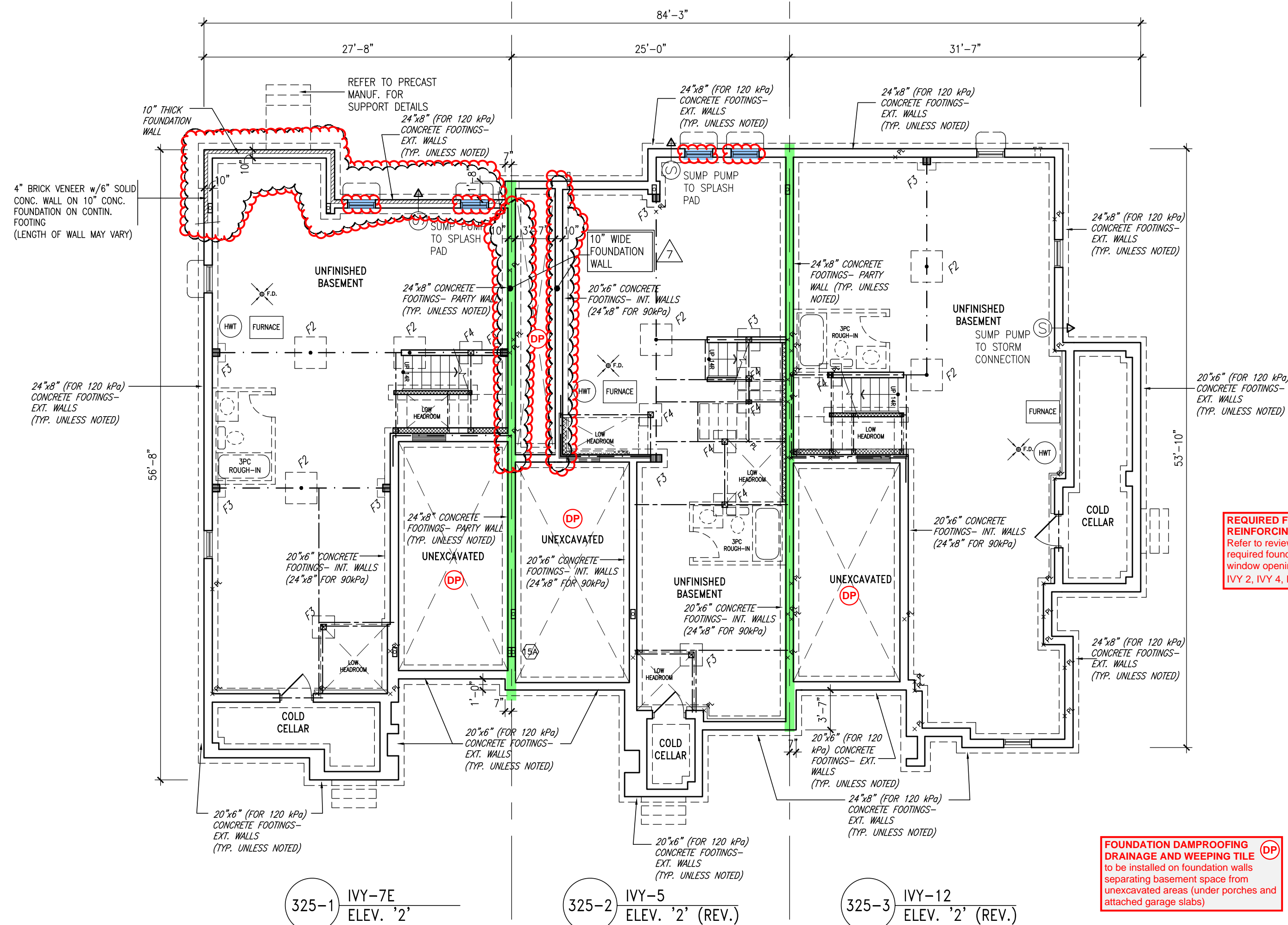


GROUND FLOOR PLAN



BASEMENT PLAN

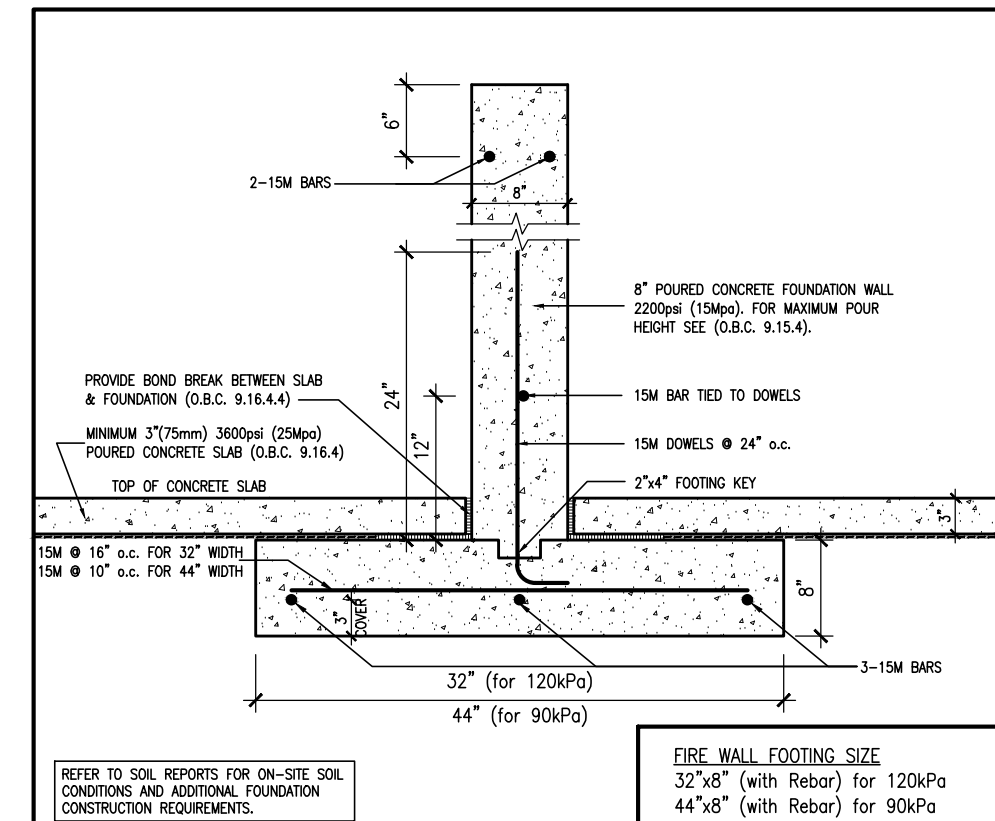
TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT-17-4967
BUILDING REVIEWED
SCOTT SHERIFFS APR 19, 2017 DATE
PLANS EXAMINER
Neither the issuance of a permit nor carrying out of
inspections by the Town of Milton releases the owner from
full responsibility for compliance with the provisions of
the Ontario Building Code Act and the Ontario Building
Code, both as amended, as well as other applicable
statutes and regulations of the Province of Ontario,
Bylaws of the Region of Halton and Town of Milton.

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
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constructions details and specifications.

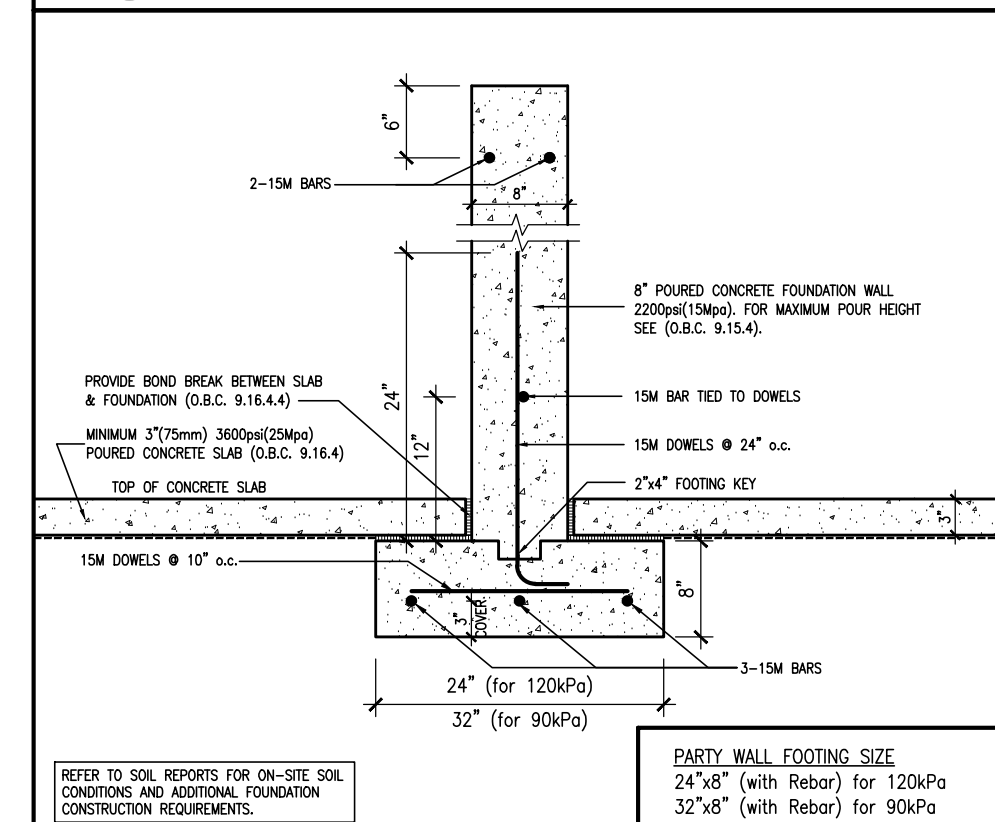
RECEIVED
TOWN OF MILTON
MAR 29, 2017
17-4967
BUILDING DIVISION

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.



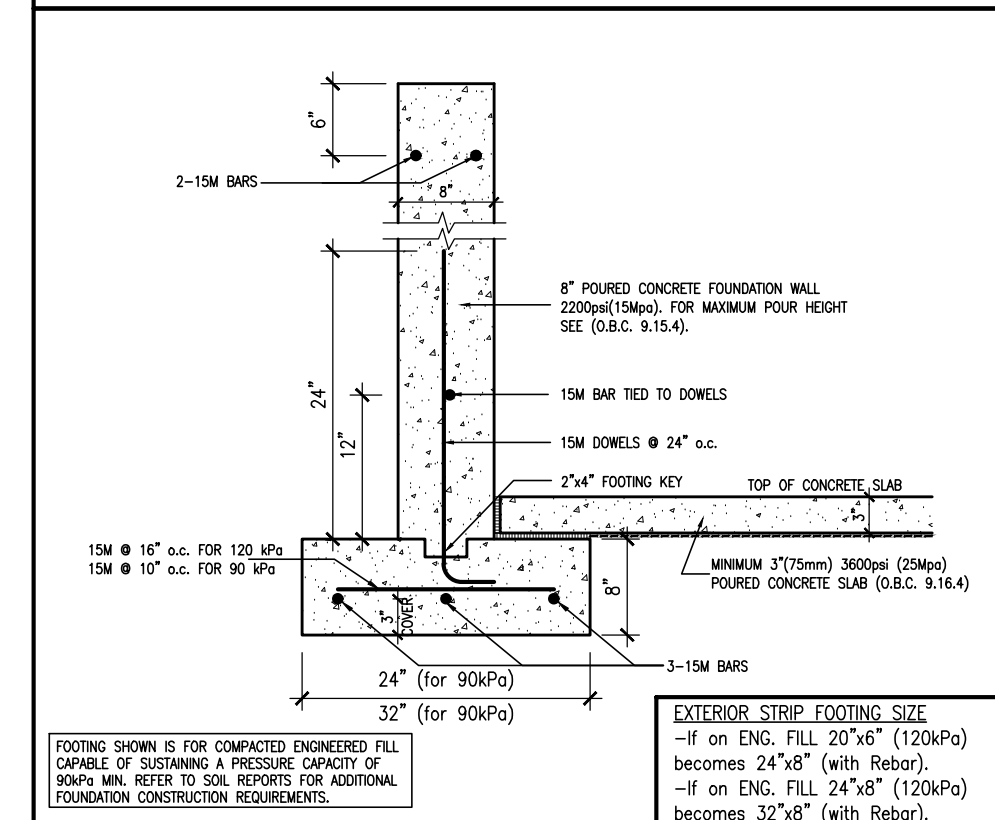
W2b TYPICAL FIRE WALL FOOTING

SCALE: Not to Scale



W2a TYPICAL PARTY WALL FOOTING

SCALE: Not to Scale



W2c EXTERIOR STRIP FOOTING

(On Engineered Fill) (90kPa. Minimum)

SCALE: Not to Scale

BUILDING AREA
4095.71 S.F. (380.50 m²)

PAD FOOTINGS
120 KPa. NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).

32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/ 13.0psi FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

← S SUMP PUMP LOCATION

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including but not limited to the Ontario Building
Code and any other applicable laws and regulations
in the subdivision agreement. The Contract
Architect is not responsible in any way for
examining or approving site (footing) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply with
the applicable Architectural Design
Guidelines approved by the Town of
MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	MAY 02/17	CM
2	FOUNDATION WALL REVISED TO 10" WHERE INDICATED.	MAY 02/17	CM
3	REVISED PER BLDG. COMMENTS.	APR 07/17	CM
4	ISSUED FOR PERMIT	MAY 07/17	CM
5	SUMP PUMP LOCATIONS ADDED.	FEB. 02/17	CM
6	ISSUED FOR PERMIT	JAN. 17/17	CM
7	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16	CM
8	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the
Designer before proceeding with the work. All drawings and specifications are
instruments of service and the property of the architect which must be returned at
the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
T 416.630.2255
F 416.630.4182
v3design.com

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written permission.

The drawings have reviewed and taken responsibility for the design
and for the specifications and notes. All drawings and specifications are
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Richard Vink
signature
V3 Design Inc.
42588

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
TOWN OF MILTON
16015

IVY SERIES
BLOCK 325
BLOCK 325 PLANS

SEPTEMBER 2016
drawn by
checked by
16015-BLOCK-325
B1



STRUDET INC.
FOR STRUCTURE ONLY

NOTE:
REFER TO GRADING PLAN
FOR NUMBER OF STEPS.

BLOCK 325
ELEVATION 2

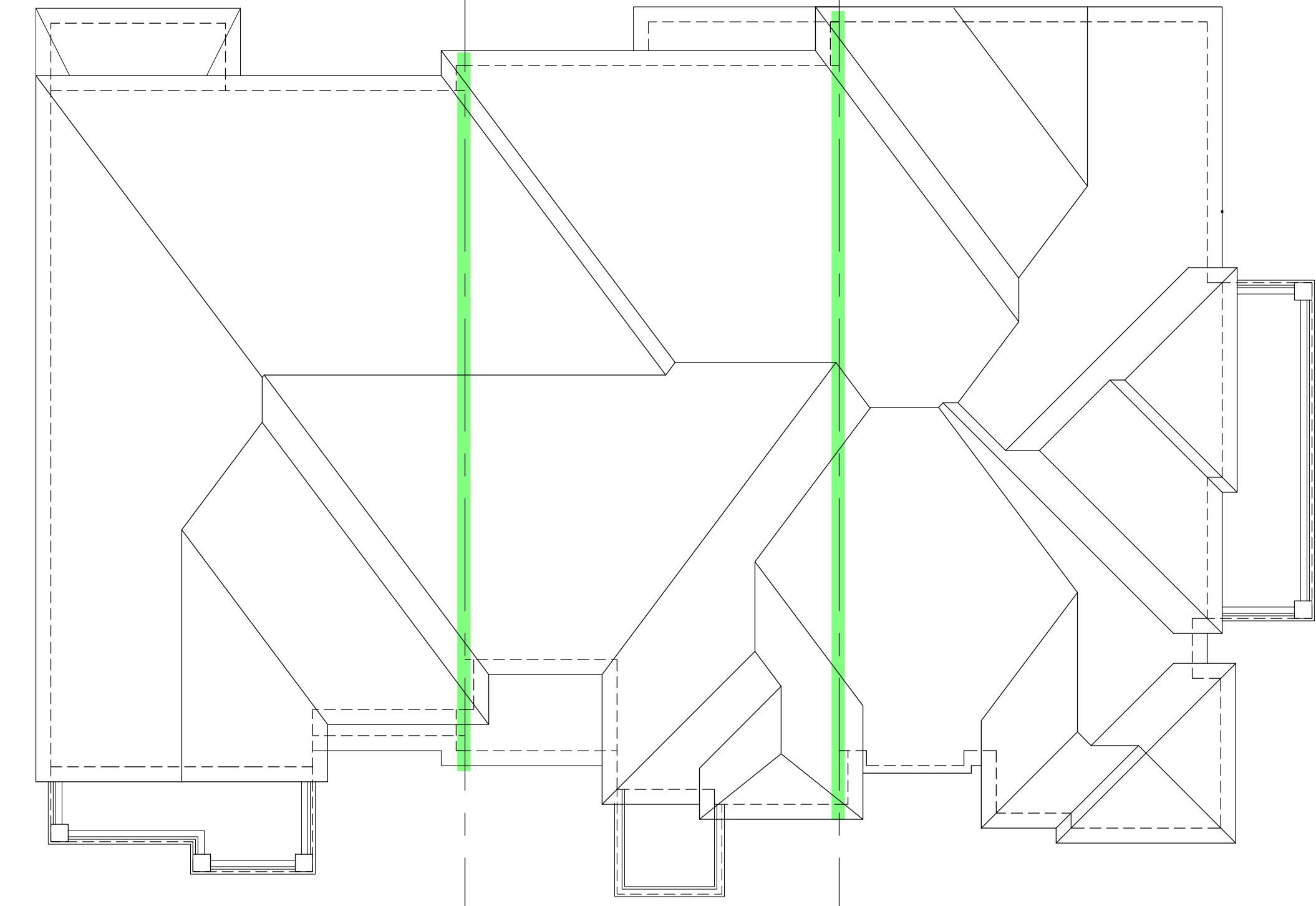
TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-4967
BUILDING REVIEWED
SCOTT SHERRIFFS APR 19, 2017
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MAR 29, 2017
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BUILDING DIVISION

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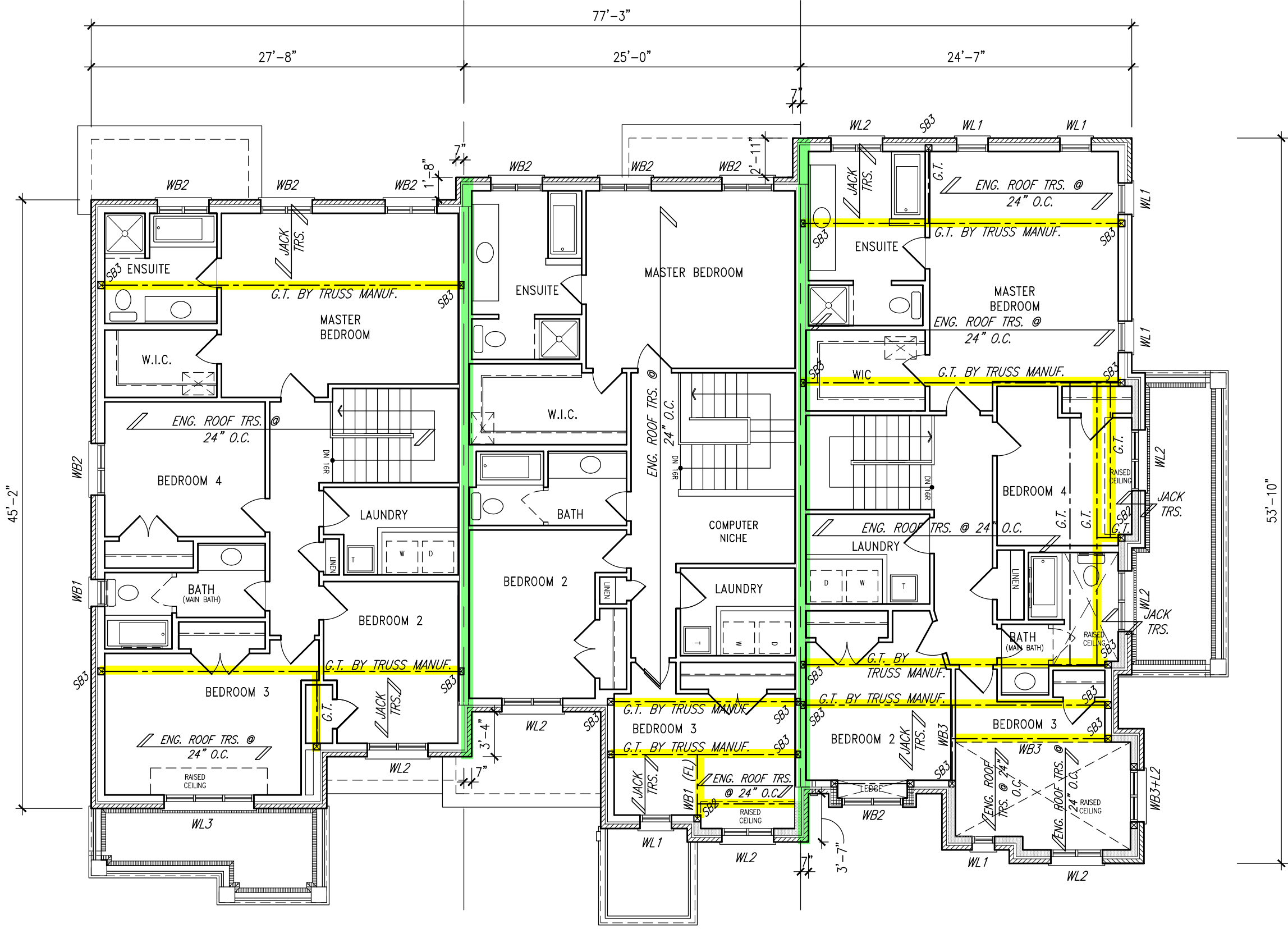
325-1 IVY-7E
ELEV. '2'

325-2 IVY-5
ELEV. '2' (REV.)

325-3 IVY-12
ELEV. '2' (REV.)

ROOF PLAN

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

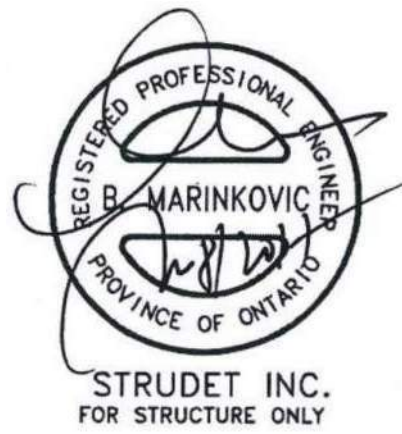


325-1 IVY-7E
ELEV. '2'

325-2 IVY-5
ELEV. '2' (REV.)

325-3 IVY-12
ELEV. '2' (REV.)

SECOND FLOOR PLAN



BLOCK 325
ELEVATION 2

BUILDING AREA
4095.71 S.F. (380.50 m²)

PAD FOOTINGS
120 KPa, NATIVE SOIL 90 KPa, ENGINEERED FILL SOIL
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F2 = 36'x36'x16" CONCRETE PAD F2 = 40'x40'x16" CONCRETE PAD
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OTHERWISE NOTED).
24'x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32'x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24'x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
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LOCATION AND DETAILS
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Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

10			
9			
8			
7			
6			
5	ISSUED FOR PERMIT	MAR 01/17	GM
4	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GM
3	ISSUED FOR PRICING	JAN 17/17	GM
2	REV. AS FOR ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GM
1	ISSUED FOR CLIENT REVIEW		
0	description	date	by

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vo3design.com

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The copyright has been reserved and taken responsibility for this design
and for the specifications and related documents are not to be scaled.
Contracting Unit is to be scaled.
Richard Vink
signature
V3 Design Inc.

Greenpark.

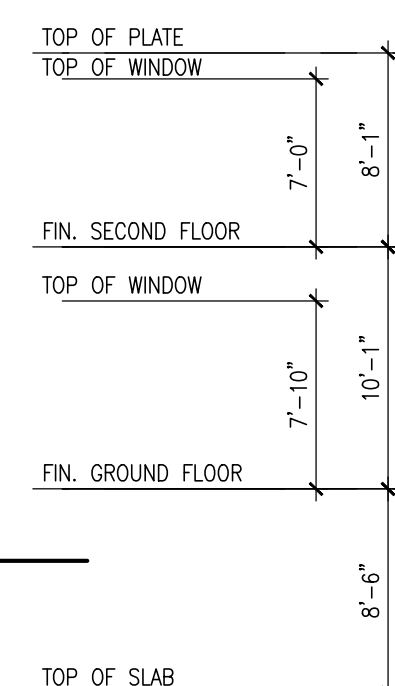
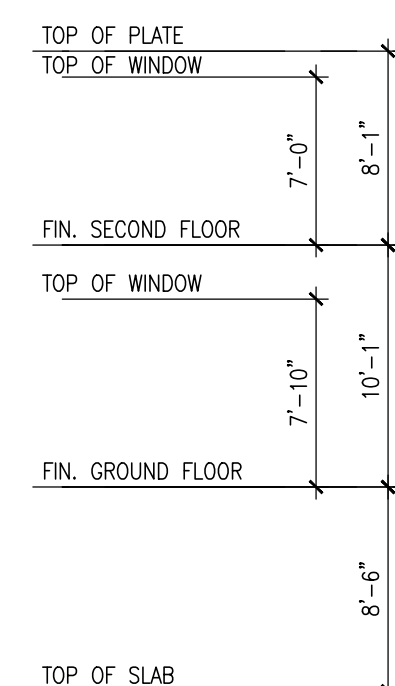
PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
16015

TOWN OF MILTON
BLOCK 325
IVY SERIES

BLOCK 325 PLANS
SEPTEMBER 2016
1/8" = 1'-0"
drawn by
checked by
16015-BLOCK-325

B2



GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 20 2017

John G. Williams Limited, Architect

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<p>All drawings specifications, related documents and details are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.</p>	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink 24488</p> <p>name BD2K</p> <p>registration information</p> <p>VAS Design Inc. 42658</p>
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Greenpark™

project name	LECCO RIDGE DEV. INC.	project no.	10015
municipality	TOWN OF MILTON		

unit name unit no.
IVY SERIES BLOCK 325

date SEPTEMBER 2016		scale 1/8" = 1'-0"	drawing no. B3
drawn by	checked by	file name	

WT	GW	16015-BLOCK-325	DS
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BLOCK 325
ELEVATION 2