

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

PAD FOOTINGS

20 KPa. NATIVE SOIL	90 KPa. ENGINEERED FILL SOIL
1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

PREFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS (NOT ON CHART.)

STRIP FOOTINGS – FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 kPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).

FOOTINGS ON ENGINEERED FILL (90 kPa.)

24"x8" CONCRETE STRIP FOOTINGS—with REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS—with
REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS— with REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS — with REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90kPa/ 13.0psi FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Controller/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house may be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

ISSUED FOR PERMIT.		MAR. 01/17	GN
SUMP PUMP LOCATIONS ADDED.		FEB. 02/17	GN
ISSUED FOR PRICING.		JAN. 17/17	GN
REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS		DEC. 13/16	GN
ISSUED FOR CLIENT REVIEW			
description		date	by

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
v3design.com

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	<p>qualification information</p>	
	<p>Richard Vink</p>	24488
	<p>name registration information: VAS Design Inc.</p>	<p><i>Richard Vink</i> signature</p> <p>BCP 42656</p>

project name

LECCO RIDGE DEV. INC.

TOWN OF MILTON	16015
unit name	unit no

NAVY SERIES **BLOCK 333**BLOCK 333 PLANS EIR

scale	drawing no.
1/8" = 1'-0"	D2

own by	checked by	file name	B2
WT	GW	16015-BLOCK-333	

STRUDET INC.
FOR STRUCTURE ONLY

BLOCK 333
ELEVATION 1

ROOF PLAN

SECOND FLOOR PLAN

**= 1 HOUR PARTY WALL
(FIRE SEPARATION)**

PARTY WALL DETAILS
See standard details page
for standard party wall
construction details

333-4 IVY-6E
ELEV. '1' (REV.)

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5058
BUILDING - REVIEWED
SCOTT SHERRIFFS
APR 20, 2017
DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
By-laws of the Region of Halton and Town of Milton.

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5058
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



333-4 IVY-6E
ELEV. '1' (REV.)

RIGHT SIDE ELEVATION



333-4 IVY-6E
ELEV. '1' (REV.)

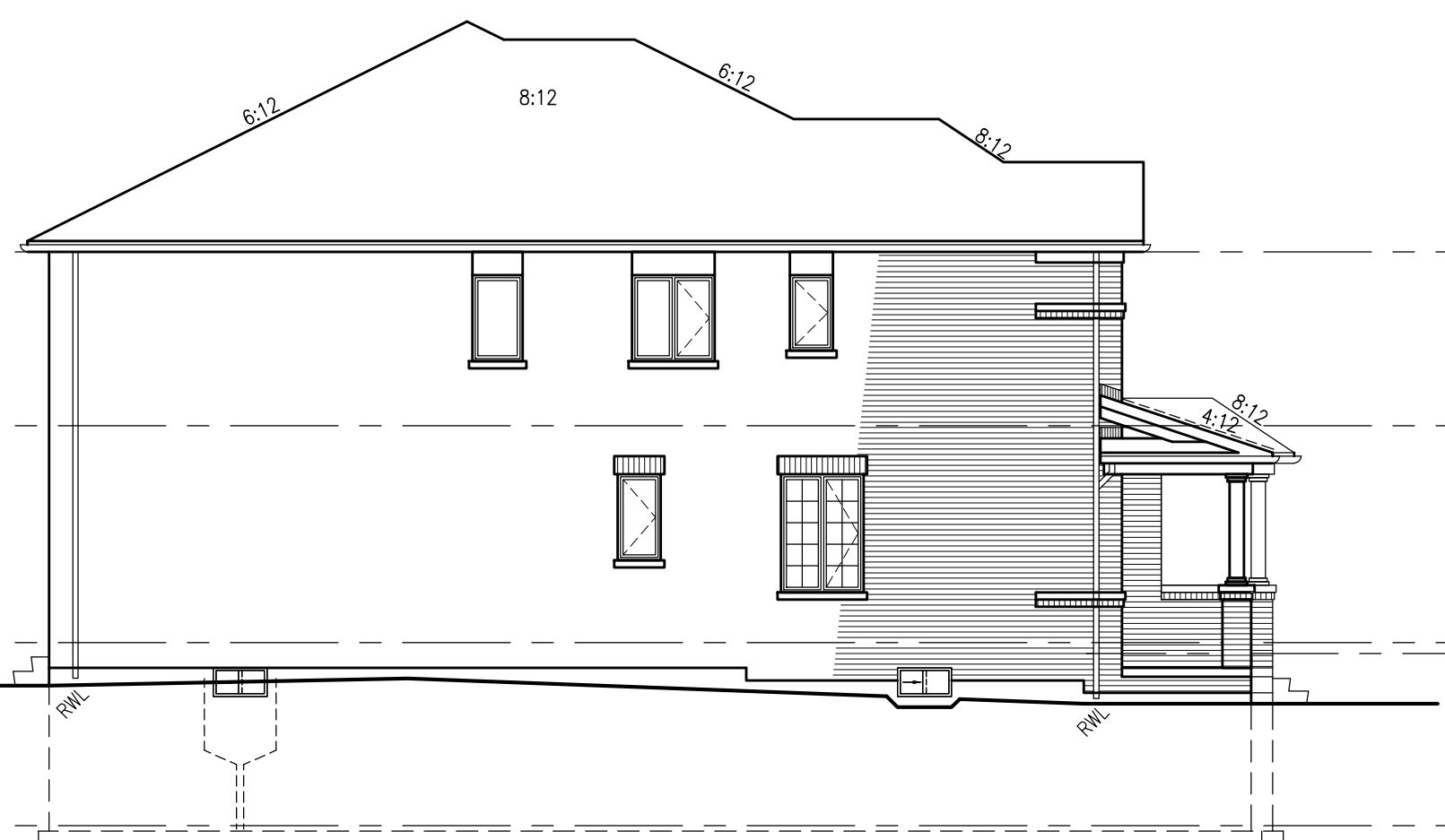
333-3 IVY-4
ELEV. '1'

333-2 IVY-5
ELEV. '1' (REV.)

333-1 IVY-6E
ELEV. '1'

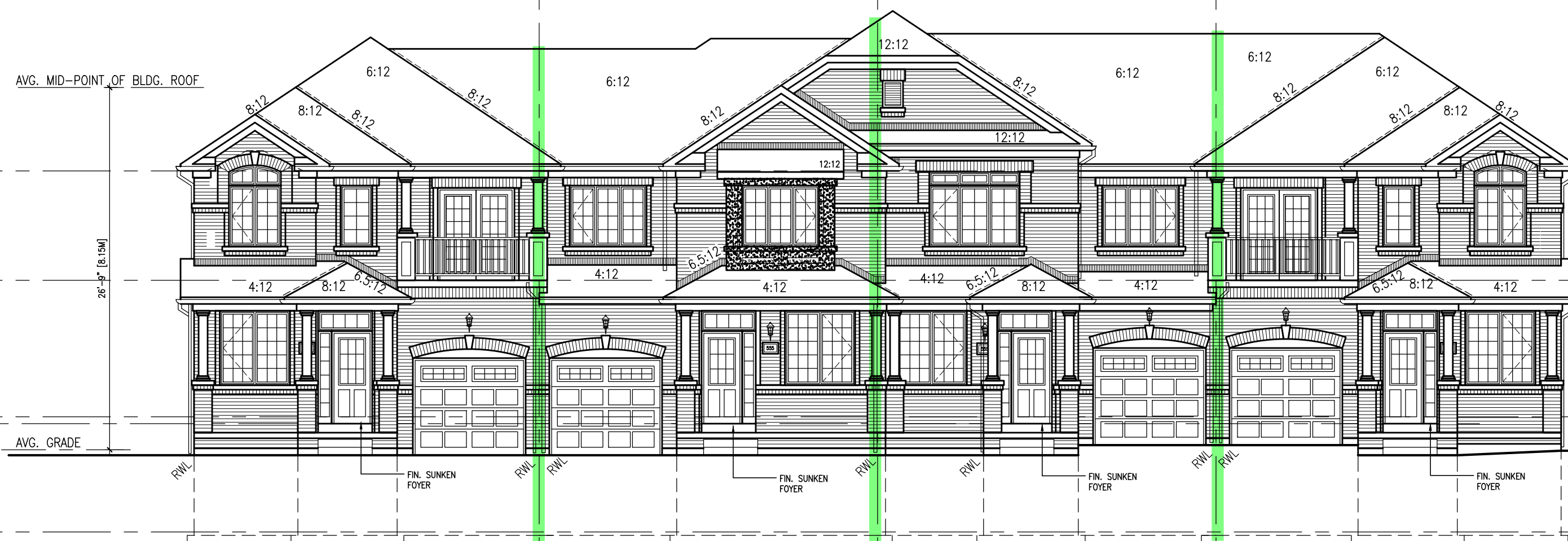
REAR ELEVATION

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



333-1 IVY-6E
ELEV. '1'

LEFT SIDE ELEVATION



333-1 IVY-6E
ELEV. '1'

333-2 IVY-5
ELEV. '1' (REV.)

333-3 IVY-4
ELEV. '1'

333-4 IVY-6E
ELEV. '1' (REV.)

FRONT ELEVATION

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ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
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building code or permit matter or that any
house can be properly built or located on its lot.
This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.
ARCHITECTURAL REVIEW & APPROVAL
MAR 29 2017
John G. Williams, Architect

no.	description	date	by
10			
9			
8			
7			
6			
5	ISSUED FOR PERMIT	MAR 01/17	GM
4	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GM
3	ISSUED FOR PRICING	JAN 17/17	GM
2	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GM
1	ISSUED FOR CLIENT REVIEW		

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the completion of the work. Drawings are not to be scaled.

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255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
vasdesign.com

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written permission.

The architect has reviewed and taken responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a designer.
specification information

Richard Vink 24488
signature
registration information
VAS Design, Inc. 42658

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

TOWN OF MILTON

PROJECT NAME
BLOCK 333

IVY SERIES

BLOCK 333 ELEVATIONS

SEPTEMBER 2016

1/8" = 1'-0"

drawn by
GM

checked by
GM

16015-BLOCK-333

B3

BLOCK 333
ELEVATION 1