

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.

BUILDING AREA
8863.29 S.F. (823.42 m²)

PAD FOOTINGS
120 KPa. NATIVE SOIL 90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (with REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS (with REINFORCEMENT) BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/13.0kPa FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

**REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING**

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

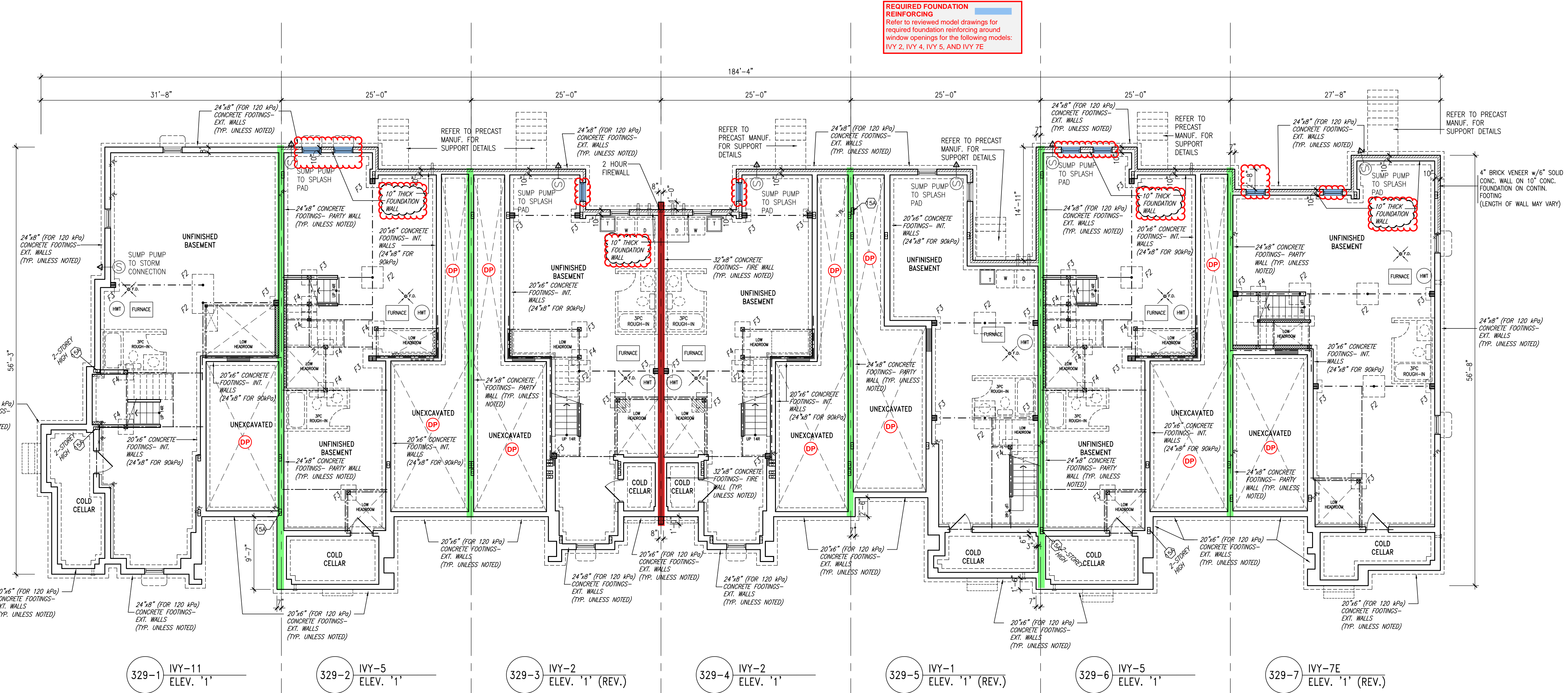
SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

← SUMP PUMP LOCATION

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ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams, Architect



BASEMENT PLAN

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5001
SCOTT SHERRIFFS APR 20, 2017
PLANS EXAMINER DATE

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5001
BUILDING DIVISION

Neither the issuance of a permit nor carrying out of operations by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario. Bylaws of the Region of Halton and Town of Milton.

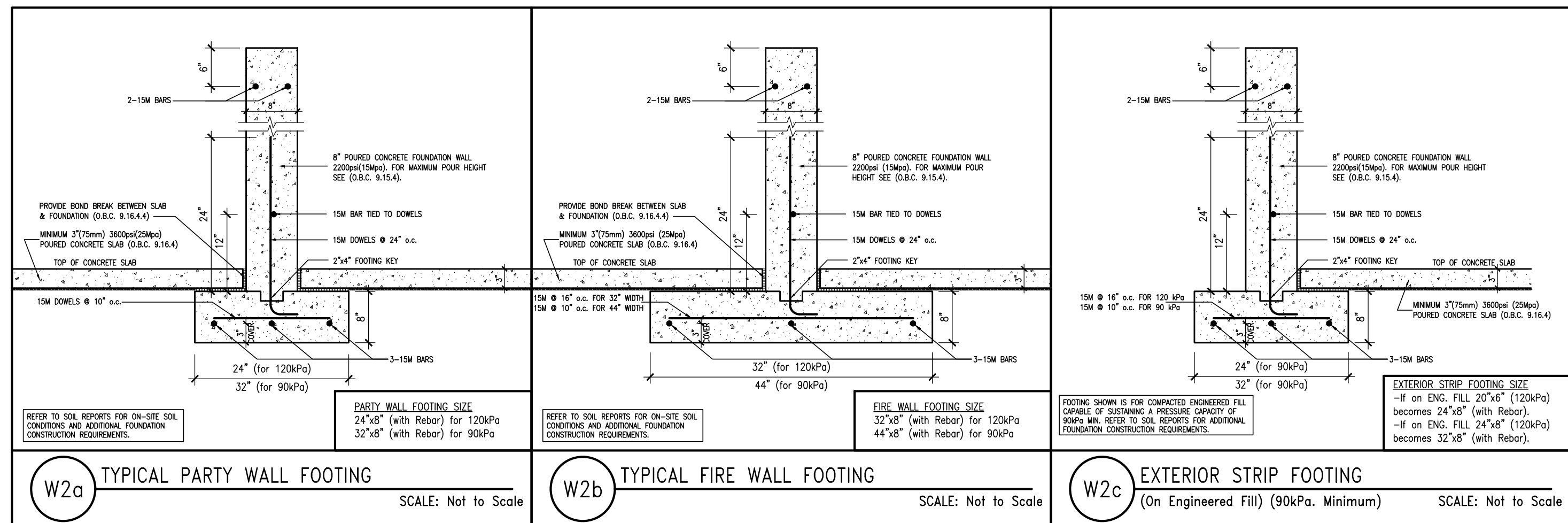
TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system.

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications.

FOUNDATION DAMPROOFING
DRAINAGE AND WEeping TILE (DP)
to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)

= 2 HOUR FIREWALL (NON-COMBUSTIBLE)
FIREWALL DETAILS
See standard details page 5 for standard fire wall construction details.

= 1 HOUR PARTY WALL (FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details.



NOTE:
REFER TO GRADING PLAN
FOR NUMBER OF STEPS.

BLOCK 329
ELEVATION 1

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t: 416.630.2255
f: 416.630.4182
vasdesign.com

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The architect has reviewed and taken responsibility for the design and construction of the building and its components. The architect is not responsible for the design and construction of the building and its components. The architect is not responsible for the design and construction of the building and its components.

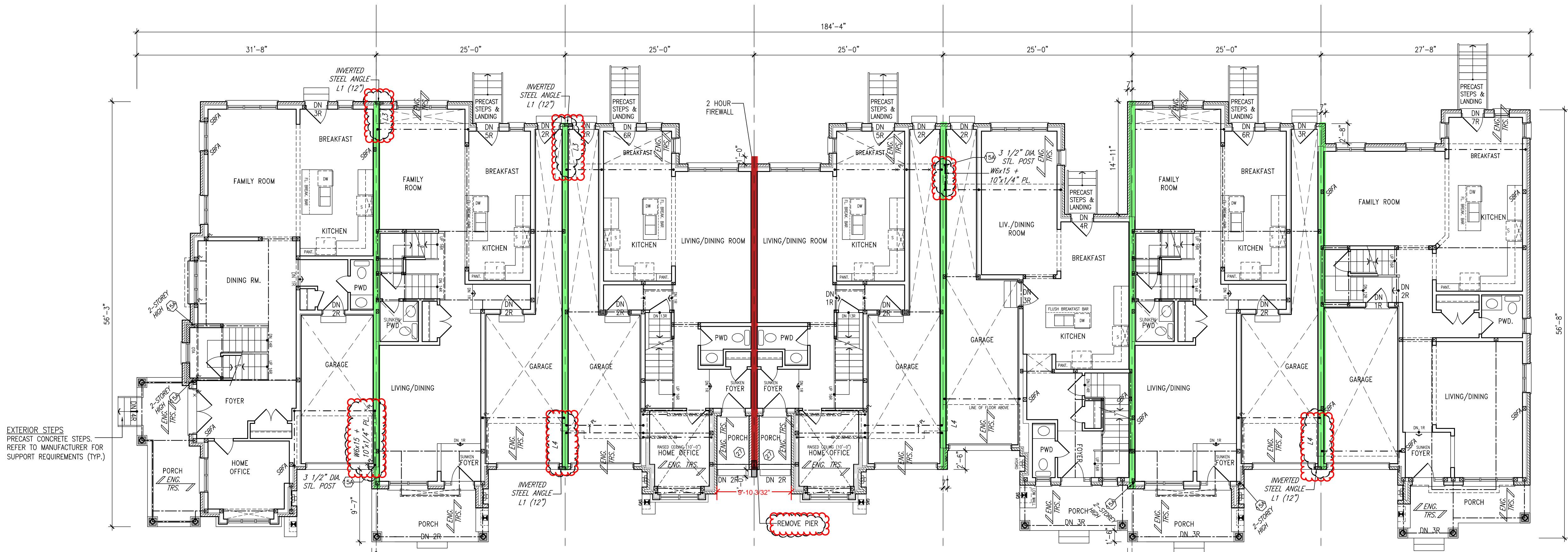
Richard Vink 24488
signature
VAS Design Inc. 42658

Greenpark.

LECCO RIDGE DEV. INC.
PROJECT NO. 16015
TOWN OF MILTON

IVY SERIES **BLOCK 329**

BLOCK 329 PLANS
SEPTEMBER 2016 1/8" = 1'-0" 42658
drawn by CW checked by CW
16015-BLOCK-329



GROUND FLOOR PLAN

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5001
BUILT: REVIEWED
SCOTT SHERRIFFS
APR 20, 2017
PLANS EXAMINER

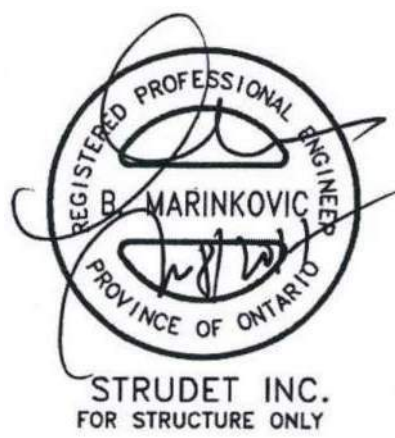
RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5001
BUILDING DIVISION

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2 HOUR FIREWALL (NON-COMBUSTIBLE)
FIREWALL DETAILS
See standard details page 5 for standard firewall construction details.

1 HOUR PARTY WALL (FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details.



BLOCK 329
ELEVATION 1

BUILDING AREA
8863.29 S.F. (823.42 m²)

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120 KPa, NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
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VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/ PARTY WALL.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for omissions or errors in the building plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams, Architect

10	ISSUED FOR PERMIT	MAR 01/17/17	GM
9	SUMP PUMP LOCATIONS ADDED	FEB 02/17/17	GM
8	ISSUED FOR PERMIT	JAN 17/17/17	GM
7	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16/16	GM
6	ISSUED FOR CLIENT REVIEW		
5			
4			
3			
2			
1			
0	description	date	by

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
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F 416.630.4182
vasdesign.com

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The drawings have been reviewed and taken responsibility for the design and for the specifications and notes. The drawings are to be used in the construction of the building. Building Code is to be followed.

Richard Vink
signature
24488
42858

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

TOWN OF MILTON

PROJECT NAME
BLOCK 329

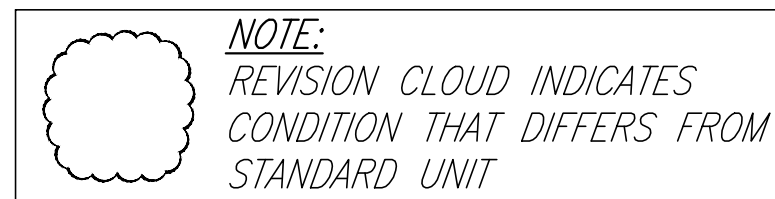
PROJECT NO.
16015-BLOCK-329

DATE
SEPTEMBER 2016

SCALE
1/8" = 1'-0"

BY
GM

B2



329-1 IVY-11
ELEV. '1'

329-2 IVY-5
ELEV. '1'

329-3 IVY-2
ELEV. '1' (REV.)

329-4 IVY-2
ELEV. '1'

329-5 IVY-1
ELEV. '1' (REV.)

329-6 IVY-5
ELEV. '1'

329-7 IVY-7E
ELEV. '1' (REV.)



329-1 IVY-11
ELEV. '1'

329-2 IVY-5
ELEV. '1'

329-3 IVY-2
ELEV. '1' (REV.)

329-4 IVY-2
ELEV. '1'

329-5 IVY-1
ELEV. '1' (REV.)

329-6 IVY-5
ELEV. '1'

329-7 IVY-7E
ELEV. '1' (REV.)

	TOWN OF MILTON PLANNING AND DEVELOPMENT BUILDING PERMIT: 17-5001		RECEIVED TOWN OF MILTON MAR 29, 2017 17-5001 BUILDING DIVISION
	BUILDING: REVIEWED SCOTT SHERRIFFS	APR 20, 2017 PLANS EXAMINER	DATE

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams, Licensed Architect


10					
9					
8					
7					
6					
5					
4					
3					
2					
1					
	ISSUED FOR PERMIT.			MAR. 01/17	CM
	SUMP PUMP LOCATIONS ADDED.			FEB. 02/17	CM
	ISSUED FOR PRICING.			JAN. 17/17	CM
	2 REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS			DEC. 15/16/17	CM
	ISSUED FOR CLIENT REVIEW			DATE	BY

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Dimensions are not to be scaled.

VA3
DESIGN

255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
va3design.com

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	<p>qualification information</p> <p>Richard Vink</p> <p>name</p> <p>signature</p> <p>registration information</p> <p>VAS Design Inc.</p>	<p>24488</p> <p>(BC)</p> <p>42658</p>

 Greenpark.			
project name			
LECCO RIDGE DEV. INC.			
municipality			
TOWN OF MILTON			
ppl. name		project no.	
IVY SERIES		16015	
		split no.	
		BLOCK 329	
		PLANS	
file		drawing no.	
SEPTEMBER 2016		B3	
drawn by	checked by	scale	
MT	GW	1/8" = 1'-0"	
		16015-BLOCK-329	



329-1 IVY-11
ELEV. '1'

LEFT SIDE ELEVATION

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading



329-7 IVY-7E
ELEV. '1' (REV.)

RIGHT SIDE ELEVATION

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

8'-1"
7'-0"
10'-1"
8'-6"

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-5001
BUILDING REVIEWED
SCOTT SHERRIFFS
DATE
APR 20, 2017
PLANNING EXAMINER

RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-5001
BUILDING DIVISION

TOWNHOUSE MODELS
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model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
construction details and specifications



329-7 IVY-7E
ELEV. '1' (REV.)

329-6 IVY-5
ELEV. '1'

329-5 IVY-1
ELEV. '1' (REV.)

329-4 IVY-2
ELEV. '1'

329-3 IVY-2
ELEV. '1' (REV.)

329-2 IVY-5
ELEV. '1'

329-1 IVY-11
ELEV. '1'

REAR ELEVATION

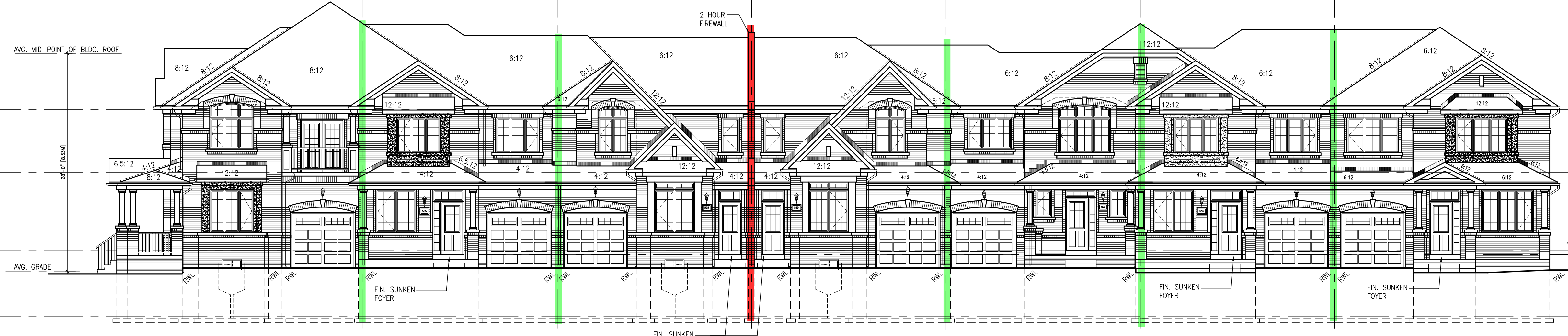
2 HOUR FIREWALL
(NON-COMBUSTIBLE)
FIREWALL DETAILS
See standard details page 5
for standard firewall
construction details

1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

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MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect



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ELEV. '1'

329-2 IVY-5
ELEV. '1'

329-3 IVY-2
ELEV. '1' (REV.)

329-4 IVY-2
ELEV. '1'

329-5 IVY-1
ELEV. '1' (REV.)

329-6 IVY-5
ELEV. '1'

329-7 IVY-7E
ELEV. '1' (REV.)

FRONT ELEVATION

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

BLOCK 329
ELEVATION 1

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	CM
2	ISSUED FOR PERMIT	FEB 02/17	CM
3	ISSUED FOR PERMIT	JAN 17/17	CM
4	ISSUED FOR PERMIT	DEC 13/16	CM
5	ISSUED FOR PERMIT	NOV 13/16	CM
6	ISSUED FOR PERMIT	OCT 13/16	CM
7	ISSUED FOR PERMIT	SEP 13/16	CM
8	ISSUED FOR PERMIT	AUG 13/16	CM
9	ISSUED FOR PERMIT	JUL 13/16	CM
10	ISSUED FOR PERMIT	JUN 13/16	CM

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Greenpark.
LECCO RIDGE DEV. INC.
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16015
BLOCK 329
ELEVATIONS
B4