

- STORM CONNECTION  
 --- SANITARY CONNECTION  
 W- WATER CONNECTION  
 H- HYDRO CONNECTION  
 □ DOUBLE CATCH BASIN  
 □ CATCH BASIN  
 ○ HYDRANT  
 ⊗ VALVE AND CHAMBER  
 △ ENTRANCE DOOR LOCATION  
 ▲ GARAGE DOOR LOCATION  
 \* ENGINEERED FILL LOT  
 ○ SANITARY MANHOLE  
 ○ STORM MANHOLE  
 [MAIL] COMMUNITY MAILBOX  
 ○ DOWNSPOUT LOCATION  
 ← SWALE DIRECTION  
 ● STREET LIGHT  
 ▲ TRANSFORMER  
 □ CABLE TV PEDESTAL  
 ■ BELL PEDESTAL  
 [H] HYDRO METER  
 ◇ GAS METER  
 □ AIR-CONDITIONING UNIT  
 (SP) SUMP PUMP  
 F.FLR. FINISHED FLOOR ELEVATION  
 T/WALL TOP OF FOUNDATION WALL  
 F.SLAB FIN. BASEMENT FLOOR SLAB  
 U/FTG. UNDERSIDE FOOTING ELEVATION  
 100.00 PROPOSED 3:1 SLOPE  
 (100.00) PROPOSED GRADE  
 (100.00) EXISTING GRADE  
 SW ×100.00 PROPOSED SWALE GRADE



17-6203

DAY TERRACE

LOT GRADING APPROVED

MAY 18 2017

Town of Milton - Development Engineering

RECEIVED  
TOWN OF MILTON

MAY 11 2017

BLDG. DIVISION



SUMP PUMP TO  
DISCHARGE TO SIDE  
SPLASH PAD.

The MUNICIPAL INFRASTRUCTURE Group Ltd.

LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

LOT/BLK. NO.(S) Lot 91

DATE: MAY 02 2017

5	
4	
3	APR. 27, 2017 REV. AS PER CLIENT'S COMMENTS AND RE-ISSUED FOR PERMIT.
2	APR. 11, 2017 REV. AS PER CLIENTS/ENG. AND ISSUED FOR PERMIT
1	MAR. 28, 2017 ISSUED FOR ENGINEERS GRADING REVIEW.

REVISIONS:

**Greenpark.**

SCALE 1:250



LECCO RIDGE DEVELOPMENTS INC.

PROJ. No. 16-12

MUNICIPAL ADDRESS

LOT No. 91



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763  
FIRM NAME BCIN

**jardin**  
DESIGN GROUP INC.

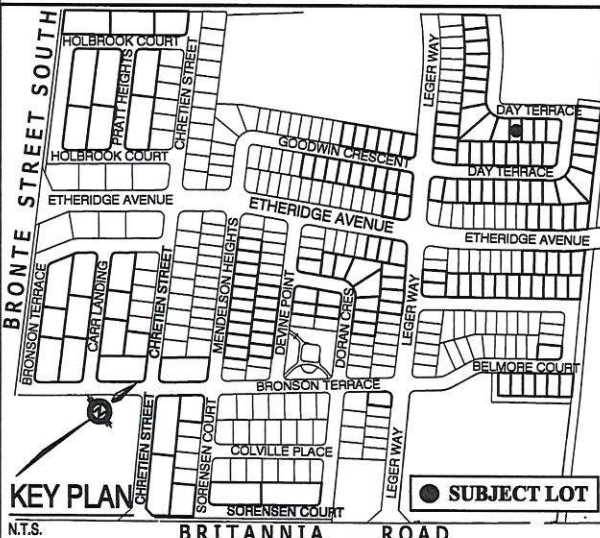
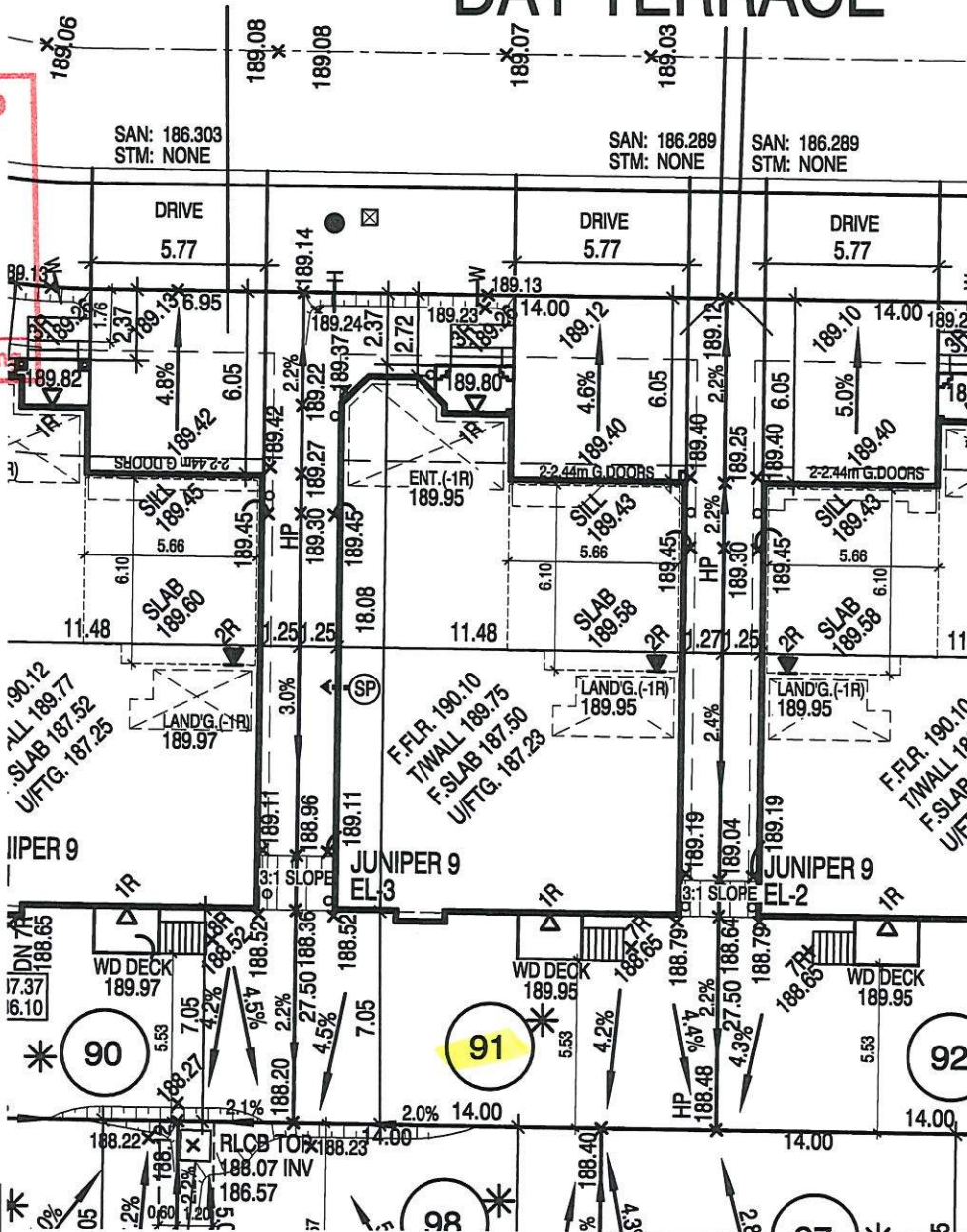
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3771  
EMAIL: info@jardindesign.ca

REG. PLAN

PART OF LOT 6 CONCESSION 2, NEW SURVEY  
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR)  
REGIONAL MUNICIPALITY OF HALTON  
20M-1184 TOWN OF MILTON

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS  
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THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALE



45 MINUTE RATED WALL  
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

APR 28 2017

John G. Williams Limited, Architect



---

STORM CONNECTION

---

SANITARY CONNECTION

W---

WATER CONNECTION

H---

□

□

⊙

⊗

△

ENTRANCE DOOR LOCATION

▲

✱

●

○

MAIL

○

→

●

STREET LIGHT

▲

⊠

■

⊠

⊠

⊠

SP

F.FLR.

FINISHED FLOOR ELEVATION

T/WALL

F.SLAB

U/FTG.

|||||

100.00

(100.00)

×100.00

NORTH

RECEIVED  
TOWN OF MILTON  
MAY 11, 2017  
17-6203  
BUILDING DIVISION

**LEGEND**

45 Min FRR  
 45 Min FRR w/NC Cladding  
 Guard/Handrail as per 9.8.  
 2.08m Backfill height as per 9.15.  
 Siting to be read in conjunction with reviewed main model drawings

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
RMD1\*223 ZONE

**ZONING: APPROVED**  
Sherri Jamieson MAY 17, 2017  
ZONING OFFICER DATE



**SUMP PUMP TO DISCHARGE TO SIDE SPLASH PAD.**

**The MUNICIPAL INFRASTRUCTURE Group Ltd.**

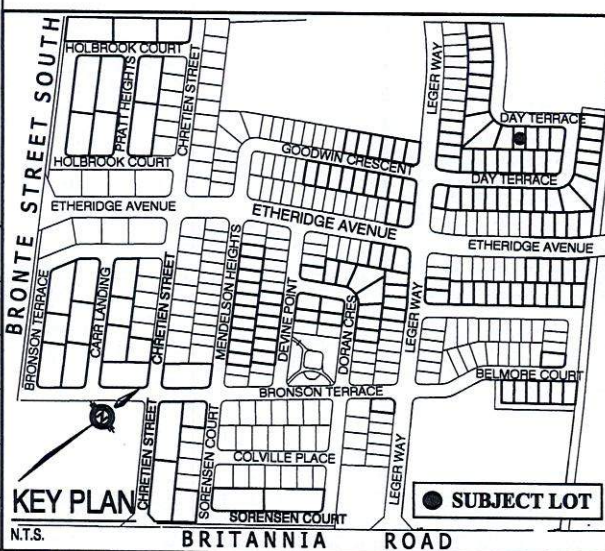
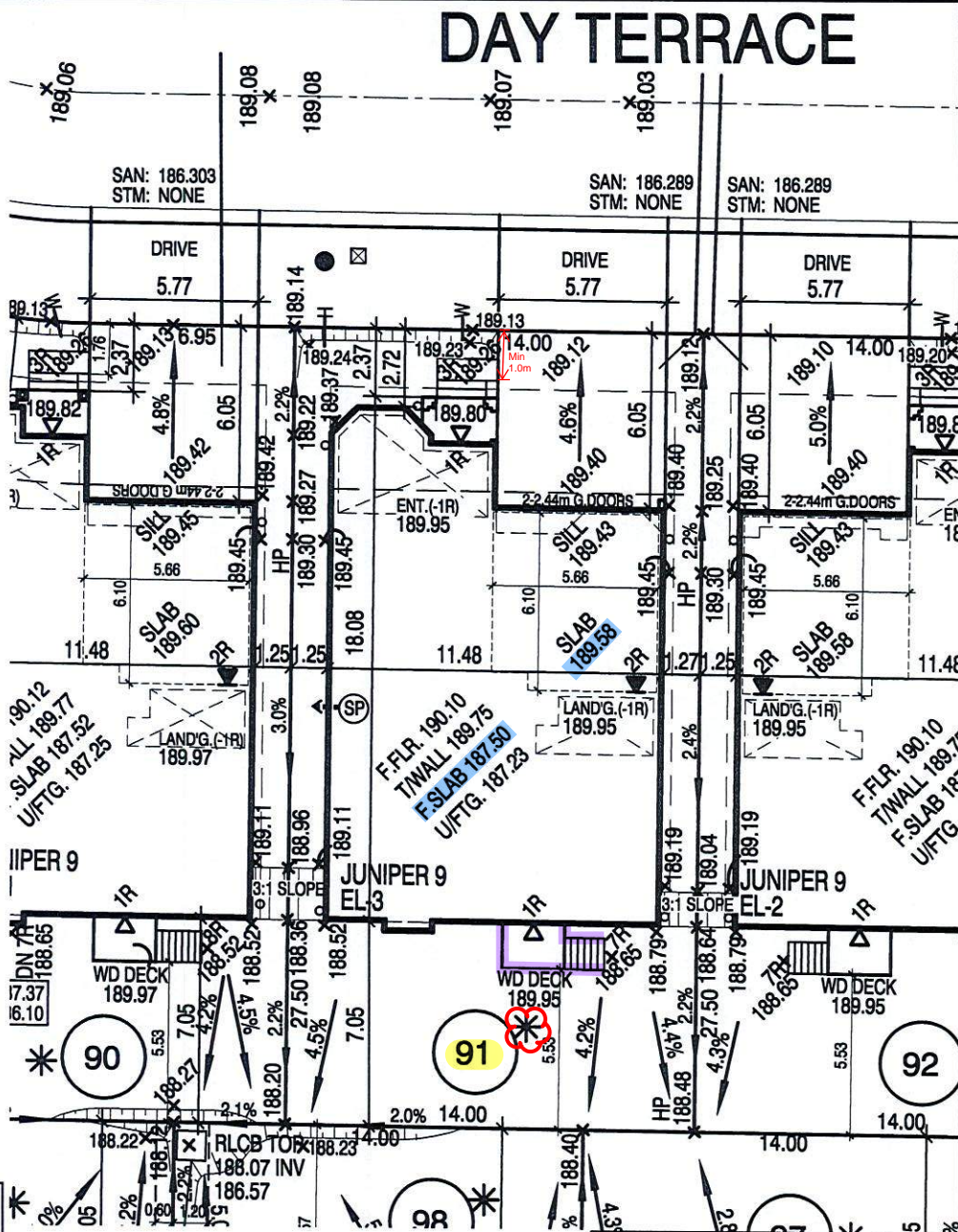
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**REVISIONS:**



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ARCHITECTURAL REVIEW & APPROVAL  
APR 28 2017  
John G. Williams Limited, Architect



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PROJ. No. 16-12 MUNICIPAL ADDRESS  
LOT No. 91



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Jardin design group inc. 27763  
FIRM NAME BCIN

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