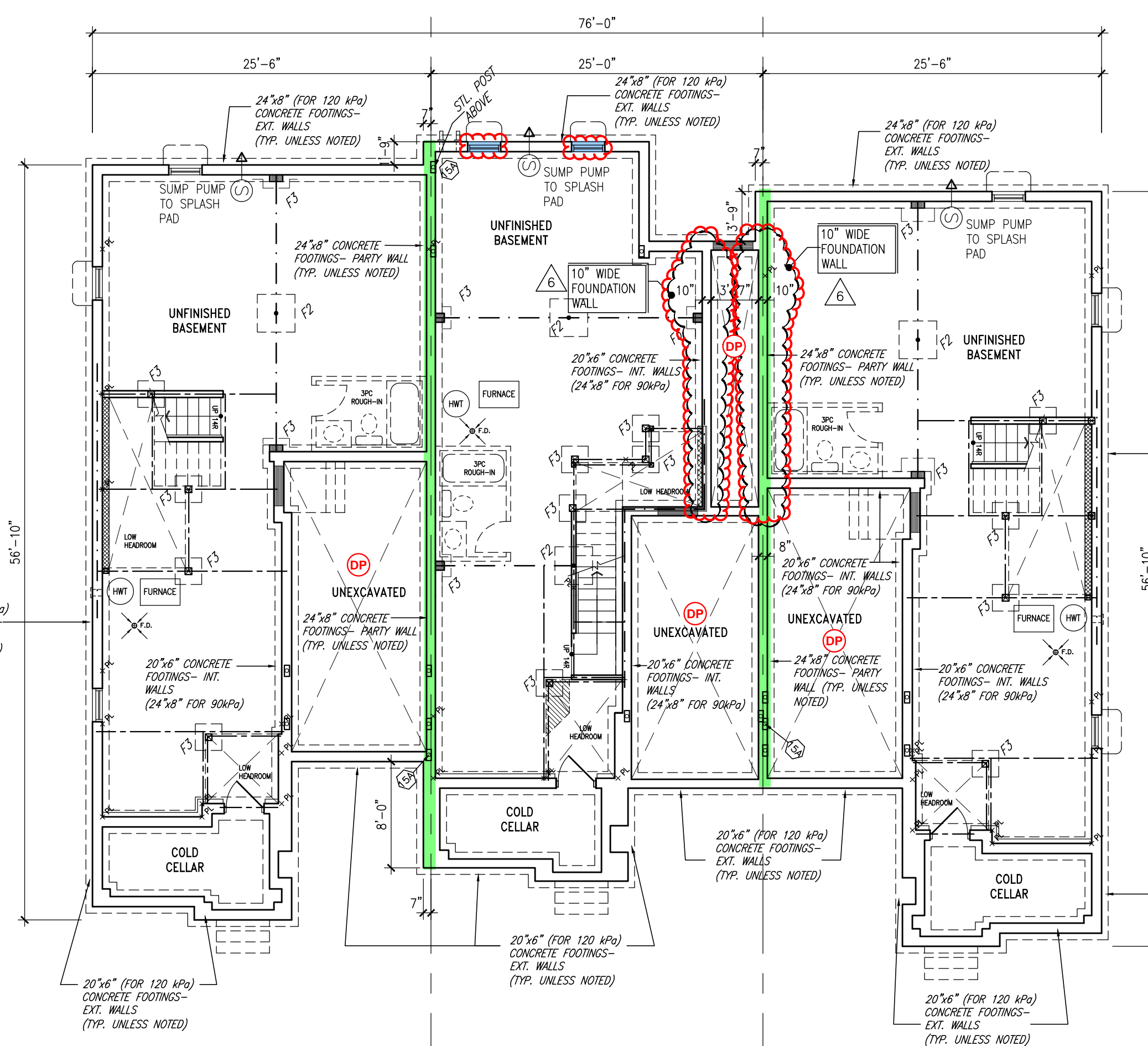


323-1 IVY-6E ELEV. '1'

323-2 IVY-4 ELEV. '1A'

323-3 IVY-6E ELEV. '1' (REV.)

GROUND FLOOR PLAN



323-1 IVY-6E ELEV. '1'

323-2 IVY-4 ELEV. '1A'

323-3 IVY-6E ELEV. '1' (REV.)

BASEMENT PLAN

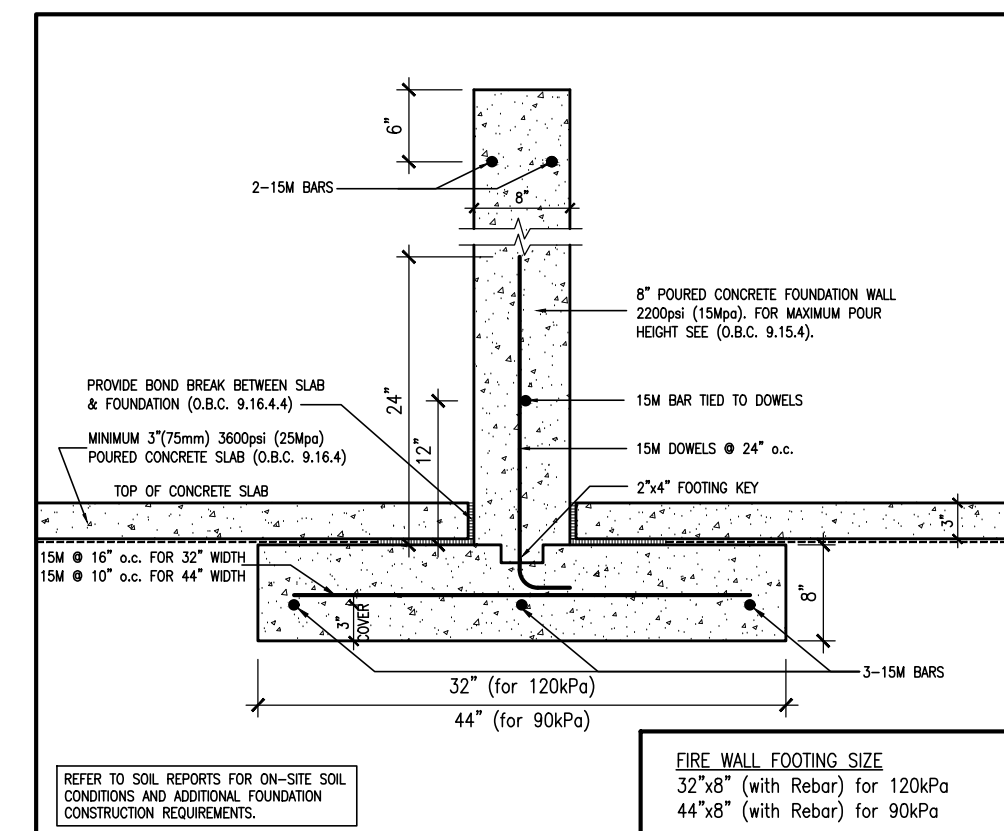
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TOWN OF MILTON
MAR 29, 2017
17-4949
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-4949
BUILDING REVIEWED
SCOTT SHERRIFFS
APR 19, 2017
DATE

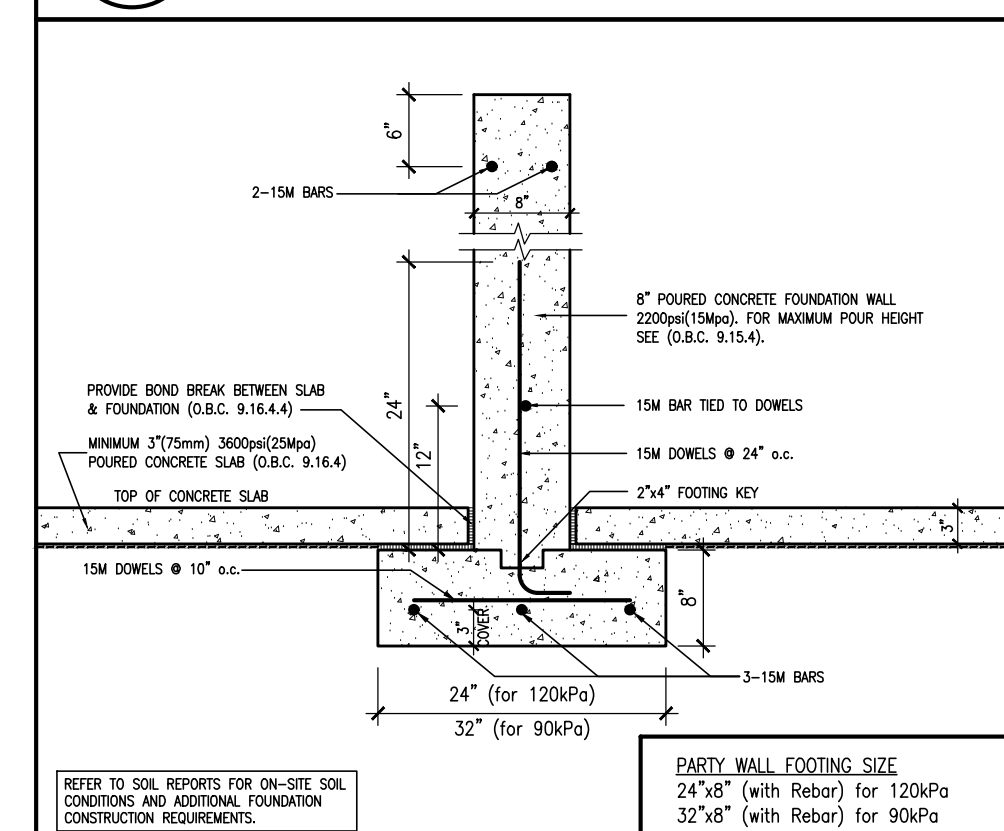
NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

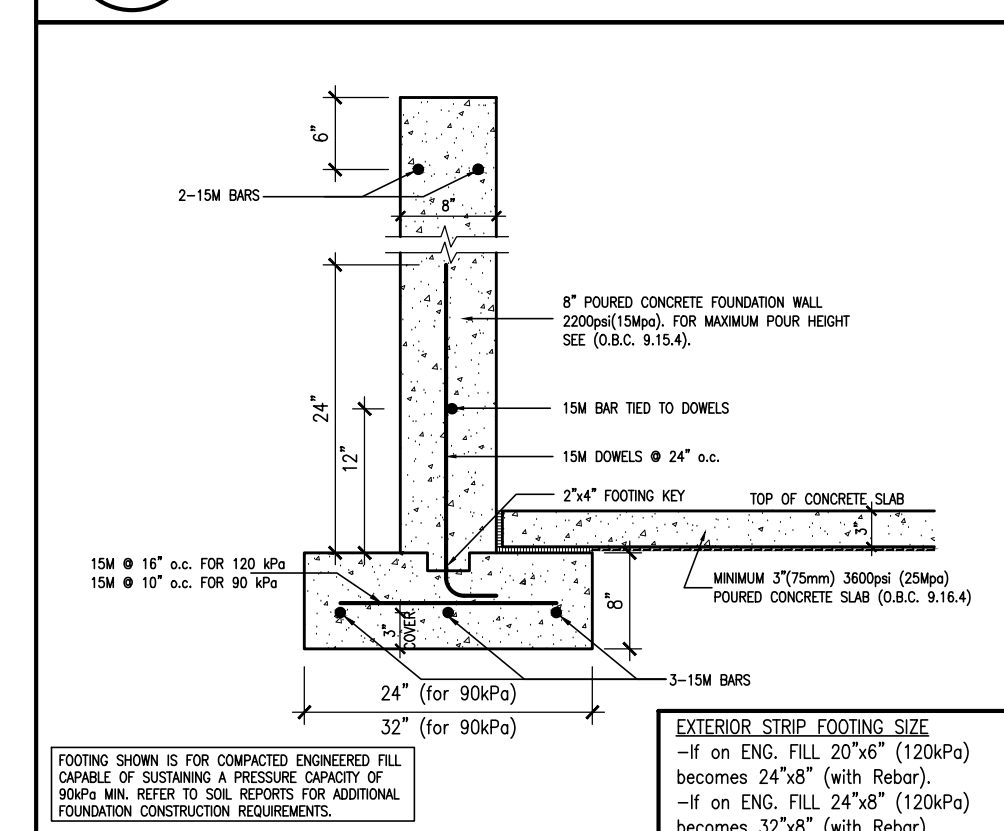
NOTE:
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UNIT.



W2b TYPICAL FIRE WALL FOOTING



W2a TYPICAL PARTY WALL FOOTING



W2c EXTERIOR STRIP FOOTING

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

NOTE:
REFER TO GRADING PLAN
FOR NUMBER OF STEPS.

BUILDING AREA
3889.08 S.F. (361.30 m²)

PAD FOOTINGS
120 KPa, NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD F2 = 48"x48"x20" CONCRETE PAD
F3 = 36"x36"x16" CONCRETE PAD F4 = 40"x40"x16" CONCRETE PAD
F5 = 30"x30"x12" CONCRETE PAD F6 = 34"x34"x14" CONCRETE PAD
F7 = 24"x24"x12" CONCRETE PAD F8 = 28"x28"x12" CONCRETE PAD
F9 = 16"x16"x8" CONCRETE PAD F10 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS
OTHERWISE NOTED).
24"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS.
32"x8" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS.
FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH
REINFORCEMENT (UNLESS OTHERWISE NOTED).
32"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS.
44"x8" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS.
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120KPa/17.4kps SOIL BEARING CAPACITY FOR NATIVE SOIL
OR 90KPa/13.0kps FOR ENGINEERED FILL
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REFER TO INDIVIDUAL UNITS
FOR THE FOLLOWING

-GROUND FLOOR
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

SUMP PUMP LOCATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and specifications. The Contractor is not responsible in any way for examining or approving any building plans or working drawings with respect to any zoning or building code or permit number or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Licensed Architect

no.	description	date	by
1	ISSUED FOR PERMIT	MAY 02/17	GM
2	ISSUED FOR PERMIT	MAY 02/17	GM
3	ISSUED FOR PERMIT	MAY 02/17	GM
4	SUMP PUMP LOCATIONS ADDED	FEB. 02/17	GM
5	ISSUED FOR PERMIT	JAN. 17/17	GM
6	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC. 13/16	GM
7	ISSUED FOR CLIENT REVIEW		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be copied.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4182
v3design.com

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Richard Vink
signature
V3 Design Inc.

Greenpark.

LECCO RIDGE DEV. INC.
PROJECT NO. 16015

TOWN OF MILTON
BLOCK 323

IVY SERIES
BLOCK 323 PLANS
1/8" = 1'-0"

SEPTEMBER 2016
drawn by
16015-BLOCK-323

BLOCK 323
ELEVATION 1

RECEIVED
TOWN OF MILTON
MAR 20, 2017
17-4949
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-4949
BUILDING: REVIEWED
SCOTT SHERRIFFS
APR 19, 2017
DATE

NEITHER THE ISSUANCE OF A PERMIT NOR CARRYING OUT OF
INSPECTIONS BY THE TOWN OF MILTON RELIEVES THE OWNER FROM
FULL RESPONSIBILITY FOR COMPLIANCE WITH THE PROVISIONS OF
THE ONTARIO BUILDING CODE ACT AND THE ONTARIO BUILDING
CODE, BOTH AS AMENDED, AS WELL AS OTHER APPLICABLE
STATUTES AND REGULATIONS OF THE PROVINCE OF ONTARIO,
BY-LAWS OF THE REGION OF HALTON AND TOWN OF MILTON.

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.

BUILDING AREA
3889.08 S.F. (361.30 m²)

PAD FOOTINGS
120 KPa, NATIVE SOIL 90 KPa, ENGINEERED FILL SOIL
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F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
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FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN

32"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS WITH
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STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF
OVERLAP OF DEMISING LINE/
PARTY WALL.

It is the builder's complete responsibility to
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fully comply with the Architectural Guidelines
and standards regulations and amendments,
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site, building plans or
working drawings with respect to any zoning or
building code or permit number and that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
Milton.

ARCHITECTURAL REVIEW APPROVAL
MAR 20 2017
John G. Williams Limited, Architect.

10			
9			
8			
7			
6			
5	ISSUED FOR PERMIT	MAR 01/17	GW
4	SUMP PUMP LOCATIONS ADDED	FEB 02/17	GW
3	ISSUED FOR PRICING	JAN 17/17	GW
2	REV. AS PER ENG. COMMENTS & TRUSS LAYOUTS	DEC 13/16	GW
1	ISSUED FOR CLIENT REVIEW		
0	description	date	by

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VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
vasdesign.com

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specification information

Richard Vink 24489
signature date
signature information
VAS Design Inc. 42858

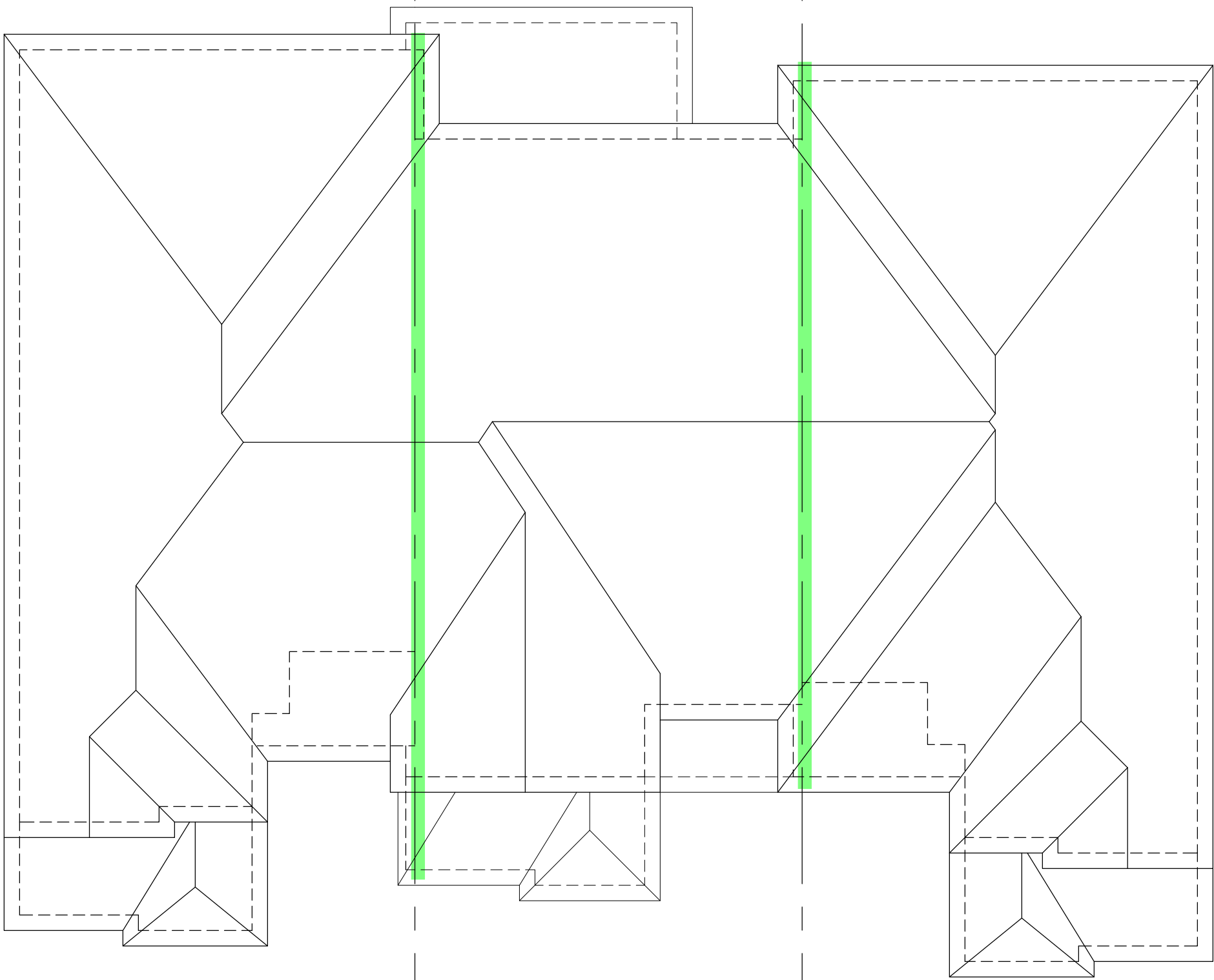
Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.

PROJECT NO.
TOWN OF MILTON 16015

PROJECT NAME
BLOCK 323

PROJECT NO.
BLOCK 323 PLANS
DATE
SEPTEMBER 2016
DRAWN BY
BT
CHECKED BY
CW
DATE
16015-BLOCK-323
SHEET NO.
B2



323-1 IVY-6E
ELEV. '1'

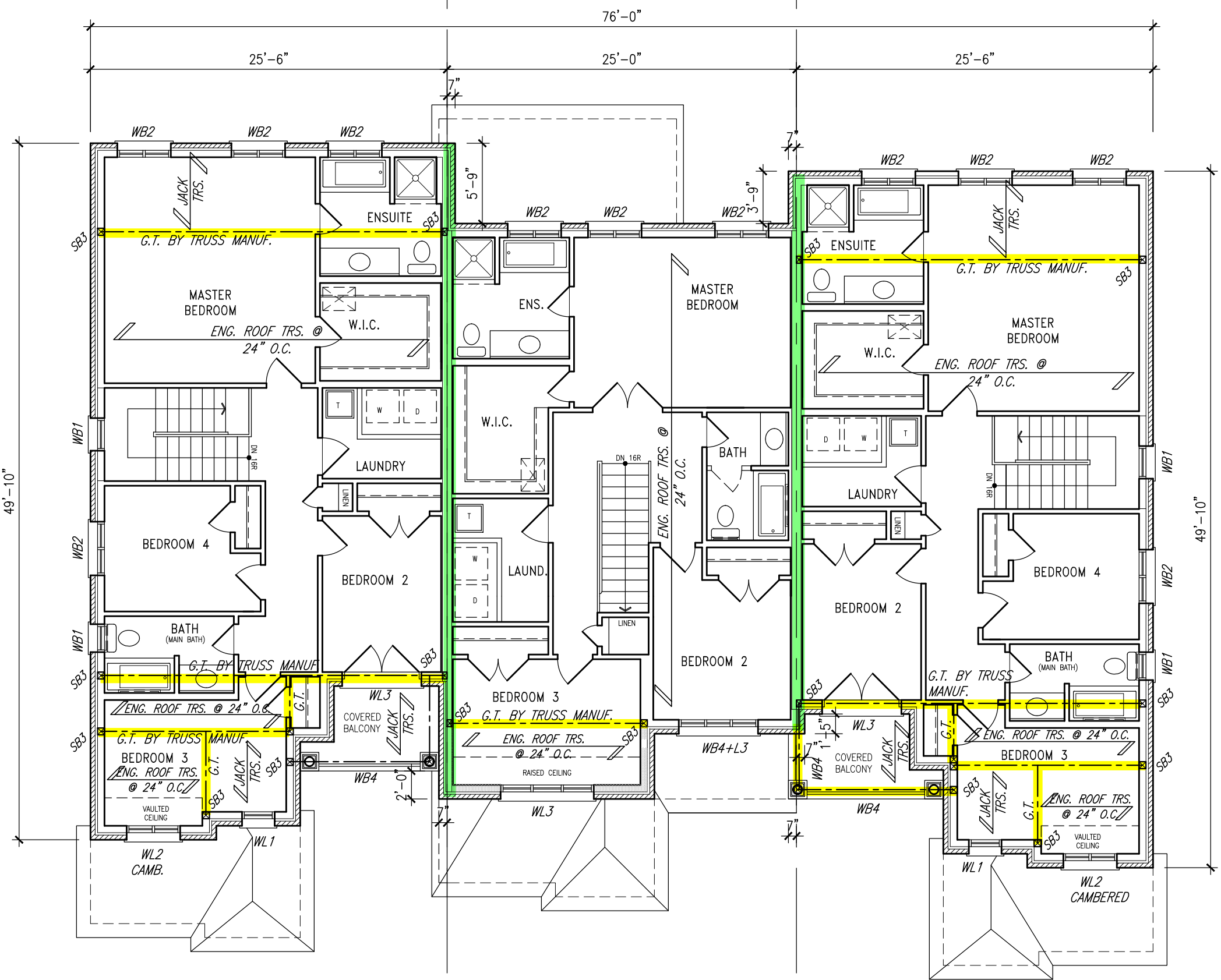
323-2 IVY-4
ELEV. '1A'

323-3 IVY-6E
ELEV. '1' (REV.)

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

ROOF PLAN



323-1 IVY-6E
ELEV. '1'

323-2 IVY-4
ELEV. '1A'

323-3 IVY-6E
ELEV. '1' (REV.)

SECOND FLOOR PLAN

BLOCK 323
ELEVATION 1

RECEIVED
TOWN OF MILTON
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BUILDING DIVISION

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BUILDING PERMIT: 17-4949
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APR 19, 2017
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NOTE:
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UNIT.

TOWNHOUSE MODELS
Reviewed townhouse block drawings to be
read in conjunction with reviewed townhouse
model drawings and engineered truss system

GENERAL NOTES/CONSTRUCTION DETAILS
Reviewed model drawings to be read in
conjunction with reviewed general notes,
constructions details and specifications



323-3 IVY-6E
ELEV. '1' (REV.)

RIGHT SIDE ELEVATION



323-3 IVY-6E
ELEV. '1' (REV.)

REAR ELEVATION

323-2 IVY-4
ELEV. '1A'

323-1 IVY-6E
ELEV. '1'

TOP OF PLATE
TOP OF WINDOW
7'-0" 8'-1"
FIN. SECOND FLOOR
TOP OF WINDOW
7'-10" 10'-1"
FIN. GROUND FLOOR
FIN. GRADE
8'-6"
TOP OF SLAB

= 1 HOUR PARTY WALL
(FIRE SEPARATION)
PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



323-1 IVY-6E
ELEV. '1'

LEFT SIDE ELEVATION



323-1 IVY-6E
ELEV. '1'

FRONT ELEVATION

323-2 IVY-4
ELEV. '1A'

323-3 IVY-6E
ELEV. '1' (REV.)

TOP OF PLATE
TOP OF WINDOW
7'-0" 8'-1"
FIN. SECOND FLOOR
TOP OF WINDOW
7'-10" 10'-1"
FIN. GROUND FLOOR
FIN. SUNKEN FOYER
FIN. GRADE
8'-6"
TOP OF SLAB

GUARDSHANDRAILS
Shall be provided on
porches as required
based on final lot grading

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including zoning provisions and any provisions
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams, Architect

no.	description	date	by
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Richard Vink
signature
24488
GM
42658

Greenpark.

PROJECT NAME
LECCO RIDGE DEV. INC.
PROJECT NO.
16015

TOWN OF MILTON
BLOCK 323

IVY SERIES
BLOCK 323 ELEVATIONS

SEPTEMBER 2016
1/8" = 1'-0"
drawn by
GM
checked by
GM
16015-BLOCK-323

BLOCK 323
ELEVATION 1

B3