

- STORM CONNECTION

SANITARY CONNECTION

W

HYDRO CONNECTION

DOUBLE CATCH BASIN

CATCH BASIN

HYDRANT

VALVE AND CHAMBER
- ENTRANCE DOOR LOCATION

GARAGE DOOR LOCATION

ENGINEERED FILL LOT

SANITARY MANHOLE

STORM MANHOLE

COMMUNITY MAILBOX

DOWNPOUT LOCATION

SWALE DIRECTION
- STREET LIGHT

TRANSFORMER

CABLE TV PEDESTAL

BELL PEDESTAL

HYDRO METER

GAS METER

AIR-CONDITIONING UNIT

SUMP PUMP
- F.FLR.

T/WALL

F.SLAB

U/FTG.

100.00

(100.00)

SW

×100.00

FINISHED FLOOR ELEVATION

TOP OF FOUNDATION WALL

FIN. BASEMENT FLOOR SLAB

UNDERSIDE FOOTING ELEVATION

PROPOSED 3:1 SLOPE

PROPOSED GRADE

EXISTING GRADE

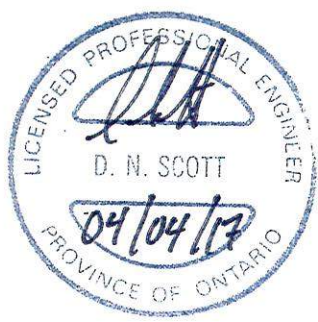
PROPOSED SWALE GRADE



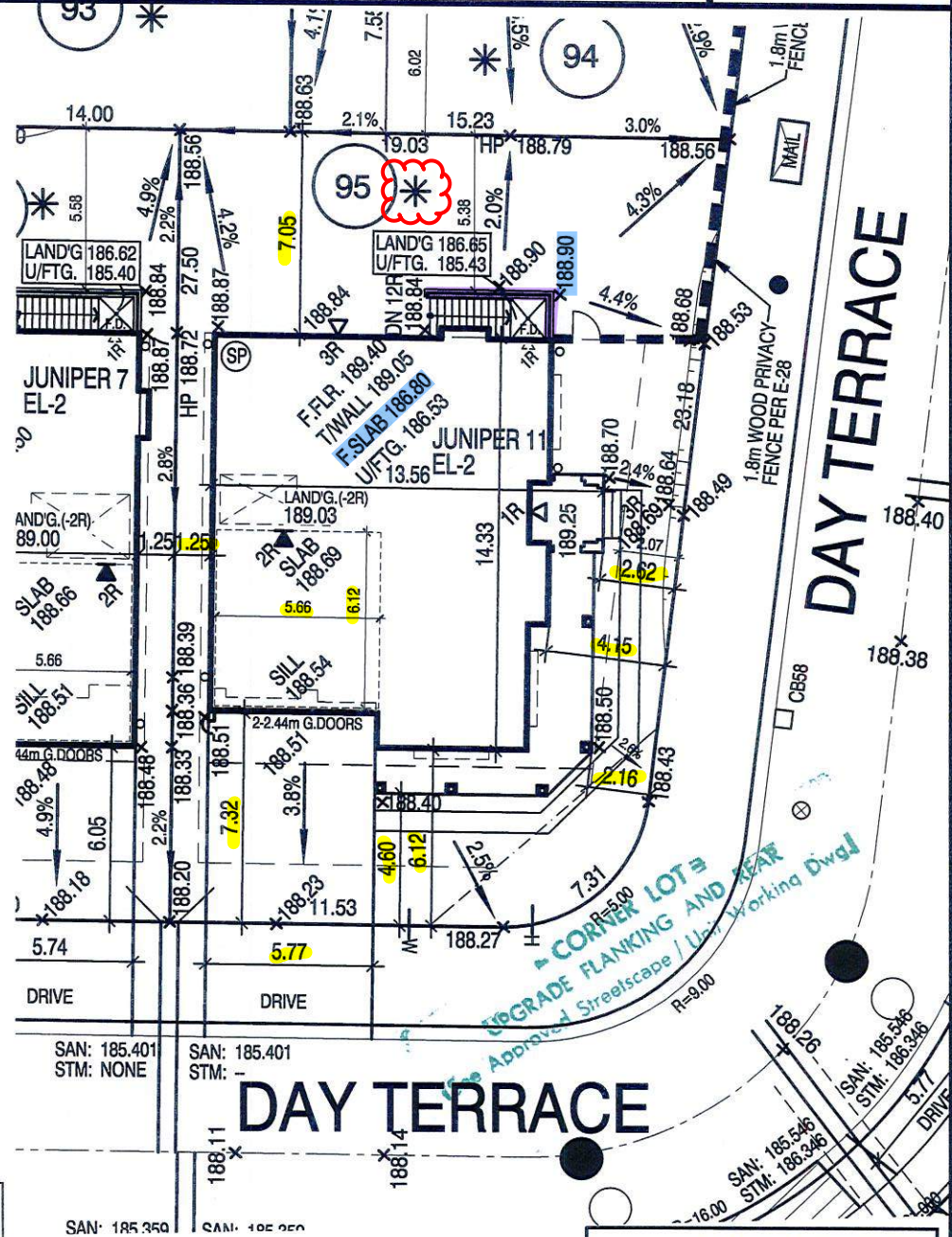
RECEIVED
TOWN OF MILTON
APR 7, 2017
17-4677
BUILDING DIVISION

LEGEND
45 Min FRR
45 Min FRR w/NC Cladding
Guard/Handrail as per 9.8.
2.1 m Backfill height as per 9.15.
Siting to be read in conjunction with reviewed main model drawings

TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE
ZONING: APPROVED
ROBIN CAMPBELL
APR 22, 2017
ZONING OFFICER
DATE



SUMP PUMP TO
DISCHARGE TO
SPLASH PAD.



The MUNICIPAL INFRASTRUCTURE Group Ltd.

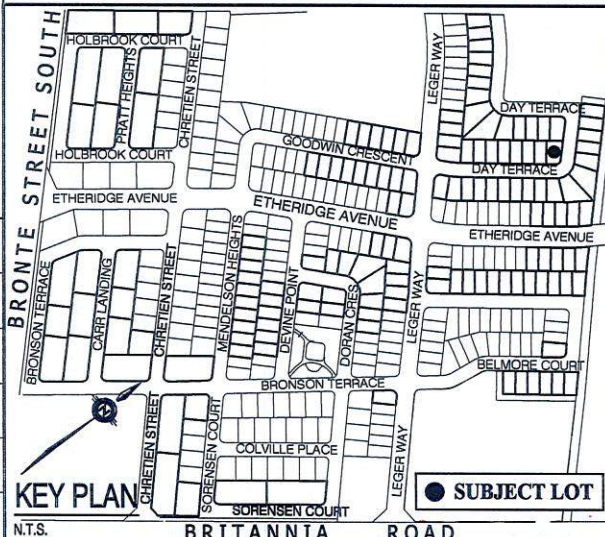
LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

LOT/BLK. NO.(S) Lot 95
DATE: MAR 31 2017

5	
4	
3	
2	MAR. 16, 2017
1	FEB. 16, 2017

REVISIONS:



45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 21 2017
John G. Williams Limited, Architect



LECCO RIDGE DEVELOPMENTS INC.

PROJ. No. 16-12
MUNICIPAL ADDRESS
LOT No. 95



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
Walter Boller
NAME SIGNATURE
21031 BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
Jardin design group inc. 27763 BCIN
FIRM NAME

jardin
DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

REG. PLAN
PART OF LOT 6 CONCESSION 2, NEW SURVEY
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR)
REGIONAL MUNICIPALITY OF HALTON
20M-1184 TOWN OF MILTON

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