 NOTE:  
CLOUD INDICATES CONDITION  
THAT DIFFERS FROM STANDARD  
UNIT.

BUILDING AREA  
10037.16 S.F. (932.48 m2)

PAD FOOTINGS		90 KPa. ENGINEERED FILL SOIL	
20 KPa. NATIVE SOIL			
1 = 42"x42"x18" CONCRETE PAD		F1 = 48"x48"x20" CONCRETE PAD	
2 = 36"x36"x16" CONCRETE PAD		F2 = 40"x40"x16" CONCRETE PAD	
3 = 30"x30"x12" CONCRETE PAD		F3 = 34"x34"x14" CONCRETE PAD	
4 = 24"x24"x12" CONCRETE PAD		F4 = 28"x28"x12" CONCRETE PAD	
5 = 16"x16"x8" CONCRETE PAD		F5 = 18"x18"x8" CONCRETE PAD	

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS – FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 kPa.)  
 20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
 24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).  
 24"x8" CONCRETE STRIP FOOTINGS (with REINF.) BELOW PARTY WALLS.  
 32"x8" CONCRETE STRIP FOOTINGS (with REINF.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 kPa.)

24"x8" CONCRETE STRIP FOOTINGS--with REINFORCEMENT, AS NOTED ON PLAN

24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS--with REINFORCEMENT (UNLESS OTHERWISE NOTED).

24"x8" CONCRETE STRIP FOOTINGS--with REINFORCEMENT BELOW PARTY WALLS.

24"x8" CONCRETE STRIP FOOTINGS--with REINFORCEMENT BELOW FIRE WALLS. (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kpa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL

OR 90kpa/ 13.0psi FOR ENGINEERED FILL

SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

**VENEEER CUT**  
WHEN VENEER CUT IS GREATER  
THAN 26", A 10" POURED  
CONCRETE FOUNDATION WALL IS  
REQUIRED.

REFER TO INDIVIDUAL UNITS  
FOR THE FOLLOWING

- GROUND FLOOR ROOF
- STRUCTURE
- BASEMENT AND GROUND
- FLOOR LINTELS
- GROUND FLOOR AND
- SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL
- LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:  
ROOF TRUSSES AND  
SECOND FLOOR LINTELS  
SHOWN ON BLOCK PLANS

SOFFIT VENTING  
NO SOFFIT VENTING AT ROOF  
OVERLAP OF DEMISING LINE/  
PARTY WALL.

◀ (S) SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site layout plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams Limited, Architect

ISSUED FOR PERMIT.	MAR. 01/17	CM
SUMP PUMP LOCATIONS ADDED.	FEB. 02/17	CM
ISSUED FOR PRICING.	JAN. 17/17	CM
REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16	CM
ISSUED FOR CLIENT REVIEW		
description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3**  
**DESIGN**

255 Consumers Rd  
Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255  
f 416.630.4782  
va3design.com

drawings specifications, related cuments and design are the ight property of VAS DESIGN. production of this property in ole or in part is strictly hibited without VAS DESIGN's then permission.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
	qualification information Richard Vink name registration information VAS3 Design Inc.	 signature

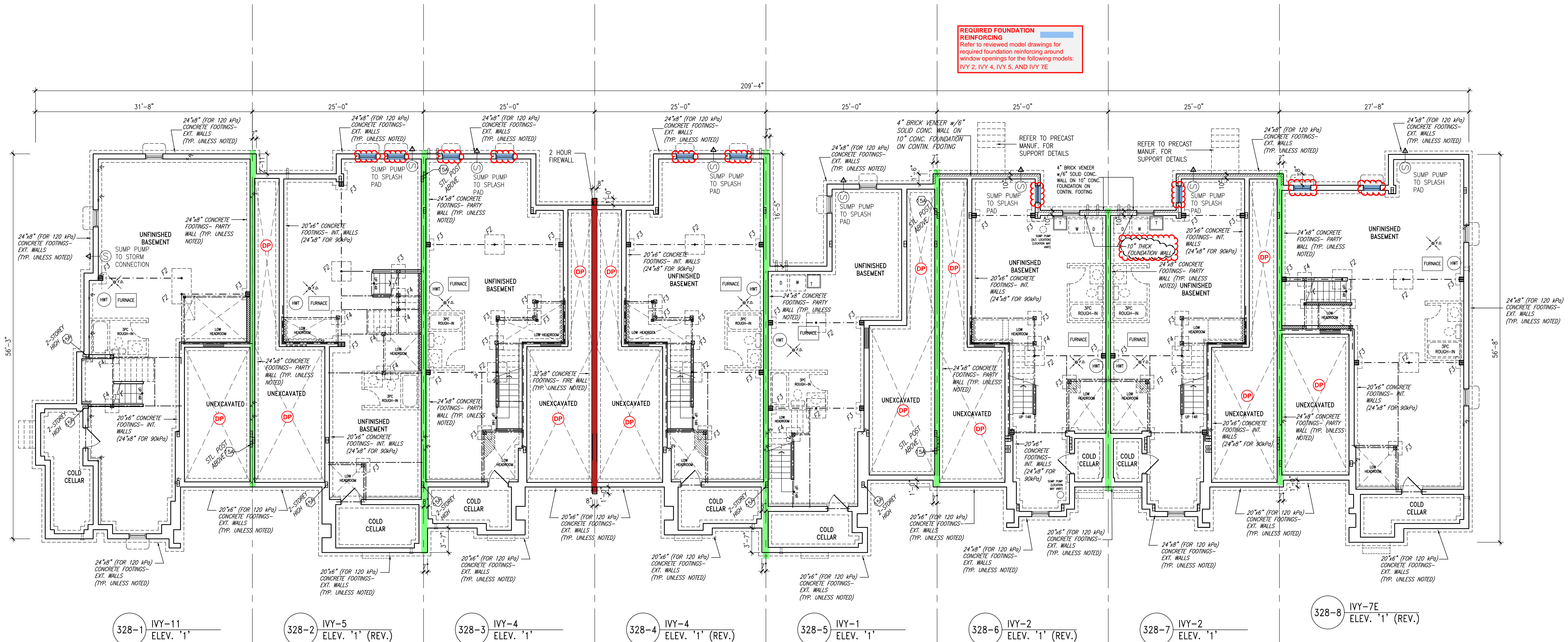


project name	ECCO RIDGE DEV. INC.	project no.
municipality	TOWN OF MILTON	16015

BLOCK 328  
 UNIT NO. 18013

BLOCK 328 PLANS		scale	drawing no.
DATE	1/8" = 1'-0"		B1
DESIGNED BY	CHECKED BY	FILE NAME	
SEPTEMBER 2016			

GW	16015-BLOCK-328	DI
----	-----------------	----



BASEMENT PLAN

	<b>TOWN OF MILTON</b> <b>PLANNING AND DEVELOPMENT</b> <b>BUILDING PERMIT: 17-4990</b>		<b>RECEIVED</b> <b>TOWN OF MILTON</b> <b>MAR 29, 2017</b> <b>17-4990</b>
	<b>BUILDING: REVIEWED</b>		
	<b>SCOTT SHERIFFS</b>	<b>APR 19, 2017</b>	
	<b>PLANS EXAMINER</b>	<b>DATE</b>	<b>BUILDING DIVISION</b>

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, and as well as other applicable statutes and regulations of the Province of Ontario. By-laws of the Region of Halton and Town of Milton

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

**GENERAL NOTES/CONSTRUCTION DETAILS:**  
Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

**2 HOUR FIREWALL  
(NON-COMBUSTIBLE)**

**FIREWALL DETAILS**  
See standard details page 5  
for standard firewall  
construction details.

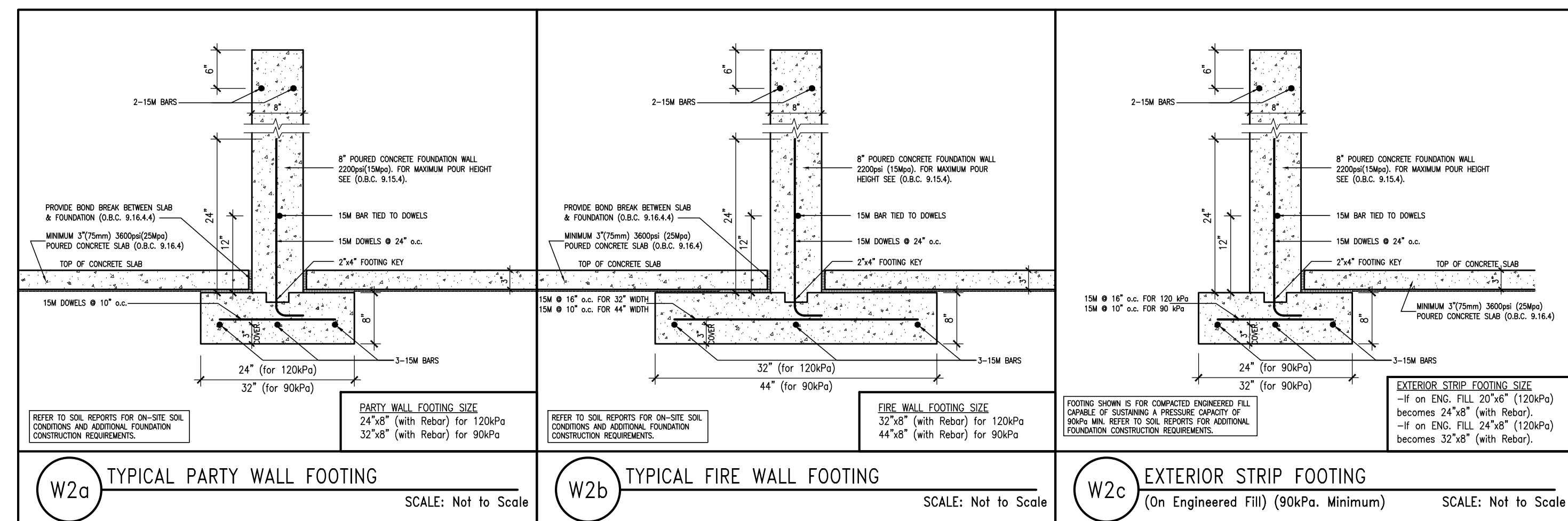
**PARTY WALL DETAILS**  
See standard details page 4  
for standard party wall  
construction details

**FOUNDATION DAMPROOFING DRAINAGE AND WEEPING TILE** (DP)  
to be installed on foundation walls separating basement space from unexcavated areas (under porches and attached garage slabs)



STRUDET INC  
FOR STRUCTURE ONLY

FOR STRUCTURE ONLY



NOTE:  
REFER TO GRADING PLAN  
FOR NUMBER OF STEPS.

BLOCK 328  
ELEVATION 1

**VA3**  
**DESIGN**

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Toronto ON M2J 1R4  
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f 416.630.4782  
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	qualification information Richard Vink name registration information VAS3 Design Inc.	 signature



project name	ECCO RIDGE DEV. INC.	project no.
municipality	TOWN OF MILTON	16015

unit no. **BLOCK 328**

BLOCK 328 PLANS		scale	drawing no.
DATE	1/8" = 1'-0"		B1
DESIGNED BY	CHECKED BY	FILE NAME	
SEPTEMBER 2016			

GW	16015-BLOCK-328	DI
----	-----------------	----



NOTE:  
CLOUD INDICATES CONDITION  
THAT DIFFERS FROM STANDARD  
UNIT.

BUILDING AREA  
10037.16 S.F. (932.48 m<sup>2</sup>)

**PAD FOOTINGS**  
120 KPa, NATIVE SOIL  
F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD  
90 KPa, ENGINEERED FILL SOIL  
F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES**

**FOOTINGS ON NATIVE SOIL (120 KPa.)**  
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).

**FOOTINGS ON ENGINEERED FILL (90 KPa.)**

24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN  
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).  
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.  
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.  
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kPa SOIL BEARING CAPACITY FOR NATIVE SOIL  
OR 90KPa/13.0kPa FOR ENGINEERED FILL  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

**VENEER CUT**  
WHEN VENEER CUT IS GREATER  
THAN 26", A 10" POURED  
CONCRETE FOUNDATION WALL IS  
REQUIRED.

**REFER TO INDIVIDUAL UNITS  
FOR THE FOLLOWING**

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND  
SECOND FLOOR LINTELS  
SHOWN ON BLOCK PLANS

**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF  
OVERLAP OF DEMISING LINE/  
PARTY WALL.

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Council Architect

10	-	-	-
9	-	-	-
8	-	-	-
7	-	-	-
6	-	-	-
5	-	-	-
4	ISSUED FOR PERMIT	MAR 01/17/17	GM
3	SUMP PUMP LOCATIONS ADDED	FEB 02/17/17	GM
2	ISSUED FOR PRICING	JAN 17/17/17	GM
1	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16/16	GM
0	ISSUED FOR CLIENT REVIEW	-	-
0	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

**VAS DESIGN**  
255 Consumers Rd  
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Toronto, ON M2J 1R4  
t 416.630.2255  
f 416.630.4182  
vasdesign.com

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Richard Vink  
signature  
24488  
42658

**Greenpark.**

PROJECT NAME  
**LECCO RIDGE DEV. INC.**

PROJECT NO.  
TOWN OF MILTON  
16015

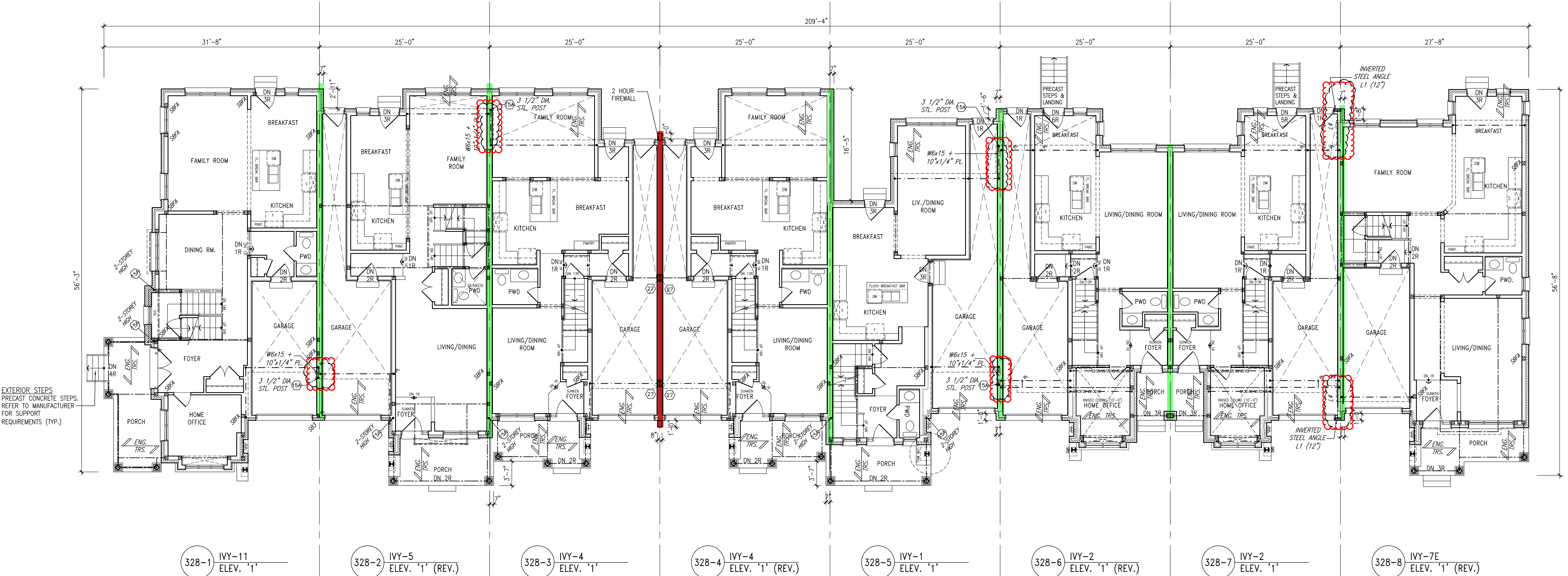
IVY SERIES  
**BLOCK 328**

BLOCK 328 PLANS  
SEPTEMBER 2016  
1/8" = 1'-0"

drawn by  
checked by  
DATE  
16015-BLOCK-328



BLOCK 328  
ELEVATION 1



GROUND FLOOR PLAN

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-4990  
BUILDING REVIEWED  
SCOTT SHERIFFS  
APR 19, 2017  
PLANS EXAMINER  
DATE

**RECEIVED**  
TOWN OF MILTON  
MAR 29, 2017  
17-4990  
BUILDING DIVISION

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system.

**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications.

**2 HOUR FIREWALL  
(NON-COMBUSTIBLE)**  
FIREWALL DETAILS  
See standard details page 5  
for standard firewall  
construction details

**1 HOUR PARTY WALL  
(FIRE SEPARATION)**  
PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details



NOTE:  
CLOUD INDICATES CONDITION  
THAT DIFFERS FROM STANDARD  
UNIT.

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT-17-4990

BUILDING REVIEWED  
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1 HOUR PARTY WALL  
(FIRE SEPARATION)  
PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details  
2 HOUR FIREWALL  
(NON-COMBUSTIBLE)  
FIREWALL DETAILS  
See standard details page 5  
for standard firewall  
construction details

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5	ISSUED FOR CLIENT REVIEW		
6	DESCRIPTION	DATE	BY

VAD  
DESIGN

255 Consumers Rd  
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f 416.630.4782  
v3design.com

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The architect has reviewed and taken responsibility for the design and for the qualifications and experience of the registrants as set in the Ontario Building Code to be a professional engineer.

Richard Vink  
signature  
24489  
CM

Richard Vink  
signature  
24489  
CM

Greenpark.

PROJECT NAME  
LECCO RIDGE DEV. INC.

PROJECT NO.  
TOWN OF MILTON  
16015

PROJECT TYPE  
BLOCK 328  
BLOCK 328 PLANS

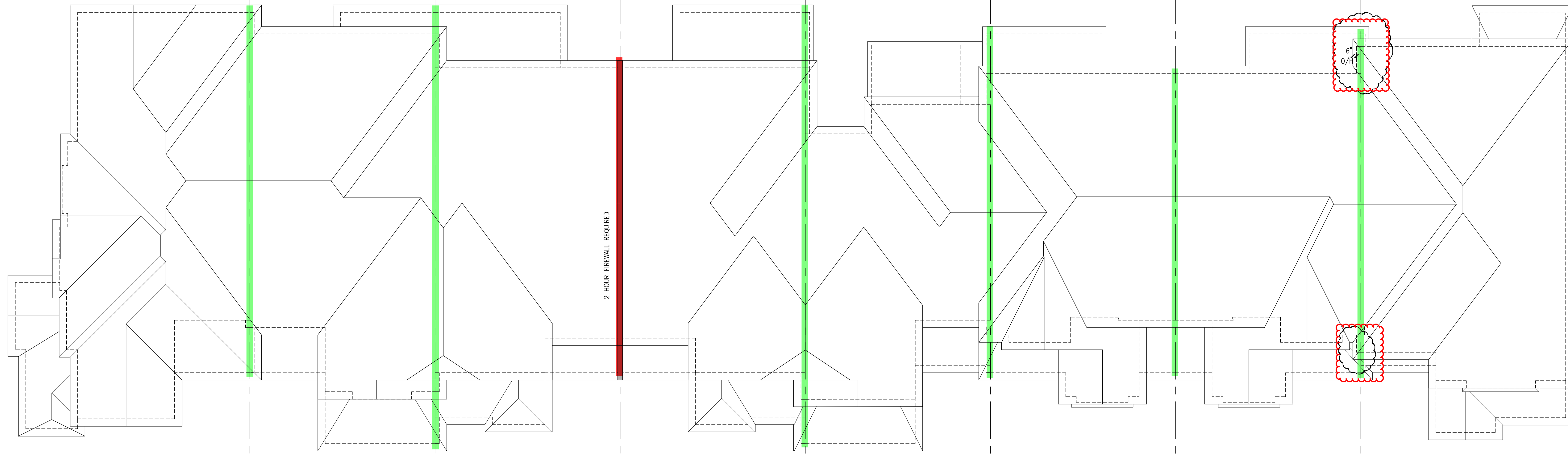
ISSUED FOR PERMIT  
SEPTEMBER 2016

checked by  
1/8" = 1'-0"

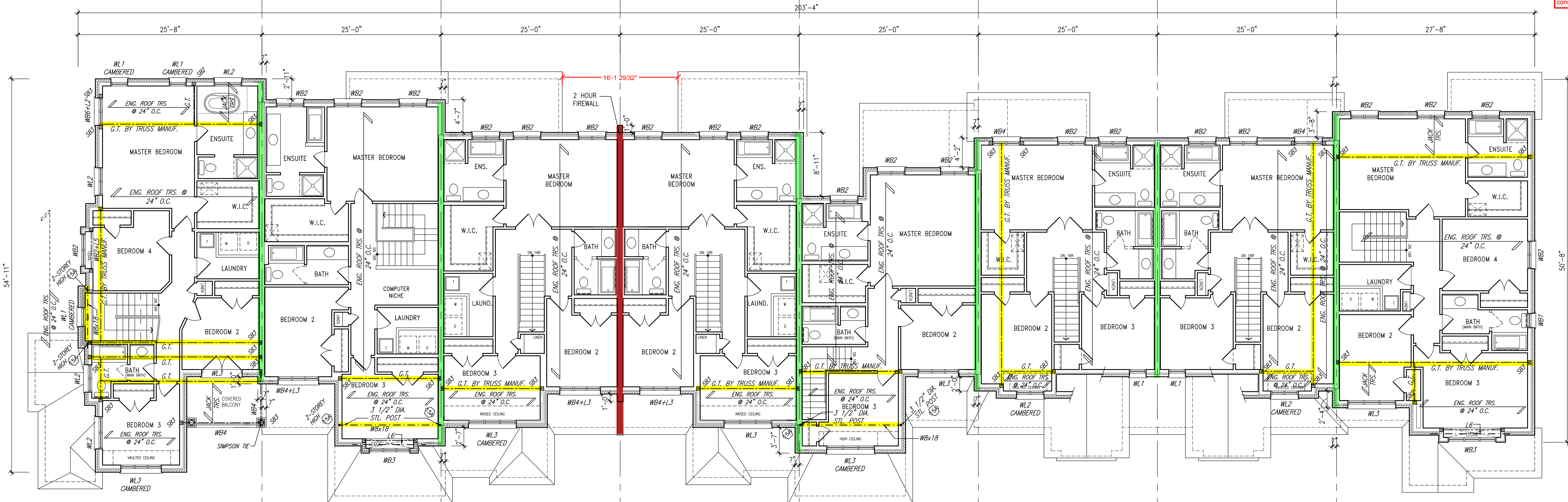
drawn by  
16015-BLOCK-328

DATE  
16015-BLOCK-328

BY  
B3



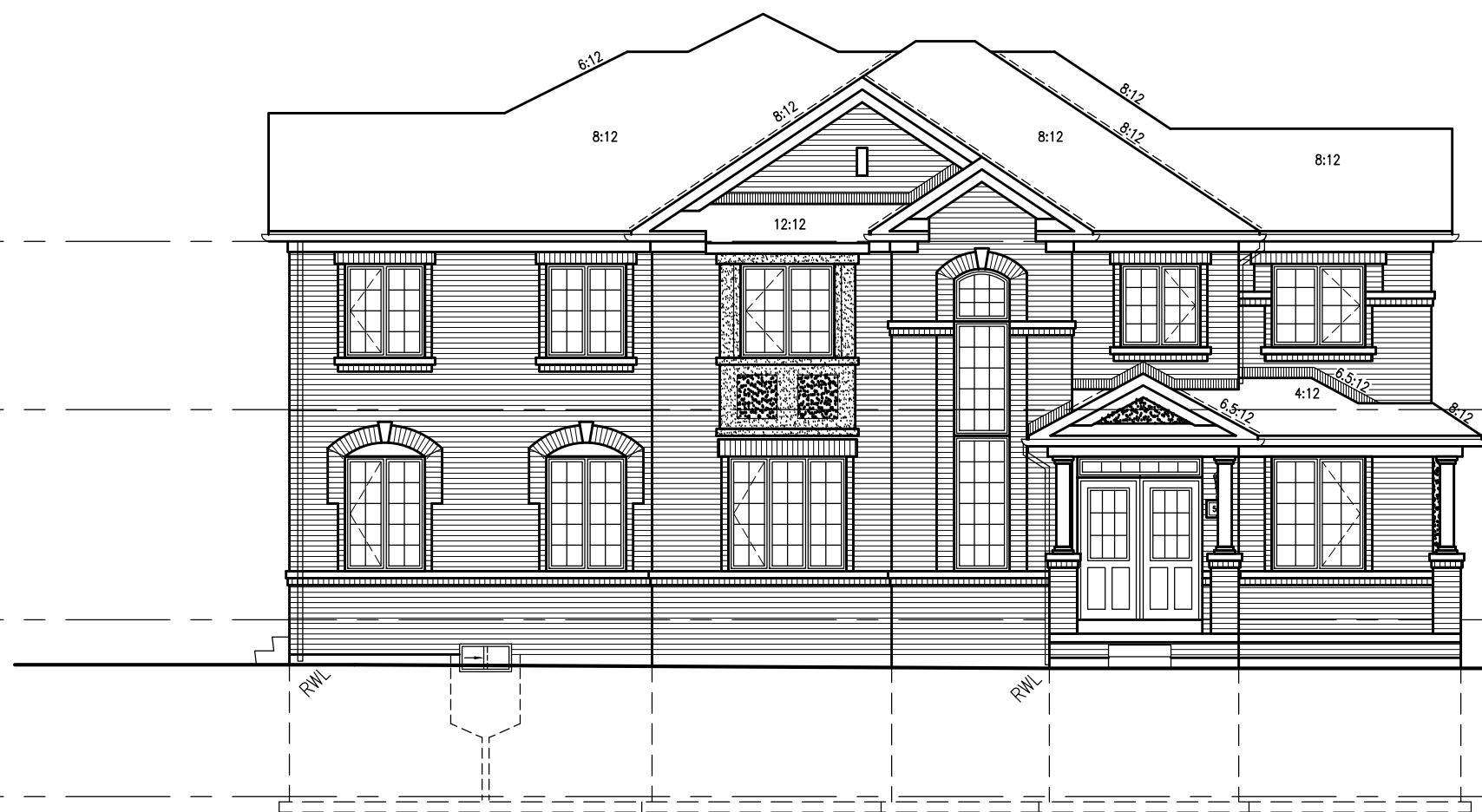
ROOF PLAN



SECOND FLOOR PLAN

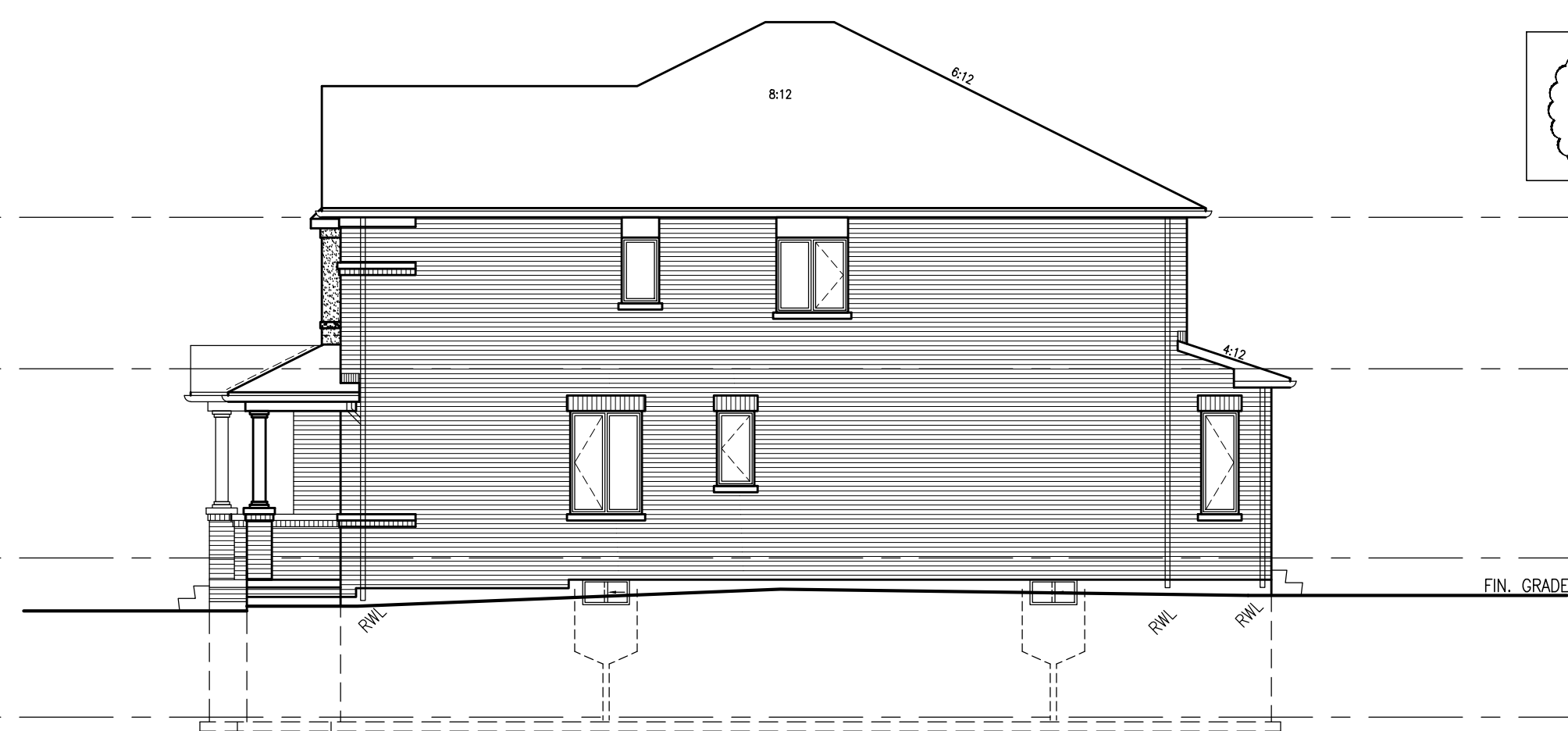
BLOCK 328  
ELEVATION 1





328-1 IVY-11  
ELEV. '1'

LEFT SIDE ELEVATION



328-8 IVY-7E  
ELEV. '1' (REV.)

NOTE:  
REVISION CLOUD INDICATES  
CONDITION THAT DIFFERS FROM  
STANDARD UNIT

TOP OF PLATE  
TOP OF WINDOW  
FIN. SECOND FLOOR  
TOP OF WINDOW  
FIN. GROUND FLOOR  
TOP OF SLAB

GUARDS/HANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading



328-8 IVY-7E  
ELEV. '1' (REV.)

328-7 IVY-2  
ELEV. '1'

328-6 IVY-2  
ELEV. '1' (REV.)

328-5 IVY-1  
ELEV. '1'

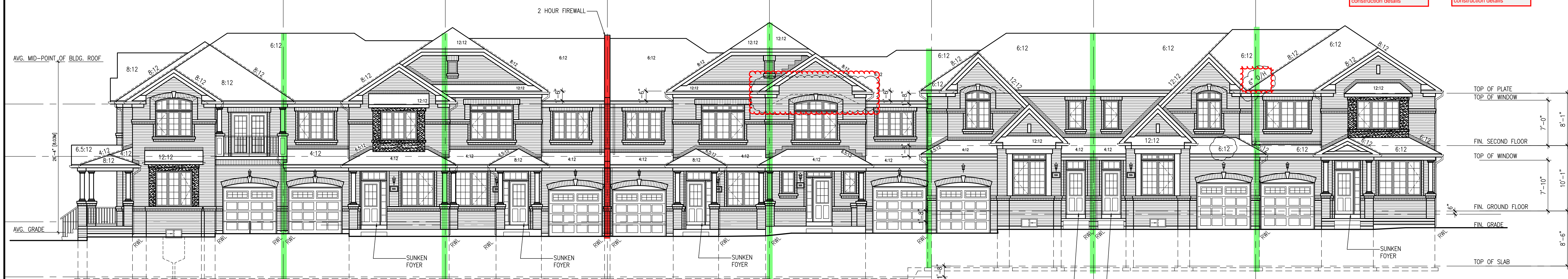
328-4 IVY-4  
ELEV. '1' (REV.)

328-3 IVY-4  
ELEV. '1'

328-2 IVY-5  
ELEV. '1' (REV.)

328-1 IVY-11  
ELEV. '1'

REAR ELEVATION



328-1 IVY-11  
ELEV. '1'

328-2 IVY-5  
ELEV. '1' (REV.)

328-3 IVY-4  
ELEV. '1'

328-4 IVY-4  
ELEV. '1' (REV.)

328-5 IVY-1  
ELEV. '1'

328-6 IVY-2  
ELEV. '1' (REV.)

328-7 IVY-2  
ELEV. '1'

328-8 IVY-7E  
ELEV. '1' (REV.)

FRONT ELEVATION

GUARDS/HANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading

= 2 HOUR FIREWALL  
(NON-COMBUSTIBLE)  
FIREWALL DETAILS  
See standard details page 5  
for standard fire wall  
construction details

= 1 HOUR PARTY WALL  
(FIRE SEPARATION)  
PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 20 2017  
John G. Williams, Architect

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT-17-4990  
SCOTT SHERRIFFS  
APR 19 2017  
PLANS EXAMINER  
DATE  
Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable laws and regulations of the Province of Ontario.  
By laws of the Region of Halton and Town of Milton

RECEIVED  
TOWN OF MILTON  
MAR 29 2017  
17-4990  
BUILDING DIVISION

TOWNHOUSE MODELS  
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS  
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAR 01/17	CM
2	SUMP PUMP LOCATIONS ADDED	FEB 02/17	CM
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6			
7			
8			
9			
10			

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Richard Vink  
signature  
24488

**Greenpark.**

PROJECT NAME  
LECCO RIDGE DEV. INC.  
PROJECT NO.  
TOWN OF MILTON  
16015  
BLOCK 328  
ELEVATIONS  
BLOCK 328 ELEVATIONS  
B4  
SEPTEMBER 2016  
drawn by  
checked by  
16015-BLOCK-328