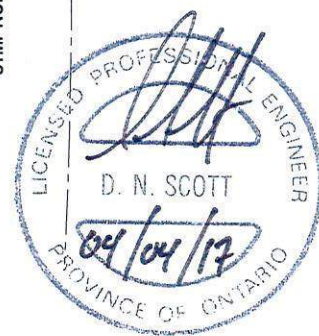


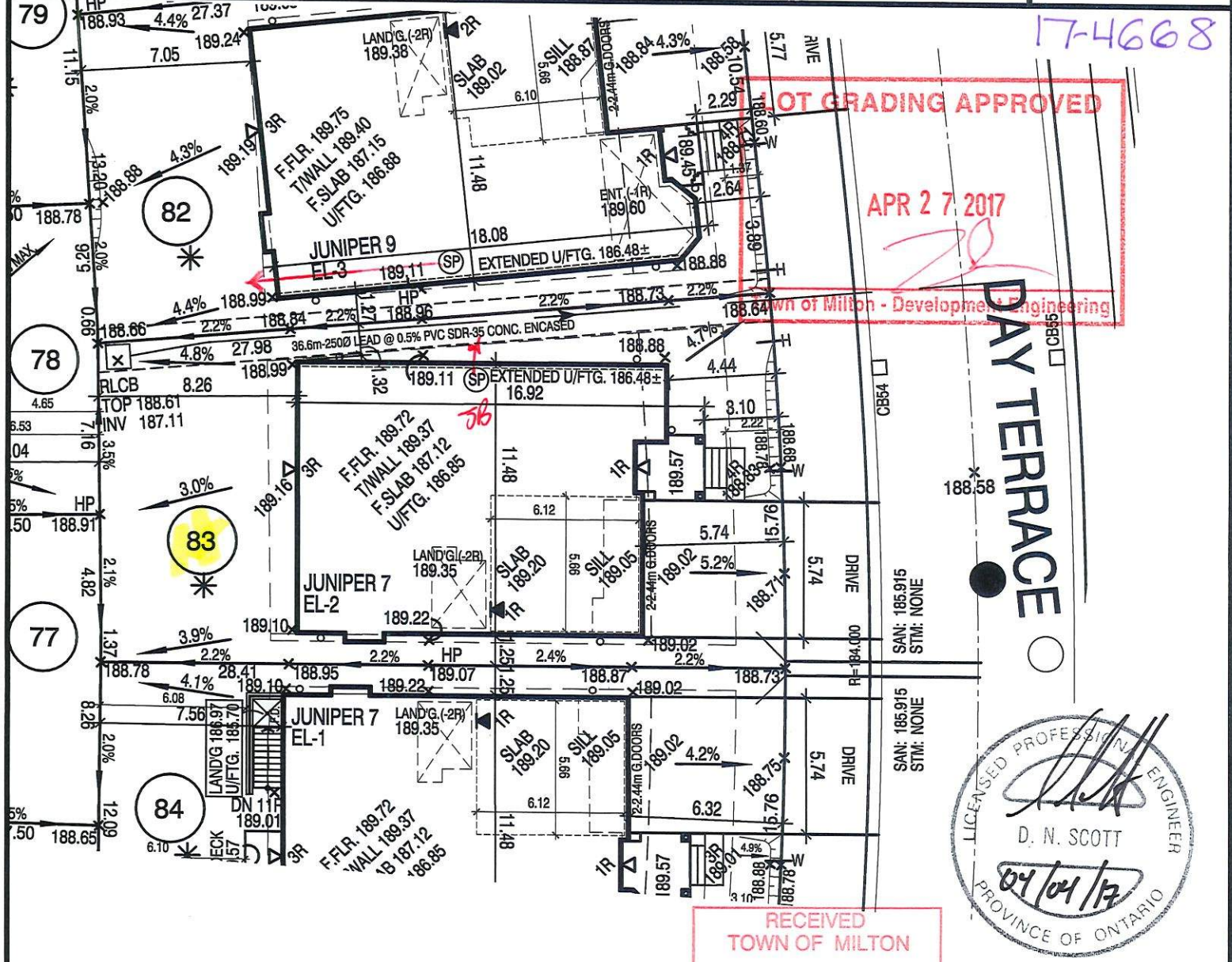
- 



64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: [info@jardindesign.ca](mailto:info@jardindesign.ca)



--- STORM CONNECTION	△ ENTRANCE DOOR LOCATION	● STREET LIGHT	F.F.L.R. FINISHED FLOOR ELEVATION
--- SANITARY CONNECTION	▲ GARAGE DOOR LOCATION	▲ TRANSFORMER	T/WALL TOP OF FOUNDATION WALL
W- WATER CONNECTION	* ENGINEERED FILL LOT	■ CABLE TV PEDESTAL	F.SLAB FIN. BASEMENT FLOOR SLAB
H- HYDRO CONNECTION	● SANITARY MANHOLE	■ BELL PEDESTAL	U/FTG. UNDERSIDE FOOTING ELEVATION
□ DOUBLE CATCH BASIN	○ STORM MANHOLE	⊞ HYDRO METER	PROPOSED 3:1 SLOPE
□ CATCH BASIN	MAIL COMMUNITY MAILBOX	⊞ GAS METER	100.00 PROPOSED GRADE
○ HYDRANT	○ DOWNSPOUT LOCATION	⊞ AIR-CONDITIONING UNIT	(100.00) EXISTING GRADE
⊗ VALVE AND CHAMBER	→ SWALE DIRECTION	⊞ SUMP PUMP	SW ×100.00 PROPOSED SWALE GRADE



## The MUNICIPAL INFRASTRUCTURE Group Ltd.

### LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

LOT/BLK. NO.(S) LOT 83

DATE: MAR 31 2017

5		
4		
3	FEB. 15, 2017	REV. AS PER CLIENTS COMMENTS AND ISSUED FOR PERMIT.
2	FEB. 9, 2017	REV. AS PER CLIENTS/ENG. AND ISSUED TO CLIENT FOR REVIEW
1	JAN. 18, 2017	ISSUED FOR ENGINEERS GRADING REVIEW.

### REVISIONS:

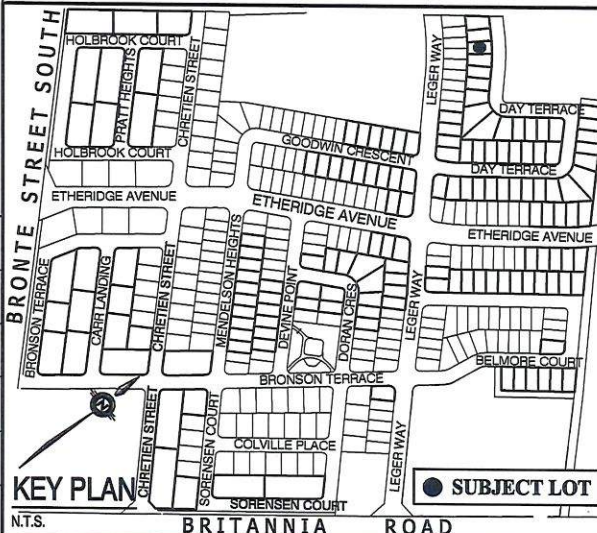
**SUMP PUMP TO DISCHARGE TO SPLASH PAD.**

RECEIVED  
TOWN OF MILTON

APR 07 2017

BLDG. DIVISION

■ ■ ■ ■ : 45 MINUTE RATED WALL  
WITH SIDE YARD < 1.2m



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



SCALE 1:250



LECCO RIDGE DEVELOPMENTS INC.

PROJ. No. 16-12

MUNICIPAL ADDRESS

LOT No. 83



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Bortolotto 21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763

FIRM NAME BCIN

**jardin**  
DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

REG. PLAN

PART OF LOT 6 CONCESSION 2, NEW SURVEY  
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR)  
REGIONAL MUNICIPALITY OF HALTON  
20M-1184 TOWN OF MILTON

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
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