

	Model Type	Garage Dimension W x L (m)	Coverage (sq.m)	Lot Area (sq.m)	Coverage (%)	Uncovered Driveway Area (m ²)	Front Yard Area (m ²)	Front Yard Landscape Area (m ²)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
344-1	IVY 11	2.90x6.00	130.71	328.66	39.77	17.92	38.69	20.77	53.68	11.07	27.50	
344-2	IVY 4	2.97x6.02	115.94	209.55	55.33	17.35	33.74	16.39	48.58	7.62	27.50	
344-3	IVY 4	2.97x6.02	115.94	209.55	55.33	17.35	33.74	16.39	48.58	7.62	27.50	
344-4	IVY 1	2.90x6.65	104.98	209.55	50.10	18.15	30.06	11.91	39.62	7.62	27.50	
344-5	IVY 3	2.90x6.00	119.19	209.55	56.88	17.34	30.86	13.52	43.81	7.62	27.50	
344-6	IVY 6E	3.07x6.65	122.26	256.30	47.70	19.20	34.87	15.67	44.94	9.32	27.50	
TOTAL			709.02	1423.16	49.82	107.31	201.96	94.65	46.87			8.56

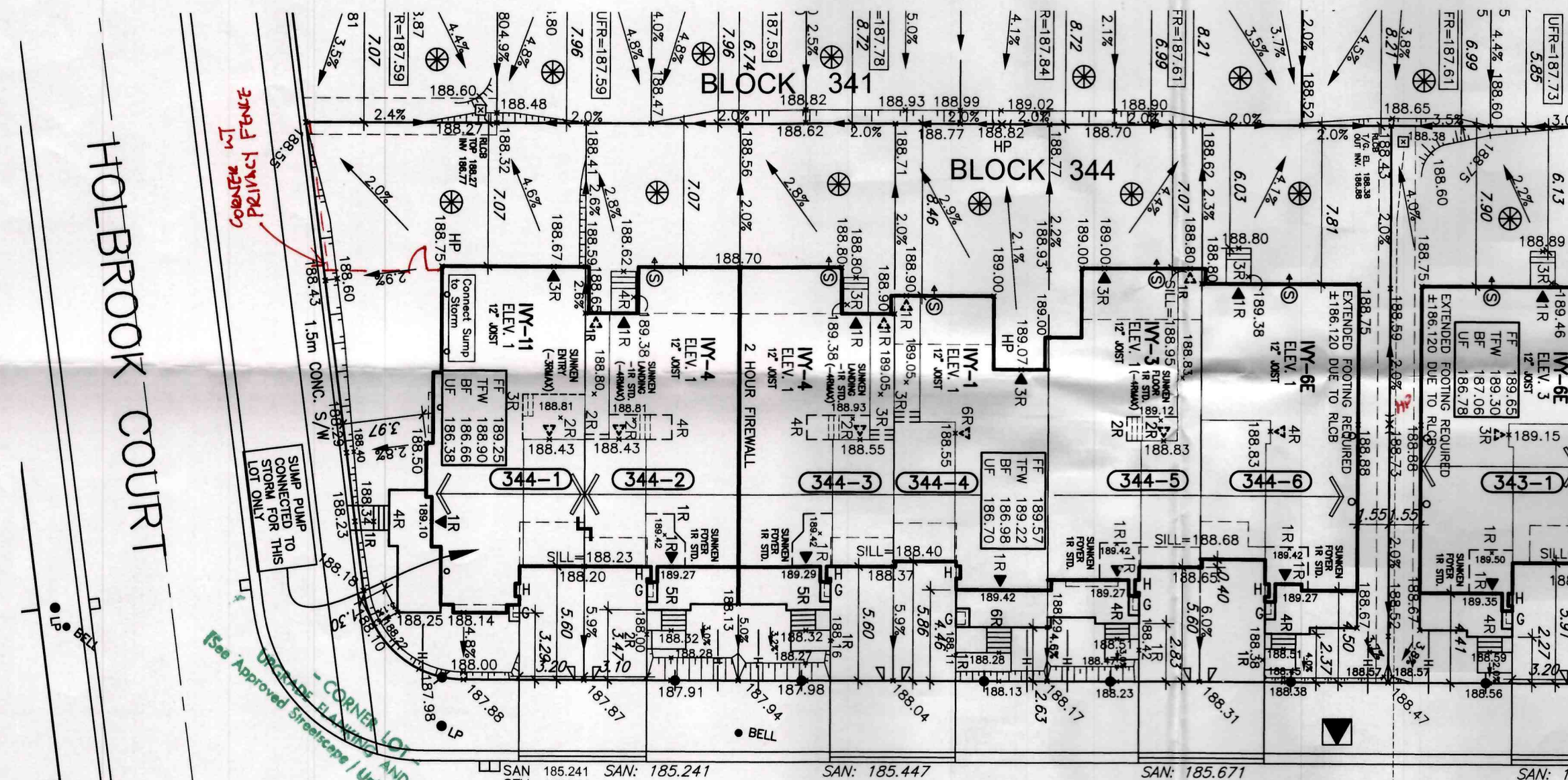
By: B. GIBSON

John G. Williams Limited, Architect



Town of Milton - Development Engineering

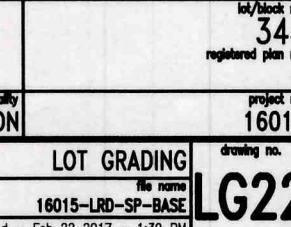
BLDG. DIVISION



~~PRATT HEIGHTS~~

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

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BLOCK 344 – ELEVATION 1

	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m ²)	Front Yard Area (m ²)	Front Yard Landscape Area (m ²)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
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344-6	IVY 6E	3.07x6.65	122.26	256.30	47.70	19.20	34.87	15.67	44.94	9.32	27.50	
TOTAL			709.02	1423.16	49.82	107.31	201.96	94.65	46.87			8.56

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

☐ REVIEWED

☐ REVIEWED AS NOTED

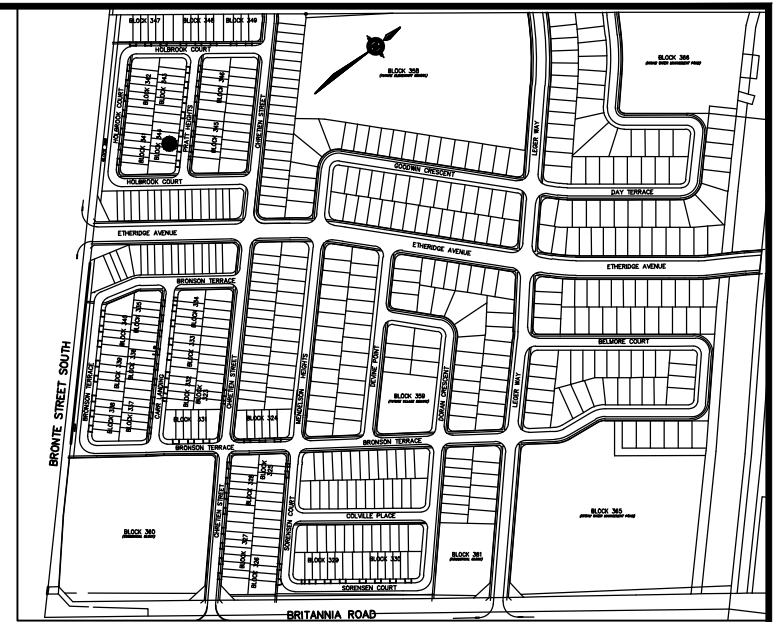
☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

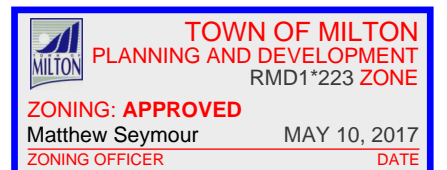
DATE: _____ By: _____
B. GIBSON

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

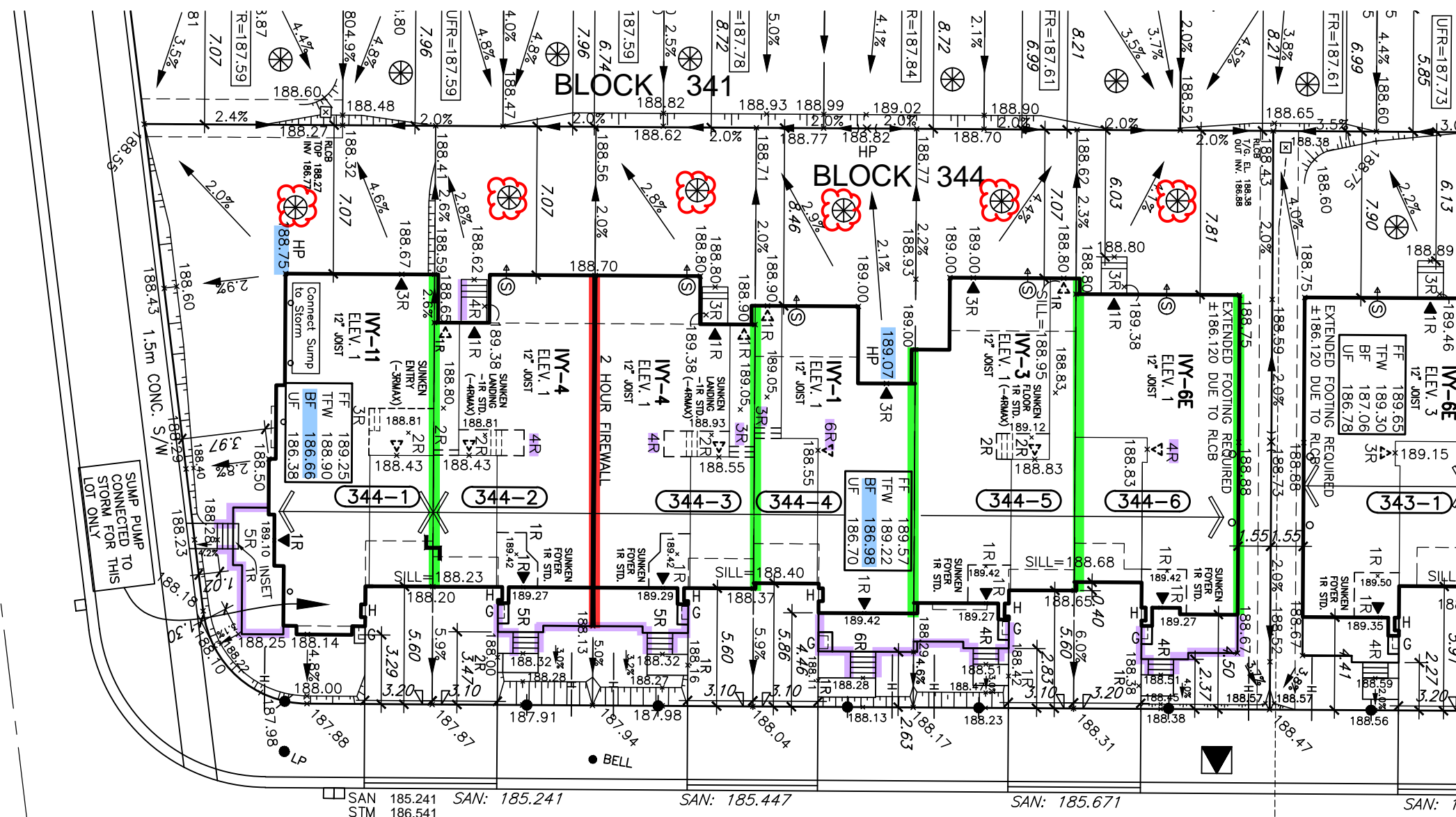


KEYPLAN N.T.S.



LEGEND	
	45 Min FRR
	45 Min FRR w/NC Cladding
	1 Hr Party Wall
	2 Hr Firewall (NC)
	Guard/Handrail as per 9.8.
	Backfill height as per 9.15.
Siting to be read in conjunction with reviewed main model drawings	

HOLBROOK COURT



2.09m Backfill height as per 9.15.

PRATT HEIGHTS

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.
ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

NOTE: DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW	2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW	3 UNIT 1 EXT. STEPS REVISED. MAY 03/17 GW	4	5	6	
PROPOSED VALVE LIGHT POLE HYDRANT TRANSFORMER WATER SERVICE DOUBLE STM/SAN. CONNECTION SINGLE STM/SAN. CONNECTION CATCH BASIN CABLE TELEVISION PEDESTAL BELL PEDESTAL	No. OF RISERS FF FINISHED FLOOR ELEVATION UF UNDERSIDE FOOTING ELEVATION BF FIN. BASEMENT FLOOR SLAB TFW TOP OF FOUNDATION WALL UFF UNDERSIDE FOOTING AT REAR UFF UNDERSIDE FOOTING AT FRONT UFFS UNDERSIDE FOOTING AT SIDE W.O.D. WALK OUT DECK W.O.B. WALK OUT BASEMENT REV REVERSE PLAN	STREET SIGN SUPER MAIL BOX RETAINING WALL 1.5m BLACK VINYL CHAIN LINK FENCE ACOUSTICAL FENCE (SEE LANDSCAPE PLAN) WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) HYDRO SERVICE LATERAL SLOPE DIRECTION EMBANKMENT		north arrow	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	Greenpark project name LECCO RIDGE DEV. INC. municipality MILTON date NOV. 2016 drawn by LG22 checked by 1:250 file name 16015-LRD-SP-BASE drawing no. 16015