

BUILDING AREA
10257.48 S.F. (952.95 m²)

PAD FOOTINGS
120 KPa. NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
90 KPa. ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
24"x8" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED)
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS
44"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kgf SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/13.0kgf FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

← SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for omissions or errors of any kind, including those of the builder or any other party, or for any building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines as approved by the Town of Milton.

ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams, Licensed Architect

1	ISSUED FOR PERMIT	MAR 01/17/17	CM
2	ISSUED FOR PERMIT	MAR 02/17/17	CM
3	ISSUED FOR PERMIT	JAN 17/17/17	CM
4	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16/16	CM
5	ISSUED FOR CLIENT REVIEW		
6	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4182
vasdesign.com

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction in this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

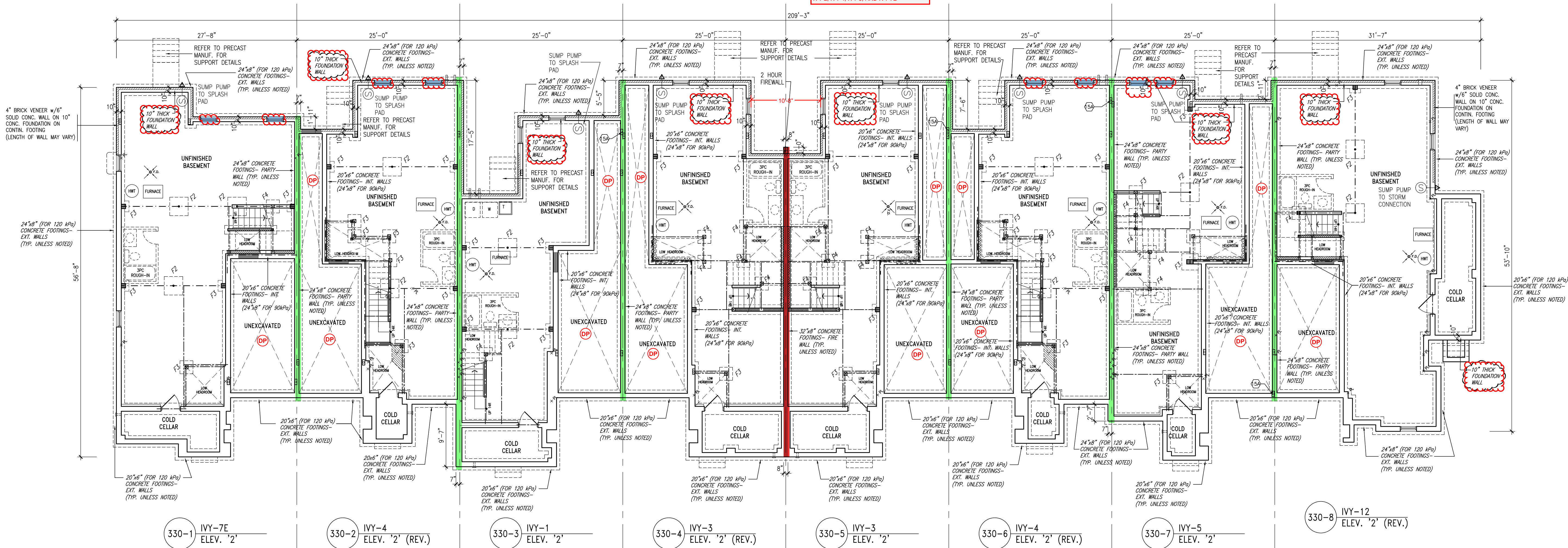
PROJECT NO.
TOWN OF MILTON
16015

IVY SERIES
BLOCK 330
BLOCK 330 PLANS

SEPTEMBER 2016
drawn by
checked by
1/8" = 1'-0"

NOTE:
REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT

REQUIRED FOUNDATION REINFORCING
Refer to reviewed model drawings for required foundation reinforcing around window openings for the following models:
IVY 2, IVY 4, IVY 5, AND IVY 7E



BASEMENT PLAN

TOWN OF MILTON PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5010
BUILDING REVIEWED
SCOTT SHERRIFFS
APR 20, 2017
DATE

RECEIVED TOWN OF MILTON
MAR 29, 2017
17-5010
BUILDING DIVISION

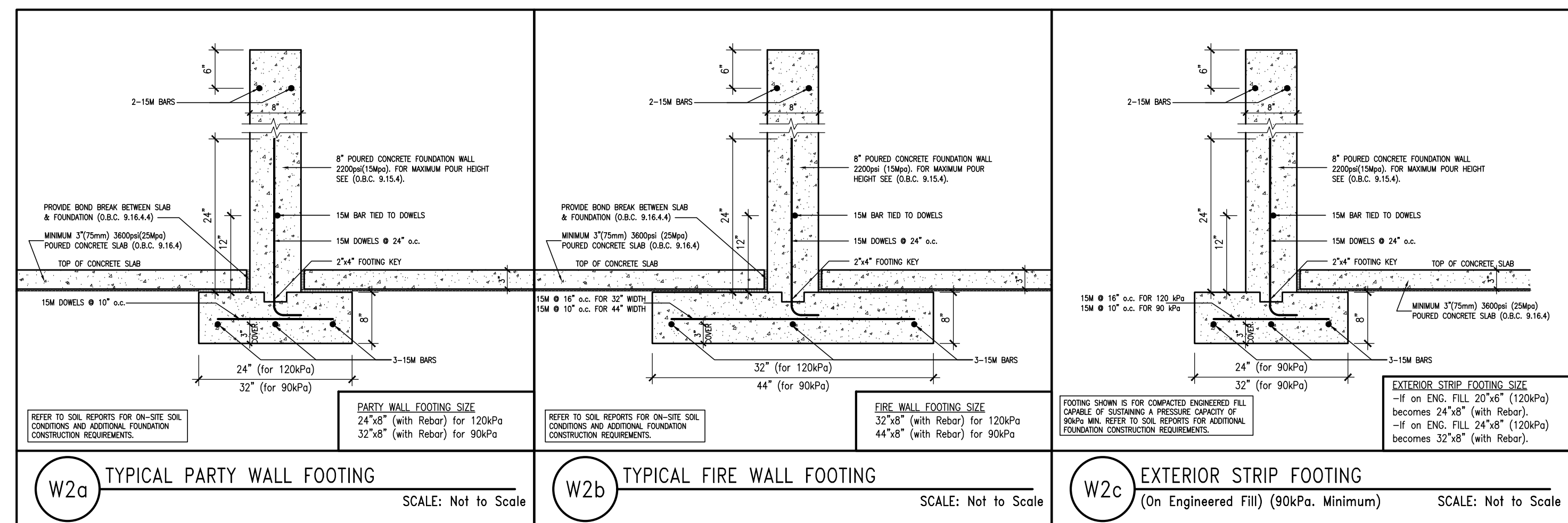
TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications

FOUNDATION DAMPROOFING DRAINAGE AND WEeping TILE
to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)

2 HOUR FIREWALL (NON-COMBUSTIBLE)
FIREWALL DETAILS
See standard details page 5 for standard fire wall construction details

1 HOUR PARTY WALL (FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



NOTE:
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

BLOCK 330 ELEVATION 2

BUILDING AREA
10257.48 S.F. (952.95 m²)

PAD FOOTINGS
120 KPa, NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS.
32"x6" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (50 KPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS. (REFER TO FOOTING DETAIL FOR REINFORCEMENT.)

ASSUME 120KPa/17.4kgf SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 50KPa/13.0kgf FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions for easements or encroachments. The Contractor is not responsible in any way for alterations or encroachments into existing plans or building codes or permit matters or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams, Architect

no.	description	date	by
10			
9			
8			
7			
6			
5	ISSUED FOR PERMIT	MAR 01/17 GW	
4	SUMP PUMP LOCATIONS ADDED	FEB 02/17 GW	
3	ISSUED FOR PRICING	JAN 17/17 GW	
2	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16 GW	
1	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4182
v3design.com

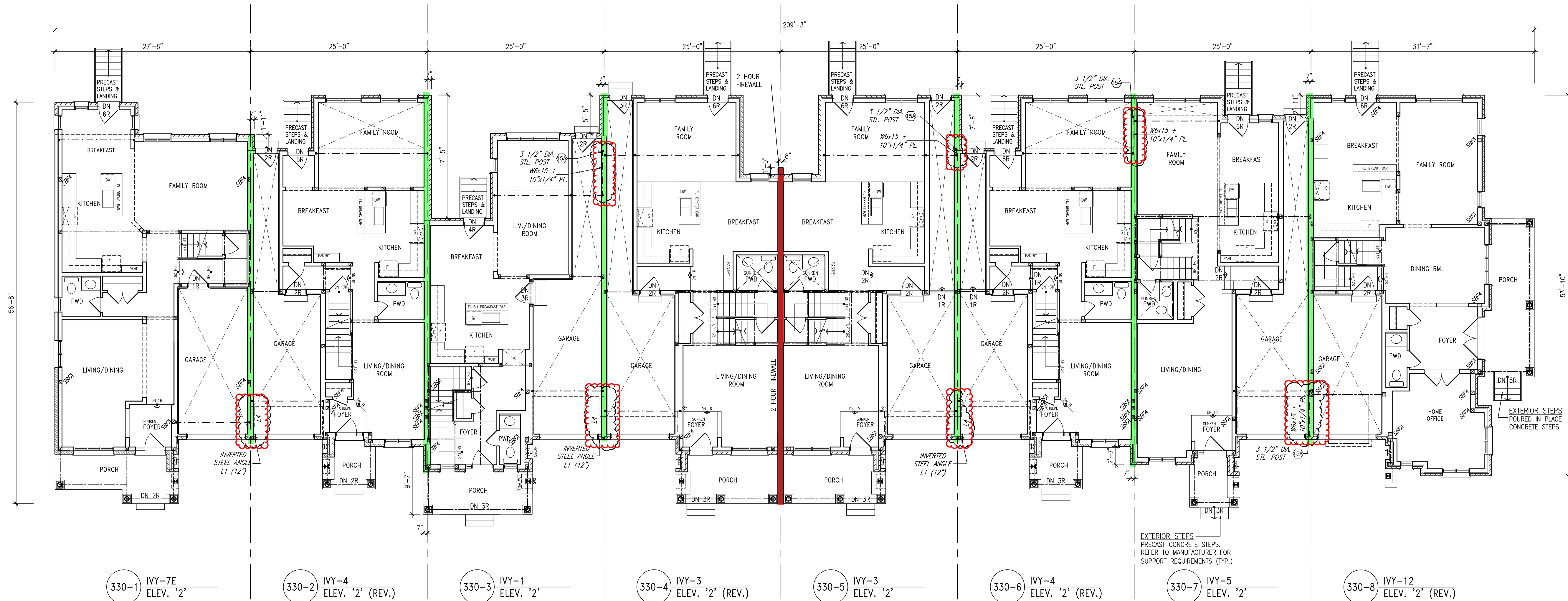
All drawings, specifications, related documents and design are the copyright property of V3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V3 DESIGN's written permission.

The architect has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to act as a design professional.

Richard Vink
signature
24688
V3 Design Inc.

Greenpark.
PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
TOWN OF MILTON
16015
BLOCK 330
BLOCK 330 PLANS
SEPTEMBER 2016
1/8" = 1'-0"
B2

NOTE:
REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT



GROUND FLOOR PLAN

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5010
BUILDING REVIEWED
SCOTT SHERRIFFS
APR 20, 2017
DATE
RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5010
BUILDING DIVISION

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton releases the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton.

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system.

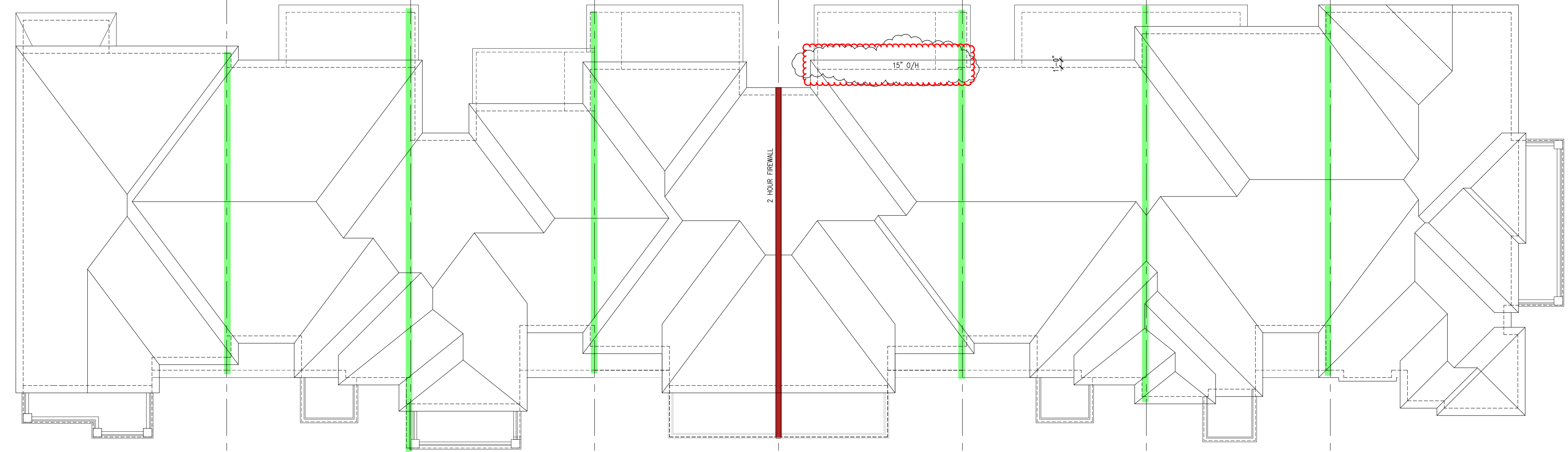
GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications.

2 HOUR FIREWALL (NON-COMBUSTIBLE)
FIREWALL DETAILS
See standard details page 5 for standard firewall construction details.

1 HOUR PARTY WALL (FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details.



BLOCK 330
ELEVATION 2



330-1 IVY-7E ELEV. '2'
330-2 IVY-4 ELEV. '2' (REV.)
330-3 IVY-1 ELEV. '2'
330-4 IVY-3 ELEV. '2' (REV.)
330-5 IVY-3 ELEV. '2'
330-6 IVY-4 ELEV. '2' (REV.)
330-7 IVY-5 ELEV. '2'
330-8 IVY-12 ELEV. '2' (REV.)

ROOF PLAN

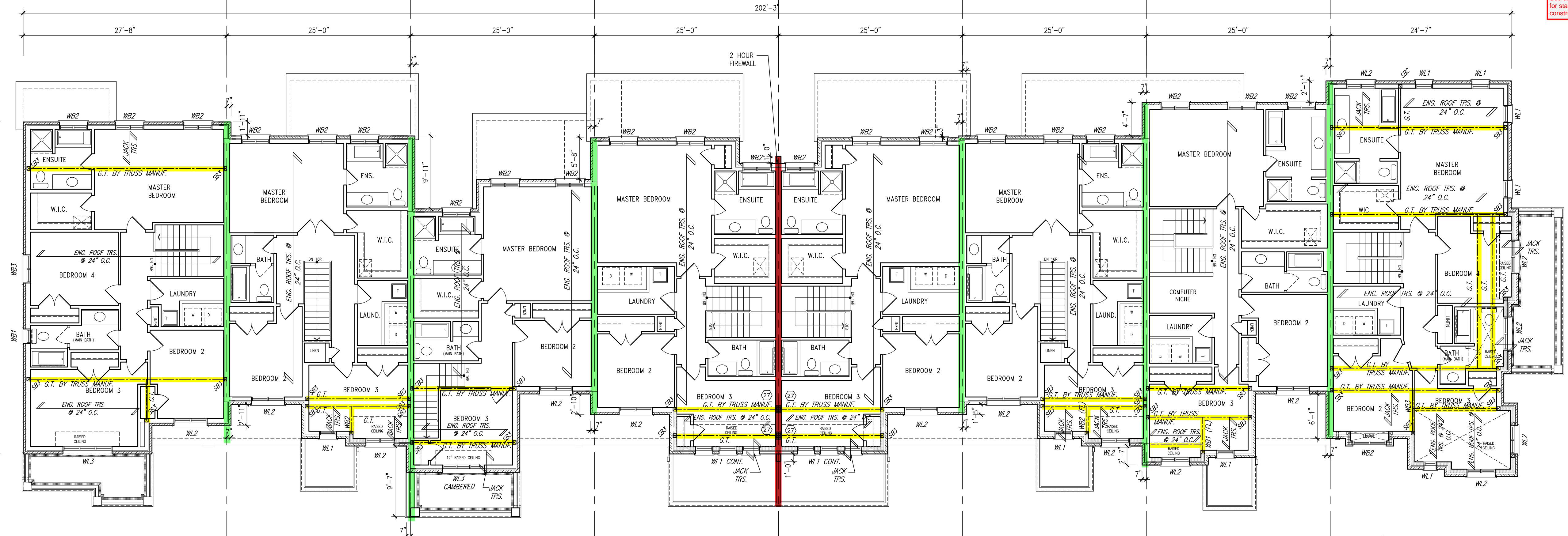
= 2 HOUR FIREWALL (NON-COMBUSTIBLE)
FIREWALL DETAILS
See standard details page 5 for standard firewall construction details
= 1 HOUR PARTY WALL (FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for omissions or errors in the plans, drawings or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Guidelines as approved by the Town of Milton.

ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams, Architect



330-1 IVY-7E ELEV. '2'
330-2 IVY-4 ELEV. '2' (REV.)
330-3 IVY-1 ELEV. '2'
330-4 IVY-3 ELEV. '2' (REV.)
330-5 IVY-3 ELEV. '2'
330-6 IVY-4 ELEV. '2' (REV.)
330-7 IVY-5 ELEV. '2'
330-8 IVY-12 ELEV. '2' (REV.)

SECOND FLOOR PLAN

BLOCK 330
ELEVATION 2

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5010
BUILDING REVIEWED
SCOTT SHERRIFFS
DATE
APR 20, 2017
RECEIVED
TOWN OF MILTON
MAR 23, 2017
17-5010
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	GM
2	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GM
3	ISSUED FOR PRICING	JAN 17/17	GM
4	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GM
5	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4182
vasdesign.com

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

The architect has reviewed and taken responsibility for the design and for the specifications and notes the requirements are set in the Ontario Building Code to be a design.

Richard Vink 24488
signature
Vik
signature
42858

Greenpark.
PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
TOWN OF MILTON 16015
PROJECT TYPE
BLOCK 330
BLOCK 330 PLANS
DATE
SEPTEMBER 2016
DRAWN BY
BT
CHECKED BY
CW
SCALE
1/8" = 1'-0"
SHEET NO.
B3
TOTAL SHEETS
16015-BLOCK-330



330-1 IVY-7E
ELEV. '2'

LEFT SIDE ELEVATION

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading



330-8 IVY-12
ELEV. '2' (REV.)

RIGHT SIDE ELEVATION

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF WINDOW
FIN. GROUND FLOOR
TOP OF SLAB

8'-1"
7'-0"
10'-1"
7'-10"
8'-6"



TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

8'-1"
7'-0"
10'-1"
7'-10"
8'-6"

REAR ELEVATION

2 HOUR FIREWALL
(NON-COMBUSTIBLE)
FIREWALL DETAILS
See standard details page 5
for standard firewalls
construction details

1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

8'-1"
7'-0"
10'-1"
7'-10"
8'-6"

FRONT ELEVATION

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

330-8 IVY-12
ELEV. '2' (REV.)

BLOCK 330
ELEVATION 2

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5010
BUILDING REVIEWED
SCOTT SHERRIFFS
DATE
APR 20, 2017
RECEIVED
TOWN OF MILTON
MAR 23, 2017
BUILDING DIVISION

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
construction details and specifications

It is the builder's complete responsibility
to ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
errors or omissions or for any damage or
injury resulting from the use of these plans or
building code or permit matter or that any
house can be properly built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams, Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	CM
2	ISSUED FOR PERMIT	FEB 02/17	CM
3	ISSUED FOR PERMIT	JAN 17/17	CM
4	ISSUED FOR PERMIT	DEC 13/16	CM
5	ISSUED FOR PERMIT	NOV 13/16	CM
6	ISSUED FOR PERMIT	OCT 13/16	CM
7	ISSUED FOR PERMIT	SEP 13/16	CM
8	ISSUED FOR PERMIT	AUG 13/16	CM
9	ISSUED FOR PERMIT	JUL 13/16	CM
10	ISSUED FOR PERMIT	JUN 13/16	CM

255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
vo3design.com

VA3
DESIGN

Greenpark.

LECCO RIDGE DEV. INC.

TOWN OF MILTON

BLOCK 330

SEPTEMBER 2016

B4