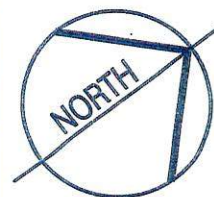


SANITARY CONNECTION  
W- WATER CONNECTION  
H- HYDRO CONNECTION  
DOUBLE CATCH BASIN  
CATCH BASIN  
HYDRANT  
VALVE AND CHAMBER  
GARAGE DOOR LOCATION  
ENGINEERED FILL LOT  
SANITARY MANHOLE  
STORM MANHOLE  
COMMUNITY MAILBOX  
DOWNSPOUT LOCATION  
SWALE DIRECTION  
TRANSFORMER  
CABLE TV PEDESTAL  
BELL PEDESTAL  
HYDRO METER  
GAS METER  
AIR-CONDITIONING UNIT  
SUMP PUMP  
T/WALL TOP OF FOUNDATION WALL  
F.SLAB FIN. BASEMENT FLOOR SLAB  
U/FTG. UNDERSIDE FOOTING ELEVATION  
PROPOSED 3:1 SLOPE  
100.00 PROPOSED GRADE  
(100.00) EXISTING GRADE  
SW  
\*100.00 PROPOSED SWALE GRADE



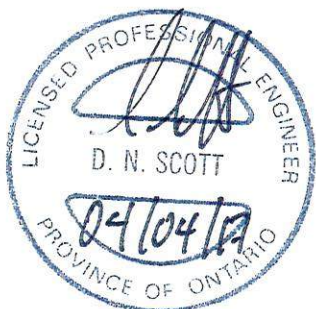
RECEIVED  
TOWN OF MILTON  
APR 7, 2017  
17-4676  
BUILDING DIVISION

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
RMD1\*223 ZONE  
ZONING: APPROVED  
ROBIN CAMPBELL APR 22, 2017  
ZONING OFFICER DATE

#### LEGEND

- 45 Min FRR
- 45 Min FRR w/NC Cladding
- Guard/Handrail as per 9.8.
- 2.07 m Backfill height as per 9.15.

Siting to be read in conjunction with reviewed main model drawings



SUMP PUMP TO  
DISCHARGE TO  
SPLASH PAD.

The MUNICIPAL INFRASTRUCTURE Group Ltd.

#### LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

LOT/BLK. NO.(S) LOT 94  
DATE: MAR 3 1 2017

5		
4		
3	FEB. 15, 2017	REV. AS PER CLIENTS COMMENTS AND ISSUED FOR PERMIT.
2	FEB. 9, 2017	REV. AS PER CLIENTS/ENG. AND ISSUED TO CLIENT FOR REVIEW
1	JAN. 18, 2017	ISSUED FOR ENGINEERS GRADING REVIEW.

#### REVISIONS:



SCALE 1:250



LECCO RIDGE DEVELOPMENTS INC.

PROJ. No. 16-12 MUNICIPAL ADDRESS

LOT No. 94

REG. PLAN

PART OF LOT 6 CONCESSION 2, NEW SURVEY  
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR)  
REGIONAL MUNICIPALITY OF HALTON  
20M-1184 TOWN OF MILTON



THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Boller 21031  
NAME SIGNATURE BCIN

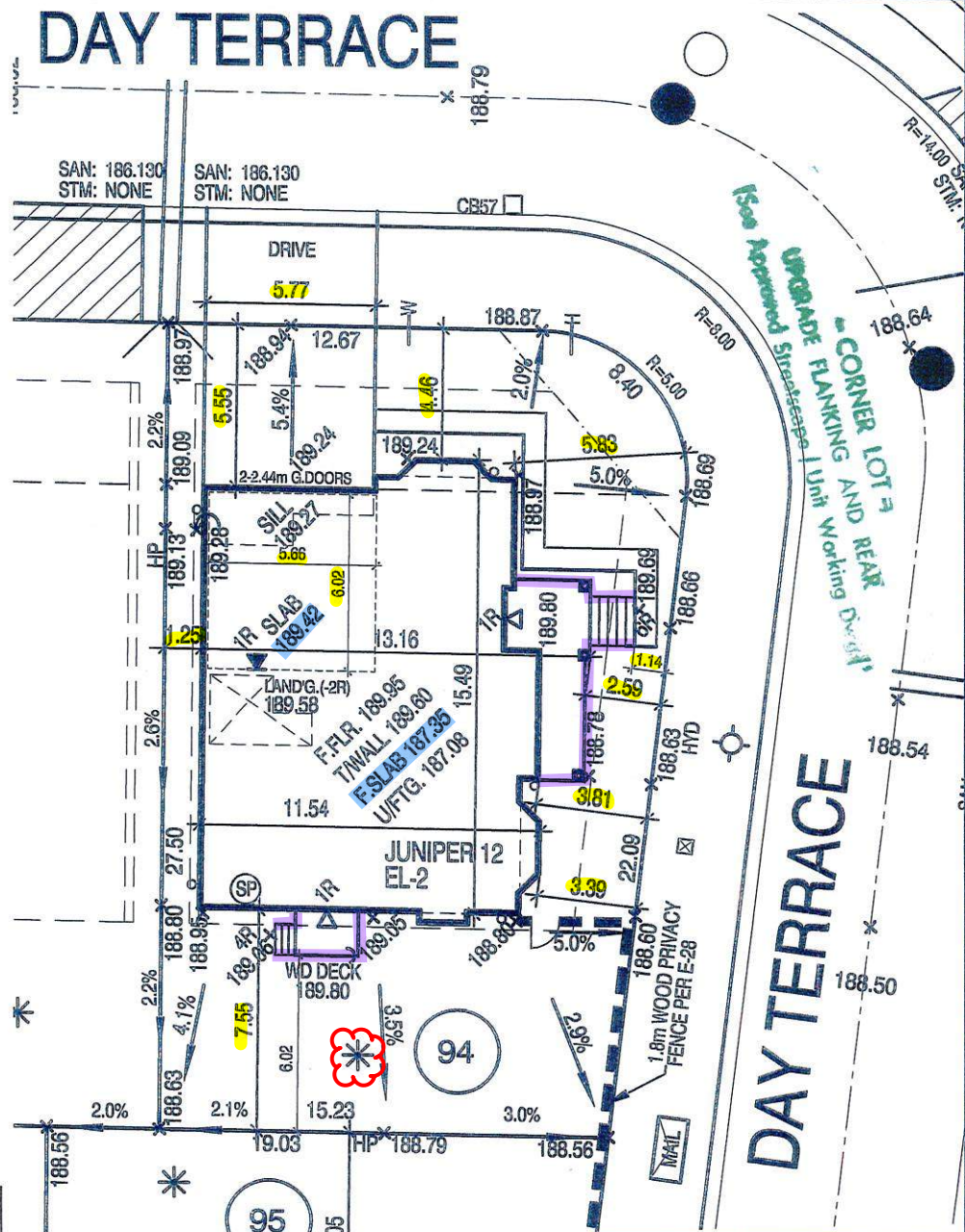
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763  
FIRM NAME BCIN

Jardin  
DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.



45 MINUTE RATED WALL  
WITH SIDE YARD < 1.2m

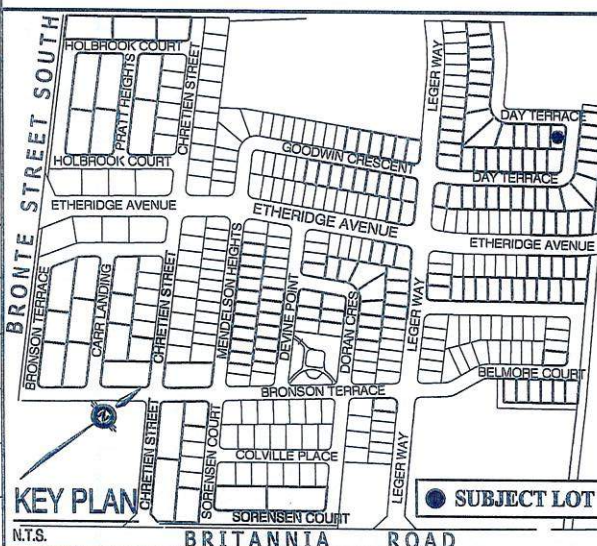
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 24 2017

John G. Williams Limited, Architect





- 

BLDG. DIVISION

**Town of Milton - Development Engineering**



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