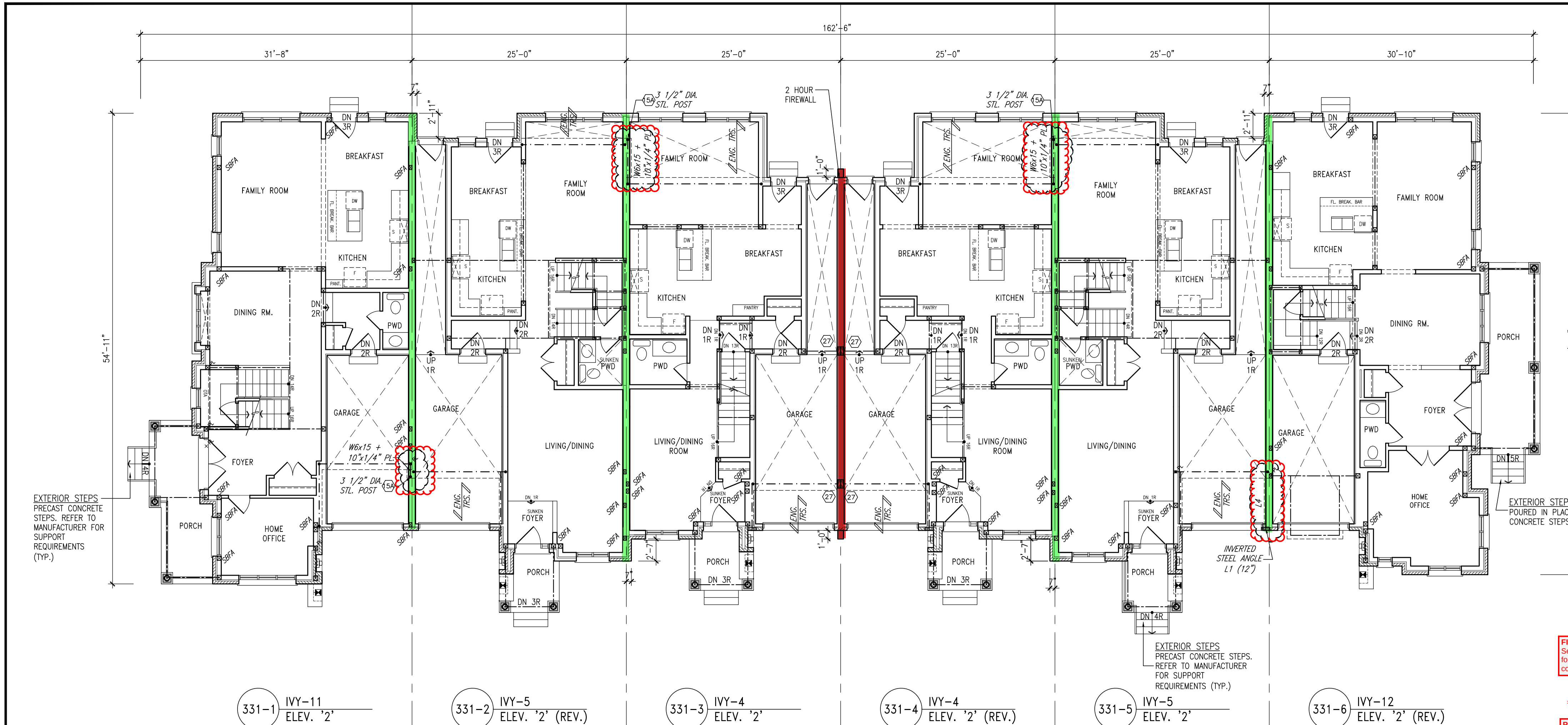
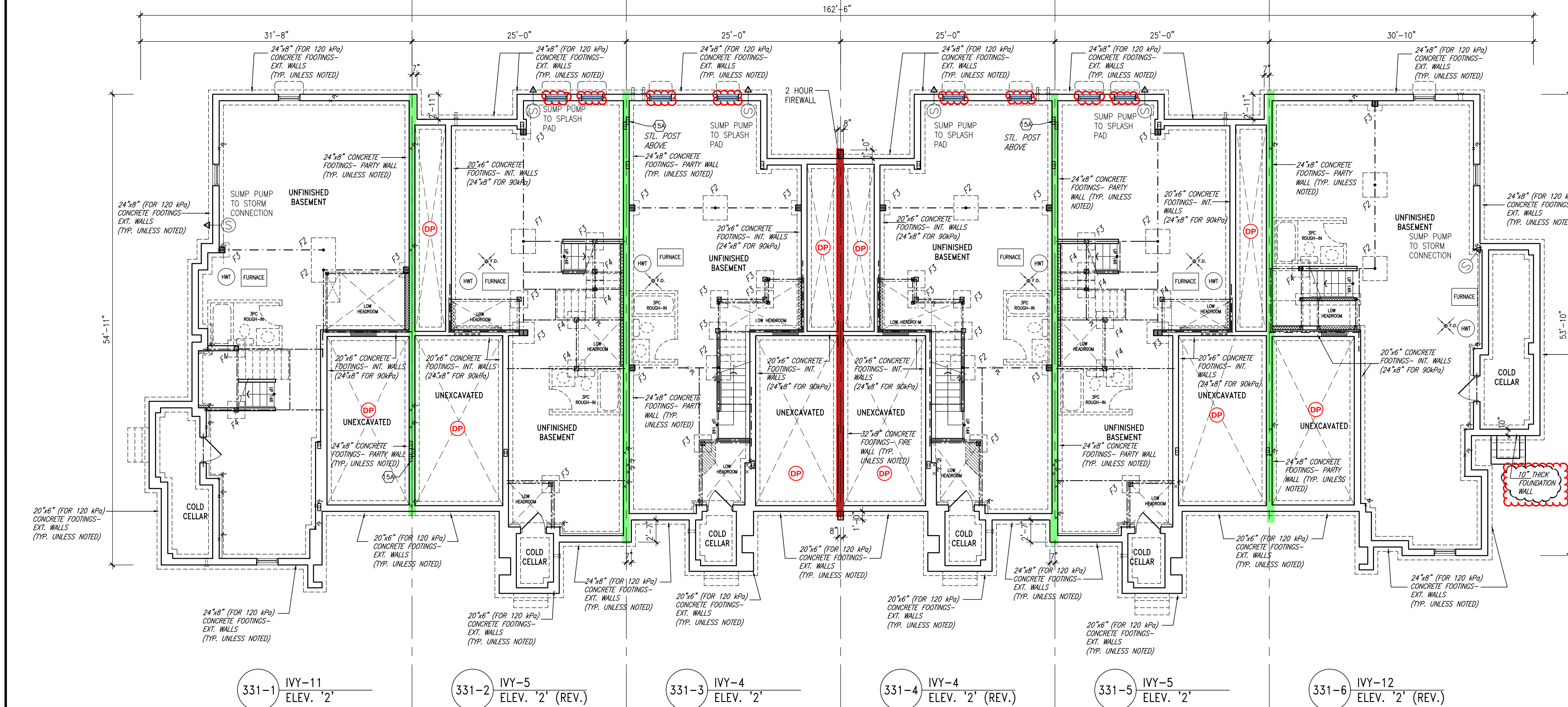




GROUND FLOOR PLAN



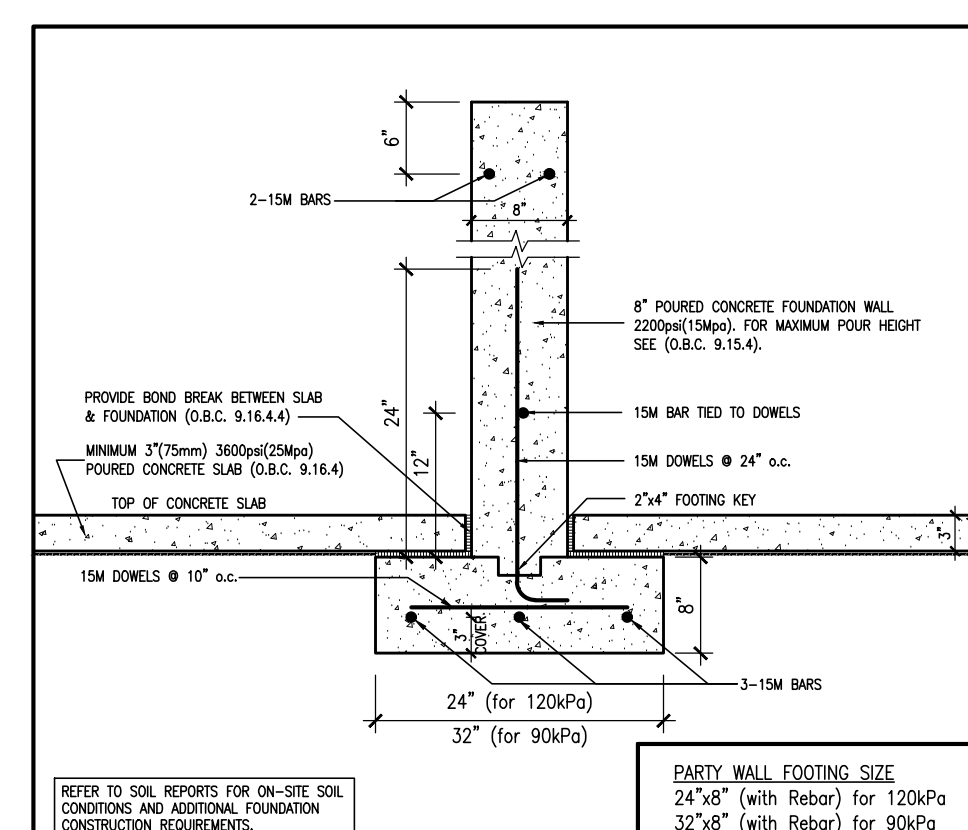
BASEMENT PLAN

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

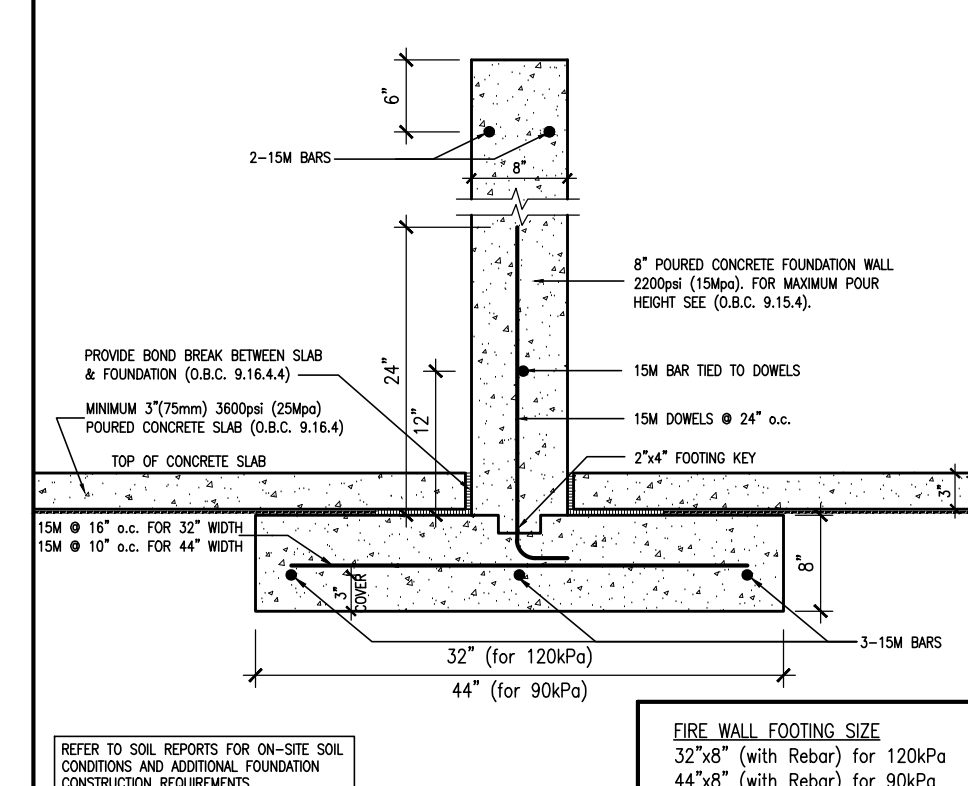
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TOWNHOUSE MODELS
Reviewed townhouse model drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

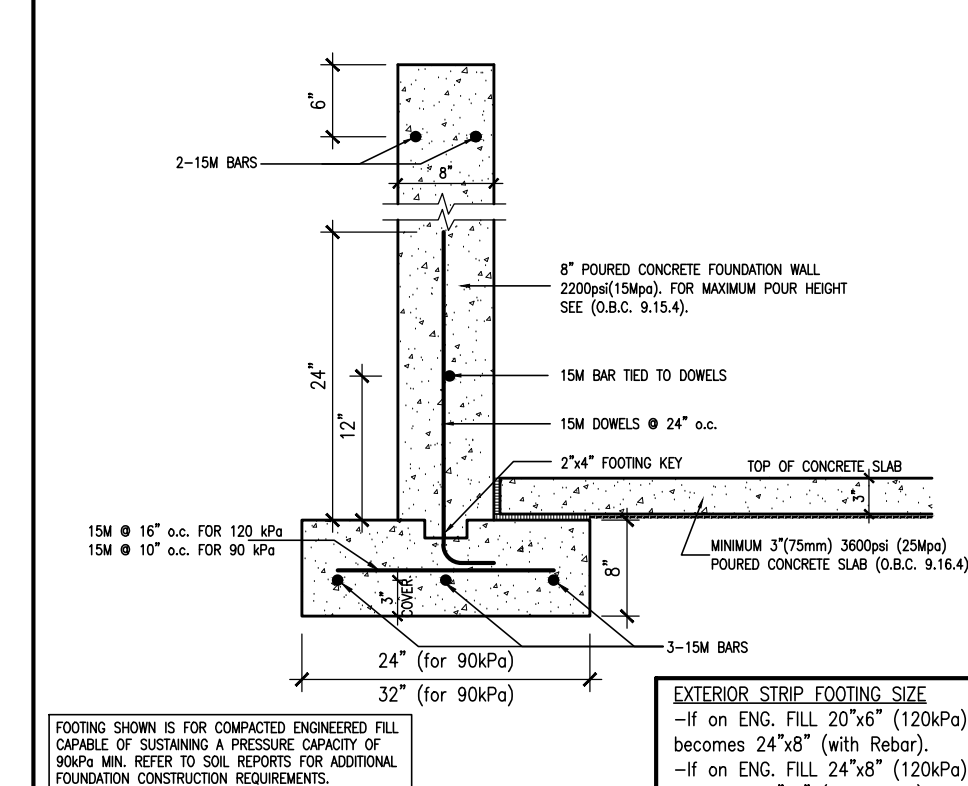
TOWN OF MILTON PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5537
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MAY 29, 2017
BUILDING DIVISION



W2a TYPICAL PARTY WALL FOOTING
SCALE: Not to Scale



W2b TYPICAL FIRE WALL FOOTING
SCALE: Not to Scale



W2c EXTERIOR STRIP FOOTING
(On Engineered Fill) (90kPa. Minimum)
SCALE: Not to Scale

NOTE:
REFER TO GRADING PLAN
FOR NUMBER OF STEPS.



STRUDET INC.
FOR STRUCTURE ONLY

REQUIRED FOUNDATION REINFORCING
Refer to reviewed model drawings for required foundation reinforcing around window openings for the following models: IVY 2, IVY 4, IVY 5, and IVY 7E

FOUNDATION DAMPROOFING, DRAINAGE AND WEERING TILE
Refer to reviewed model drawings for required foundation damproofing, drainage and weering tile separating basement space from unexcavated areas (under porches and attached garage slabs)

BUILDING AREA
7800.04 S.F. (724.64 m²)

PAD FOOTINGS
120 KPa, NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
90 KPa, ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES
FOOTINGS ON NATIVE SOIL (120 KPa.)
24"x48" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x48" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x48" CONCRETE STRIP FOOTINGS (WITH REINFC.) BELOW PARTY WALLS.
32"x48" CONCRETE STRIP FOOTINGS (WITH REINFC.) BELOW FIRE WALLS.
FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x48" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x48" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x48" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x48" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS. (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/13.0kPa FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable laws, codes and regulations. The Architect is not responsible in any way for any errors or omissions or for any consequences arising from the use of these plans. The Architect is not responsible for any damage to property or for any loss of time or money incurred by the owner or builder as a result of the use of these plans.

MAR 20 2017
John G. Williams, Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	ISSUED FOR PERMIT	MAR 02/17	GM
3	ISSUED FOR PERMIT	MAR 17/17	GM
4	ISSUED FOR PERMIT	MAR 17/17	GM
5	ISSUED FOR PERMIT	MAR 17/17	GM
6	ISSUED FOR PERMIT	MAR 17/17	GM
7	ISSUED FOR PERMIT	MAR 17/17	GM
8	ISSUED FOR PERMIT	MAR 17/17	GM
9	ISSUED FOR PERMIT	MAR 17/17	GM
10	ISSUED FOR PERMIT	MAR 17/17	GM

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4182
v3design.com

Greenpark.
LECCO RIDGE DEV. INC.
TOWN OF MILTON
16015
BLOCK 331
ELEVATION 2
B1

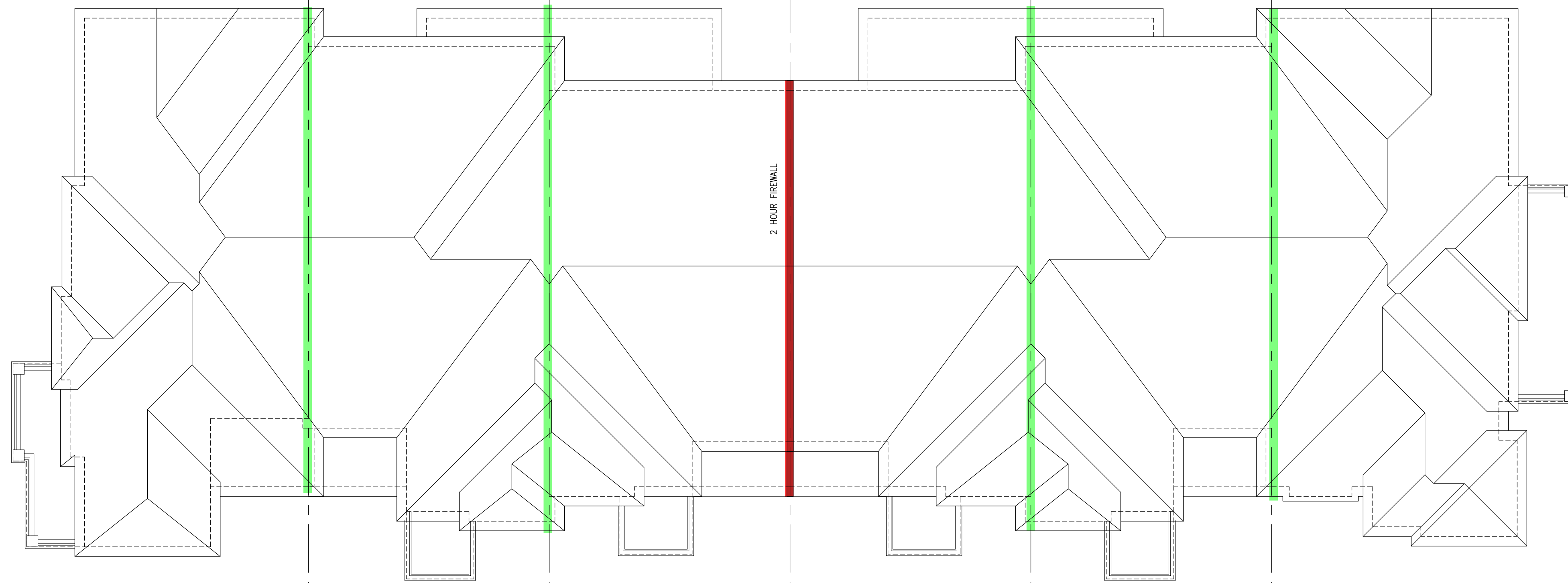
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TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
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TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5037
SCOTT SHERRIFFS APR 20, 2017
PLANS EXAMINER DATE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5037
BUILDING DIVISION



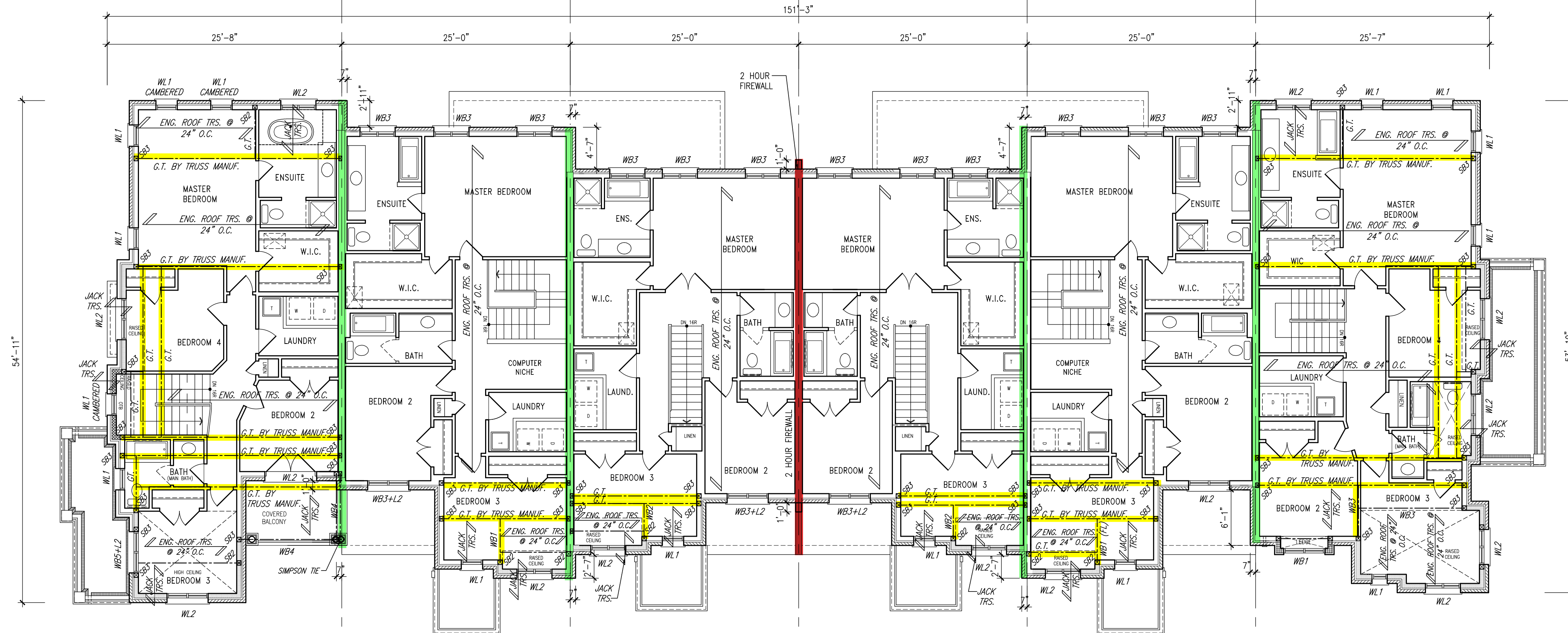
= 2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

ROOF PLAN



SECOND FLOOR PLAN

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
reworking or approving site planning plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect



10					
9					
8					
7					
6					
5	ISSUED FOR PERMIT			MAR 01/17	GM
4	SUMP PUMP LOCATIONS ADDED			FEB 02/17	GM
3	ISSUED FOR PRICING			JAN 17/17	GM
2	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS			DEC 13/16	GM
1	ISSUED FOR CLIENT REVIEW				
0	description			date	by

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Designer before proceeding with the work. All drawings and specifications are
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the completion of the work. Drawings are not to be scaled.

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T 416.630.2255
F 416.630.4782
vasdesign.com

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whole or in part is strictly
prohibited without VAS DESIGN's
written permission.

The architect has reviewed and taken responsibility for this design
and for the qualifications and needs the requirements set out in the
client's Building Code to be a single
specification reference.

Richard Vink 24488
signature date

Greenpark.
PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
TOWN OF MILTON 16015
BLOCK 331
IVY SERIES

DATE
SEPTEMBER 2016
DRAWN BY
BT

BLOCK 331
ELEVATION 2



331-1 IVY-11
ELEV. '2'

LEFT SIDE ELEVATION



331-6 IVY-12
ELEV. '2' (REV.)

RIGHT SIDE ELEVATION

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5037
BUILDING REVIEWED
SCOTT SHERRIFFS APR 20, 2017
PLANS EXAMINER DATE
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton relieves the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
by laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5037
BUILDING DIVISION

GENERAL NOTES/CONSTRUCTION DETAILS
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331-6 IVY-12
ELEV. '2' (REV.)

331-5 IVY-5
ELEV. '2'

331-4 IVY-4
ELEV. '2' (REV.)

331-3 IVY-4
ELEV. '2'

331-2 IVY-5
ELEV. '2' (REV.)

331-1 IVY-11
ELEV. '2'

REAR ELEVATION

2 HOUR FIREWALL
(NON-COMBUSTIBLE)

FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



331-1 IVY-11
ELEV. '2'

331-2 IVY-5
ELEV. '2' (REV.)

331-3 IVY-4
ELEV. '2'

331-4 IVY-4
ELEV. '2' (REV.)

331-5 IVY-5
ELEV. '2'

331-6 IVY-12
ELEV. '2' (REV.)

FRONT ELEVATION

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
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Guidelines approved by the Town of
MILTON

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Licensed Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAR 01/17 JG	
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5	ISSUED FOR CLIENT REVIEW		

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written permission.

The architect has reviewed and taken responsibility for the design
and for the specifications and notes the requirements are set in the
Ontario Building Code to be a single
specification reference

Richard Vink
owner
signature
V3 Design Inc.

Greenpark.
LECCO RIDGE DEV. INC.
TOWN OF MILTON
16015
BLOCK 331
ELEVATIONS
1/8" = 1'-0"
SEPTEMBER 2016
drawn by
checked by
16015-BLOCK-331