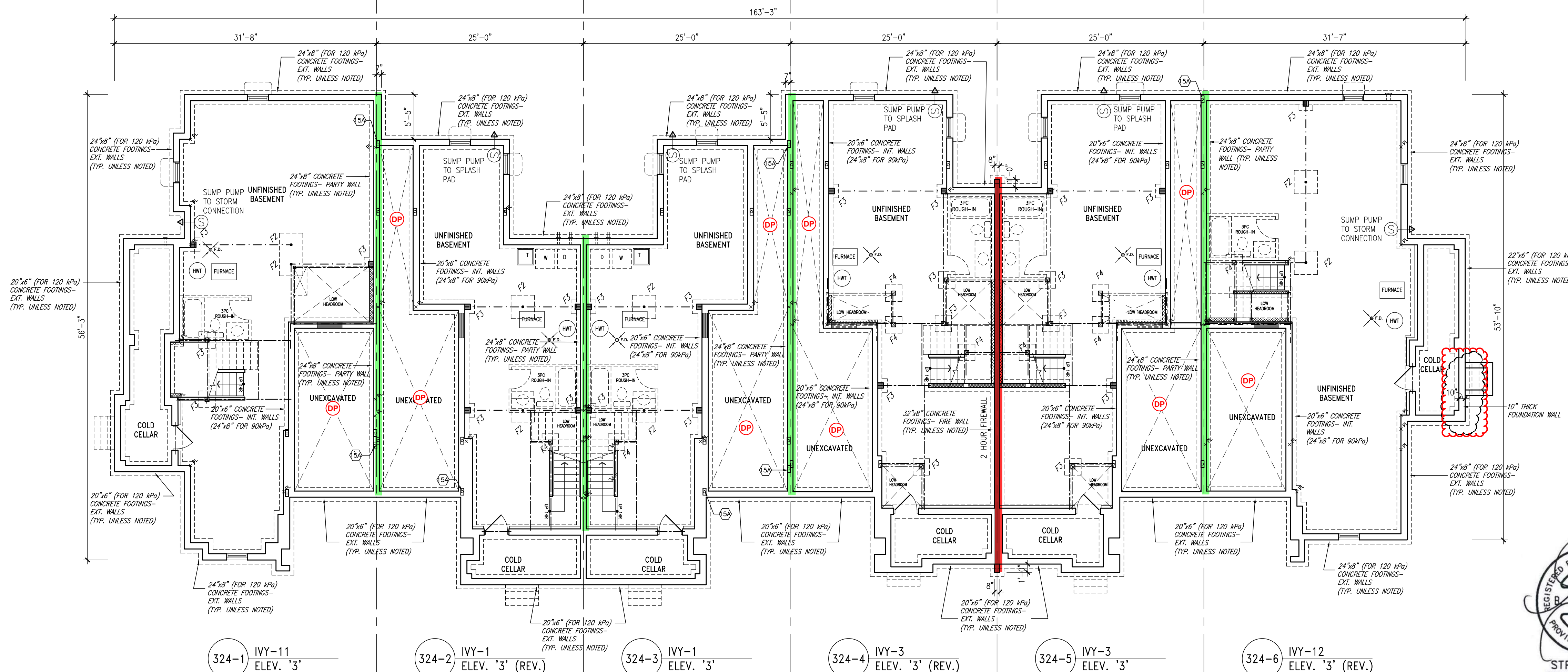


GROUND FLOOR PLAN



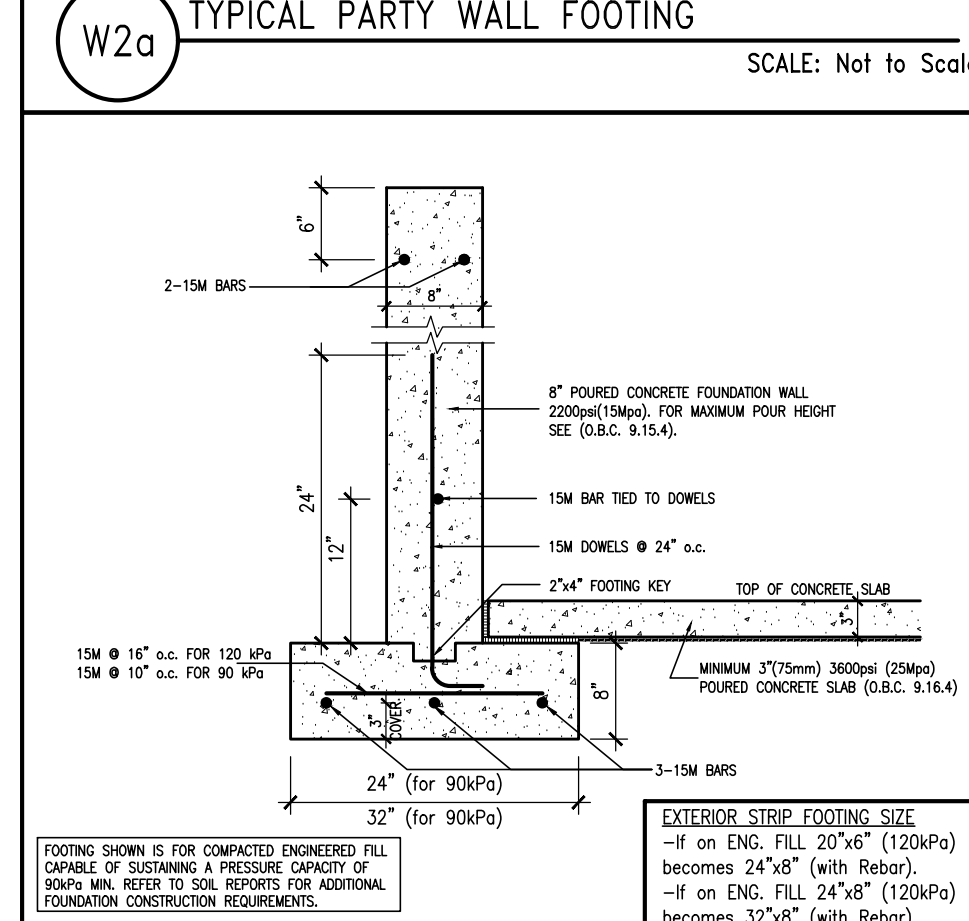
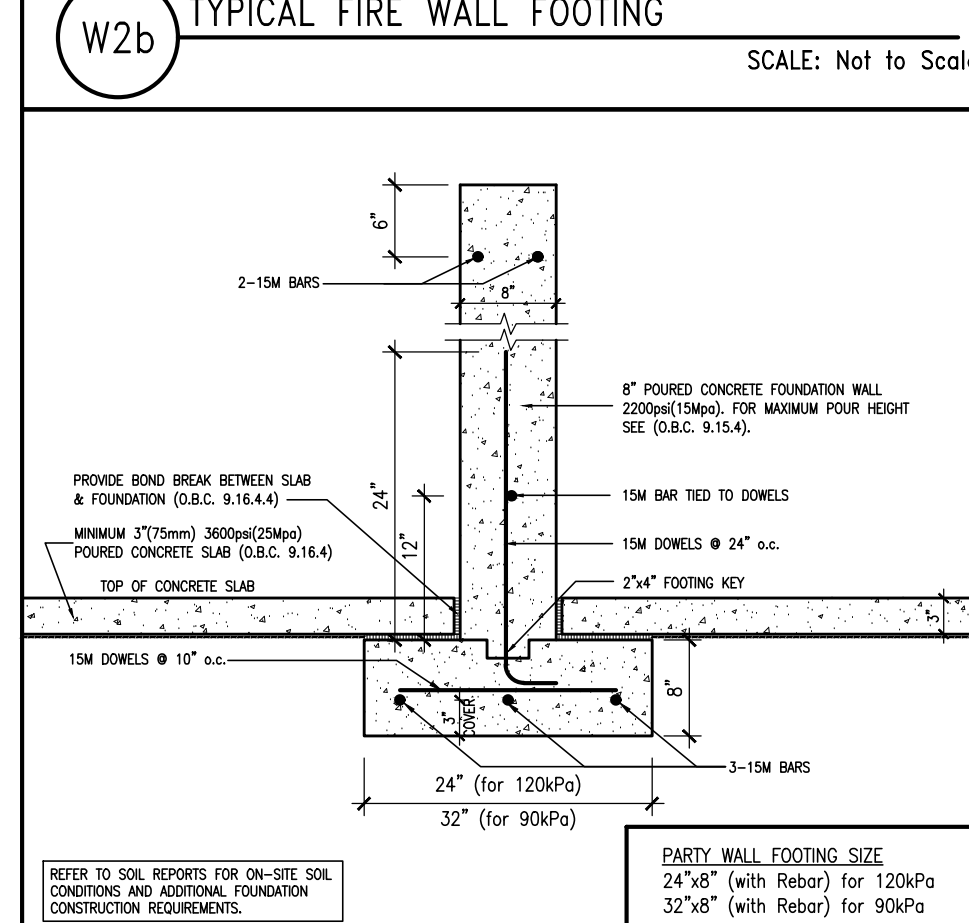
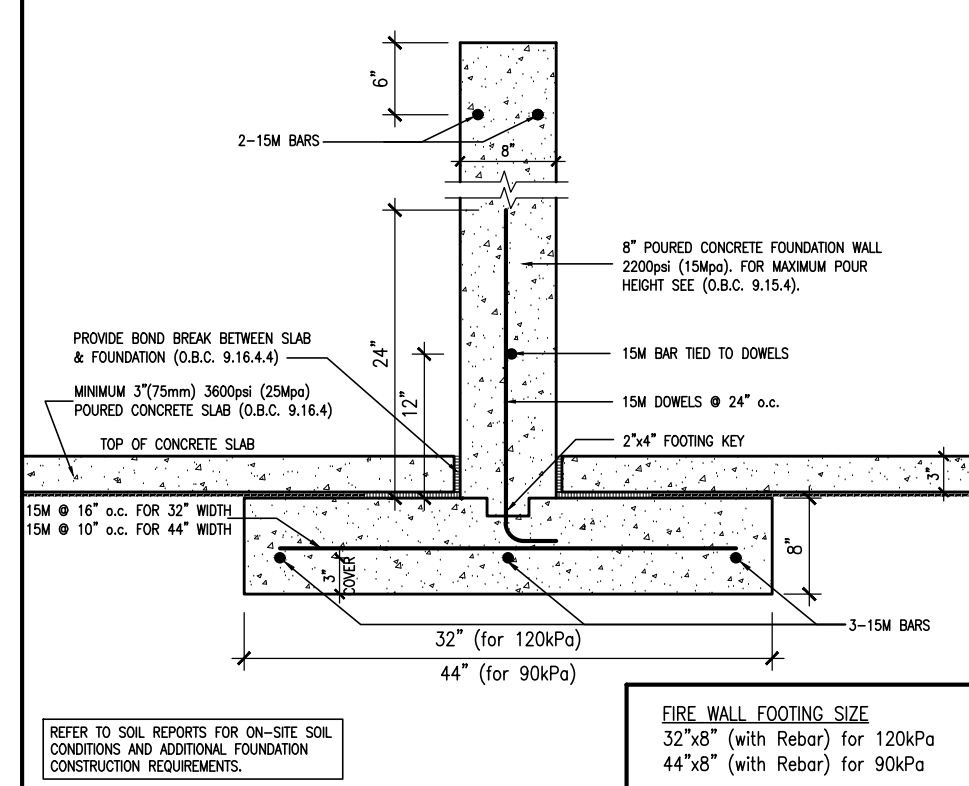
BASEMENT PLAN

**NOTE:**  
CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT.

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-4954  
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MAR 29, 2017  
17-4954

**GENERAL NOTES/CONSTRUCTION DETAILS**  
Reviewed model drawings to be read in conjunction with reviewed general notes, construction details and specifications.

**TOWNHOUSE MODELS**  
Reviewed townhouse block drawings to be read in conjunction with reviewed townhouse model drawings and engineered truss system.



**FOUNDATION DAMPROOFING**  
DRAINAGE AND WEeping TILE (DP)  
to be installed on foundation walls separating basement spaces from unexcavated areas (under porches and attached garage slabs)

BUILDING AREA  
7726.86 S.F. (717.84 m<sup>2</sup>)

**PAD FOOTINGS**

NO. KPa. NATIVE SOIL	90 KPa. ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD	F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES**

**FOOTINGS ON NATIVE SOIL (120 KPa.)**  
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED).  
24"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS.  
32"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW FIRE WALLS.  
**FOOTINGS ON ENGINEERED FILL (90 KPa.)**  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN  
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED).  
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.  
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS. (REFER TO FOOTING DETAIL FOR REINFORCEMENT.)

ASSUME 120KPa/17.4kg/sq SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/13.0kg/sq FOR ENGINEERED FILL.  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

**VENEER CUT**  
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING**  
-GROUND FLOOR ROOF STRUCTURE  
-BASEMENT AND GROUND FLOOR LINTELS  
-GROUND FLOOR AND SECOND FLOOR STRUCTURE  
-DOUBLE VOLUME WALL LOCATION AND DETAILS  
-CONCRETE SLABS

**NOTE:**  
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

**SOFFIT VENTING**  
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

**SUMP PUMP LOCATION**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Authority is not responsible in any way for engineering or approving site layout plans or working drawings with respect to any zoning or building code or permit matter or that any House can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 2/0 2017  
John G. Williams, Architect

**V3 DESIGN**  
255 Consumers Rd  
Suite 120  
Toronto, ON M2J 1R4  
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F 416.630.4182  
v3design.com

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Richard Vink  
V3 DESIGN Inc.  
42858

**Greenpark.**

LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
16015  
BLOCK 324  
BLOCK 324 PLANS  
B1



STRUDET INC.  
FOR STRUCTURE ONLY

**NOTE:**  
REFER TO GRADING PLAN FOR NUMBER OF STEPS.

**BLOCK 324  
ELEVATION 3**



NOTE:  
CLOUD INDICATES CONDITION  
THAT DIFFERS FROM STANDARD  
UNIT.

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-4954  
BUILDING DIVISION  
RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-4954  
BUILDING DIVISION

TOWNHOUSE MODELS  
Reviewed townhouse block drawings to be  
read in conjunction with reviewed townhouse  
model drawings and engineered truss system

PAD FOOTINGS  
120 KPa, NATIVE SOIL  
F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD  
90 KPa, ENGINEERED FILL SOIL  
F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)  
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN  
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS  
OTHERWISE NOTED).

FOOTINGS ON ENGINEERED FILL (90 KPa.)  
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN  
32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH  
REINFORCEMENT (UNLESS OTHERWISE NOTED).

32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.  
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.  
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL  
OR 90KPa/13.0psi FOR ENGINEERED FILL  
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT  
WHEN VENEER CUT IS GREATER  
THAN 26", A 10" POURED  
CONCRETE FOUNDATION WALL IS  
REQUIRED.

REFER TO INDIVIDUAL UNITS  
FOR THE FOLLOWING

-GROUND FLOOR ROOF  
STRUCTURE

-BASEMENT AND GROUND  
FLOOR LINTELS

-GROUND FLOOR AND  
SECOND FLOOR STRUCTURE

-DOUBLE VOLUME WALL  
LOCATION AND DETAILS

-CONCRETE SLABS

NOTE:  
ROOF TRUSSES AND  
SECOND FLOOR LINTELS  
SHOWN ON BLOCK PLANS

SOFFIT VENTING  
NO SOFFIT VENTING AT ROOF  
OVERLAP OF DEMISING LINE/  
PARTY WALL.

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 2/0 2017  
John G. Williams, Architect



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Richard Vink  
V3 Design Inc.  
24489  
42858

Greenpark.

LECCO RIDGE DEV. INC.

TOWN OF MILTON

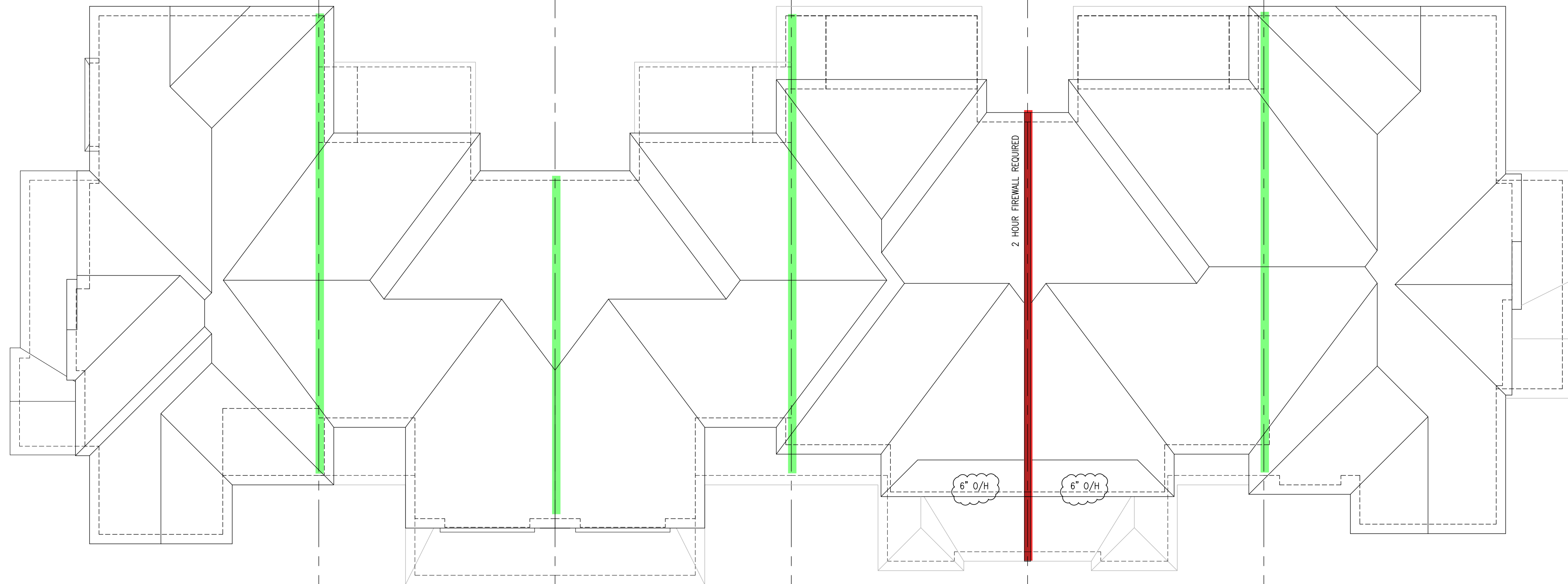
IVY SERIES

BLOCK 324 PLANS

SEPTEMBER 2016

16015-BLOCK-324

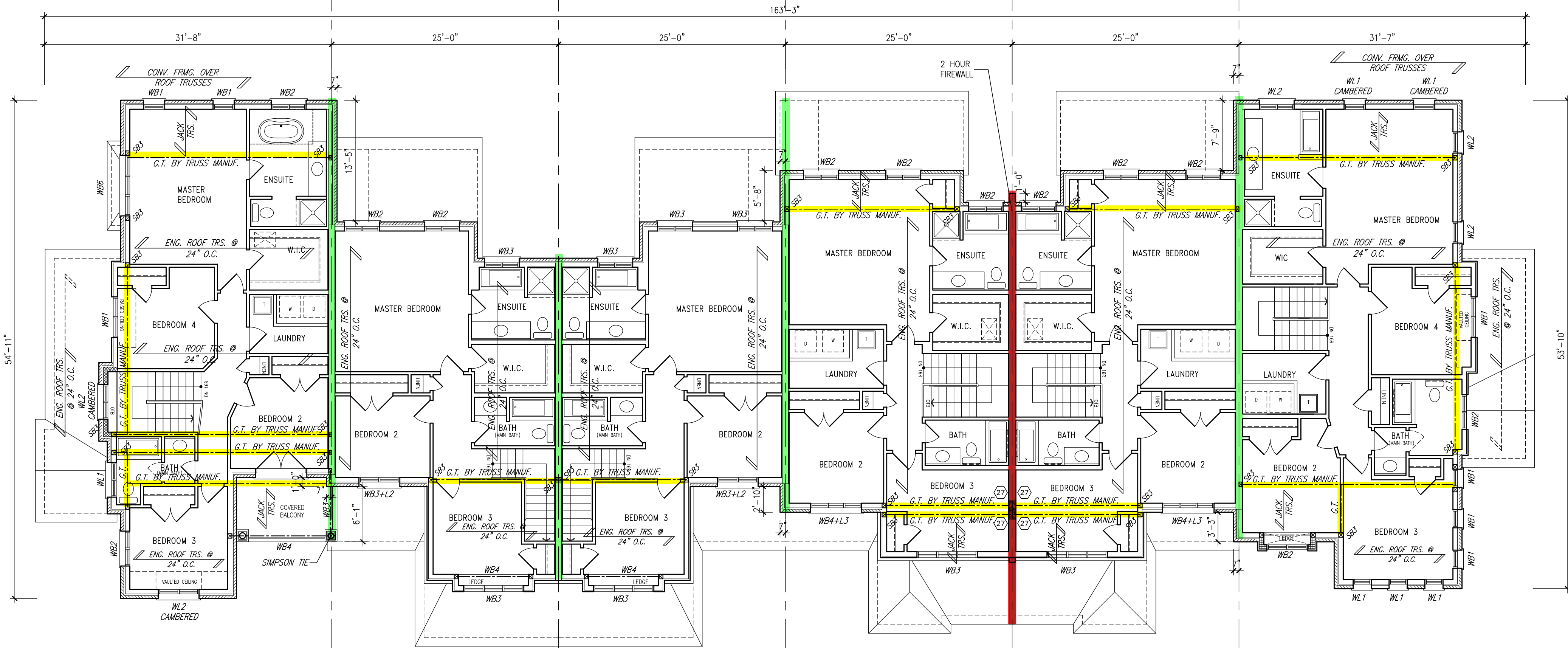
BLOCK 324  
ELEVATION 3



ROOF PLAN

= 2 HOUR FIREWALL  
(NON-COMBUSTIBLE)  
FIREWALL DETAILS  
See standard details page 5  
for standard firewall  
construction details

= 1 HOUR PARTY WALL  
(FIRE SEPARATION)  
PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details



SECOND FLOOR PLAN

B2



NOTE:  
CLOUD INDICATES CONDITION  
THAT DIFFERS FROM STANDARD  
UNIT.



324-1 IVY-11  
ELEV. '3'

LEFT SIDE ELEVATION



324-6 IVY-12  
ELEV. '3' (REV.)

RIGHT SIDE ELEVATION

TOWN OF MILTON  
PLANNING AND DEVELOPMENT  
BUILDING PERMIT: 17-4954  
BUILDING REVIEWED  
SCOTT SHERRIFFS  
APR 19, 2017  
DATE  
NEITHER THE ISSUANCE OF A PERMIT NOR CARRYING OUT OF  
INSPECTIONS BY THE TOWN OF MILTON RELIEVES THE OWNER FROM  
FULL RESPONSIBILITY FOR COMPLIANCE WITH THE PROVISIONS OF  
THE ONTARIO BUILDING CODE ACT AND THE ONTARIO BUILDING  
CODE, BOTH AS AMENDED, OR WITH ANY OTHER APPLICABLE  
STATUTES AND REGULATIONS OF THE PROVINCE OF ONTARIO.  
By-laws of the Region of Halton and Town of Milton.

RECEIVED  
TOWN OF MILTON  
MAR 29, 2017  
17-4954  
BUILDING DIVISION

TOWNHOUSE MODELS  
Reviewed townhouse block drawings to be  
read in conjunction with reviewed townhouse  
model drawings and engineered truss system



324-6 IVY-12  
ELEV. '3' (REV.)

324-5 IVY-3  
ELEV. '3'

324-4 IVY-3  
ELEV. '3' (REV.)

324-3 IVY-1  
ELEV. '3'

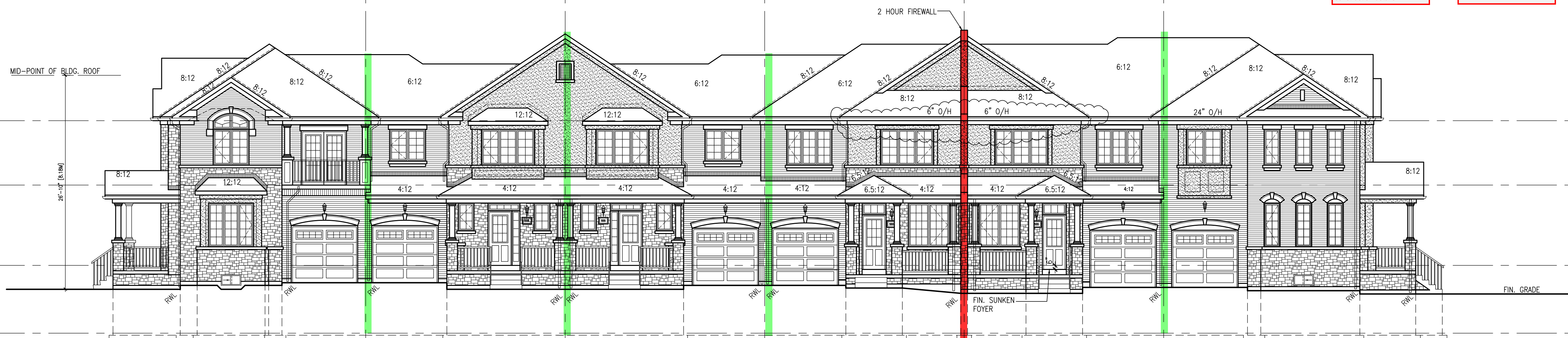
324-2 IVY-1  
ELEV. '3' (REV.)

324-1 IVY-11  
ELEV. '3'

REAR ELEVATION

2 HOUR FIREWALL  
(NON-COMBUSTIBLE)  
FIREWALL DETAILS  
See standard details page 5  
for standard firewall  
construction details

1 HOUR PARTY WALL  
(FIRE SEPARATION)  
PARTY WALL DETAILS  
See standard details page 4  
for standard party wall  
construction details



324-1 IVY-11  
ELEV. '3'

324-2 IVY-1  
ELEV. '3' (REV.)

324-3 IVY-1  
ELEV. '3'

324-4 IVY-3  
ELEV. '3' (REV.)

324-5 IVY-3  
ELEV. '3'

324-6 IVY-12  
ELEV. '3' (REV.)

FRONT ELEVATION

GUARDS/HANDRAILS  
Shall be provided on  
porches as required  
based on final lot grading

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ARCHITECTURAL REVIEW & APPROVAL  
MAR 2/0 2017  
John G. Williams, Architect

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Richard Vink  
signature  
24488  
42858

Greenpark.

LECCO RIDGE DEV. INC.  
TOWN OF MILTON  
16015

IVY SERIES  
BLOCK 324

SEPTEMBER 2016  
1/8" = 1'-0"

16015-BLOCK-324  
B3

BLOCK 324  
ELEVATION 3