISSUED FOR CLIENT REVIEW	-	-

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
va3design.com

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information: Richard Vink 24458
registration information: VA3 Design Inc. 42658

PROFESSIONAL ENGINEER MARINKOVIC PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

Greenpark.

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no. 16015
unit name: IVY SERIES
BLOCK 334
title: BLOCK 334 PLANS
date: SEPTEMBER 2016
scale: 1/8" = 1'-0"
drawing no. B2
drawn by: WT
checked by: CW
file name: 16015-BLOCK-334

BLOCK 334
ELEVATION 3

NOTE:
REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5181
BUILDING: REVIEWED
SCOTT SHERRIFFS APR 24, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relives the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5181
BUILDING DIVISION

334-5 IVY-6E ELEV. '3' (REV.)

RIGHT SIDE ELEVATION

334-5 IVY-6E ELEV. '3' (REV.) | 334-4 IVY-3 ELEV. '3' | 334-3 IVY-3 ELEV. '3' (REV.) | 334-2 IVY-1 ELEV. '3' | 334-1 IVY-11 ELEV. '3'

REAR ELEVATION

= 1 HOUR PARTY WALL (FIRE SEPARATION)

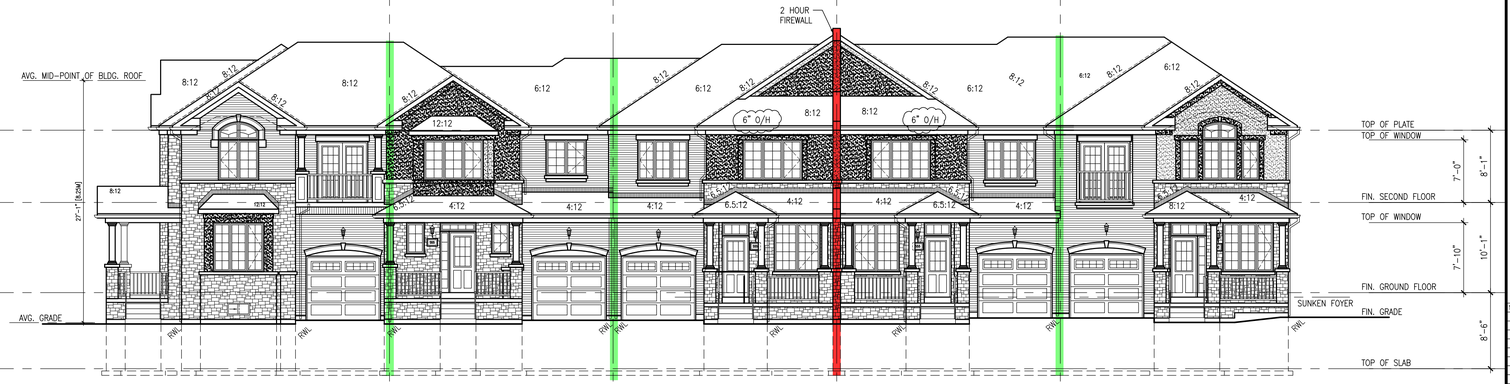
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details

= 2 HOUR FIREWALL (NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5 for standard firewall construction details

334-1 IVY-11 ELEV. '3'

LEFT SIDE ELEVATION



334-1 IVY-11 ELEV. '3' | 334-2 IVY-1 ELEV. '3' | 334-3 IVY-3 ELEV. '3' (REV.) | 334-4 IVY-3 ELEV. '3' | 334-5 IVY-6E ELEV. '3' (REV.)

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

FRONT ELEVATION

It is the builder's complete responsibility to fully comply with all requirements of approval agencies and the Architectural Control Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any municipal building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

no.	description	date	by
10		-	-
9		-	-
8		-	-
7		-	-
6		-	-
5	ISSUED FOR PERMIT.	MAR. 01/17	CW
4	SUMP PUMP LOCATIONS ADDED.	FEB. 02/17	CW
3	ISSUED FOR PRICING.	JAN. 17/17	CW
2	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16	S/W
1	ISSUED FOR CLIENT REVIEW	-	-

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
va3design.com

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information: Richard Vink — 24488
registration information: VA3 Design Inc. — 42658

Greenpark.

project name: LECCO RIDGE DEV. INC.
municipality: TOWN OF MILTON
project no.: 16015
unit name: IVY SERIES
unit no.: BLOCK 334
title: BLOCK 334 ELEVATIONS
date: SEPTEMBER 2016
scale: 1/8" = 1'-0"
drawing no.: B3
drawn by: WT
checked by: GW
file name: 16015-BLOCK-334

BLOCK 334
ELEVATION 3