

Technical drawing of a foundation wall cross-section. The drawing shows a vertical foundation wall with various reinforcement details and dimensions. Key features include:

- Foundation Wall:** 8" POURED CONCRETE FOUNDATION WALL, 2200psi(15Mpa), FOR MAXIMUM POUR HEIGHT SEE (S.B.C. 9.15A).
- Reinforcement:**
 - 2-15M BARS (top of wall)
 - 15M BAR TIED TO DOWELS (vertical)
 - 15M CONCRETE @ 24" o.c. (vertical)
 - 2-15M FOOTING KEY (bottom of wall)
 - 3-15M BARS (bottom of footing)
- Dimensions:**
 - 6" (top of wall)
 - 24" (height of wall above footing)
 - 12" (height of footing)
 - 24" (width of footing)
 - 32" (total width of footing)
 - 15M DOWELS @ 10" o.c. (horizontal)
- Notes:**
 - PROVIDE BOND BREAK BETWEEN SLAB & FOUNDATION (S.B.C. 9.16.4.3)
 - MINIMUM 375mm(15in) 3000psi(20Mpa) POURED CONCRETE SLAB (S.B.C. 9.16.4)
 - TOP OF CONCRETE SLAB
- Party Wall Footing Size:**
 - 24"x8" (with Rebar) for 120kPa
 - 32"x8" (with Rebar) for 90kPa
- Refer to Soil Reports for on-site soil conditions and additional foundation construction requirements.**

SCALE: Not to Scale

SCALE: Not to Scale

(WZC) (On Engineered Fill) (90kPa. Minimum) SCALE: Not to Scale

BLOCK 332
ELEVATION 3

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This is to certify that these plans comply with the applicable provisions of the Architectural Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams, Licensed Architect

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DESIGN

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	qualification information	
	Richard Vink	2448
	home registration information VAS Design Inc.	signature BC 4265

Greenpark™

project name	
ECCO RIDGE DEV. INC.	
municipality	project number
TOWN OF MILTON	1601

UNIT OF MEASUREMENT
R name
unit n
Y SERIES
BLOCK 332

BLOCK 332 PLAN	
scale 1/8" = 1'-0"	drawing no. B1
drawn by	checked by
file name	

GW 16015-BLOCK-332 51



$$\begin{array}{ccccc} \textcircled{332-1} & \textcircled{332-2} & \textcircled{332-3} & \textcircled{332-4} & \textcircled{332-5} \\ \frac{\text{IVY-6E}}{\text{ELEV. '3'}} & \frac{\text{IVY-1}}{\text{ELEV. '3' (REV.)}} & \frac{\text{IVY-3}}{\text{ELEV. '3'}} & \frac{\text{IVY-1}}{\text{ELEV. '3' (REV.)}} & \frac{\text{IVY-6E}}{\text{ELEV. '3' (REV.)}} \end{array}$$



(332-4) IVY-1
ELEV. '3' (REV.)

BLOCK 332
ELEVATION 3

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ARCHITECTURAL REVIEW & APPROVAL

MAR 2 0 2017

John G. Williams, Licensed Architect

10		-	-
9		-	-
8		-	-
7		-	-
6		-	-
5	ISSUED FOR PERMIT.	MAR. 01/17/GW	
4	ISSUE RUM FUNDATIONS ADDED.	FEB. 02/17/GW	
3	ISSUED FOR PIRING.	JAN. 17/17/GW	
2	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16/GW	
1	ISSUED FOR CLIENT REVIEW		
	no description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

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	<p>qualification information</p>	
	<p>Richard Vink name signature VAS Design Inc.</p>	<p>24488 IDIN 42658</p>

Greenpark™

project name LECCO RIDGE DEV. INC.		project no. 16015	
municipality TOWN OF MILTON		unit no.	
unit name		BLOCK 332	
IVY SERIES		title BLOCK 332 PLANS	
date SEPTEMBER 2016	scale 1/8" = 1'-0"	drawing no. B2	
drawn by WT	checked by GW	file name 16015-BLOCK-332	

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5052
BUILDING REVIEWED
SCOTT SHERIFFS
APR 20, 2017
PLANS EXAMINER
DATE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5052
BUILDING DIVISION

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



332-5 IVY-6E
ELEV. '3' (REV.)

RIGHT SIDE ELEVATION

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



332-5 IVY-6E
ELEV. '3' (REV.)

REAR ELEVATION

332-4 IVY-1
ELEV. '3' (REV.)

332-3 IVY-3
ELEV. '3'

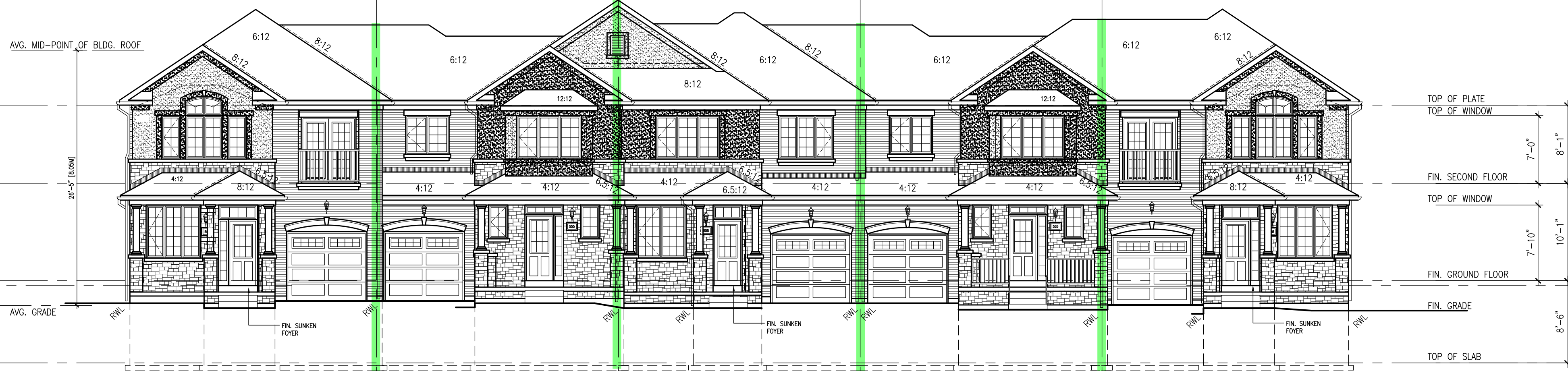
332-2 IVY-1
ELEV. '3' (REV.)

332-1 IVY-6E
ELEV. '3'



332-1 IVY-6E
ELEV. '3'

LEFT SIDE ELEVATION



332-1 IVY-6E
ELEV. '3'

FRONT ELEVATION

332-2 IVY-1
ELEV. '3' (REV.)

332-3 IVY-3
ELEV. '3'

332-4 IVY-1
ELEV. '3' (REV.)

332-5 IVY-6E
ELEV. '3' (REV.)

GUARDSHANDRAILS
Shall be provided on
porches as required
based on final lot grading

BLOCK 332
ELEVATION 3

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Licensed Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17	GW
2	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GW
3	ISSUED FOR PRICING	JAN 17/17	GW
4	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GW
5	ISSUED FOR CLIENT REVIEW		

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The architect has reviewed and taken responsibility for this design and for the qualifications and credit of the registrants as set in the Ontario Building Code to be a "design professional".

Richard Vink
signature
24488
42858

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

TOWN OF MILTON

IVY SERIES

BLOCK 332

BLOCK 332 ELEVATIONS

SEPTEMBER 2016

1/8" = 1'-0"

drawn by
checked by
16015-BLOCK-332

B3