

BLOCK 343 - ELEVATION 3

LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
343-1	IVY 6E	3.07x6.65	122.26	256.30	47.70	18.90	33.99	15.09	44.40	9.32	27.50	
343-2	IVY 4	2.97x6.02	115.94	209.55	55.33	17.35	33.75	16.40	48.59	7.62	27.50	
343-3	IVY 5	2.97x6.02	122.26	209.55	58.34	17.35	30.19	12.84	42.53	7.62	27.50	
343-4	IVY 2	2.90x6.00	104.70	209.55	49.96	17.35	39.68	22.33	56.28	7.62	27.50	
343-5	IVY 2	2.90x6.00	104.70	209.55	49.96	17.35	39.68	22.33	56.28	7.62	27.50	
343-6	IVY 1	2.90x6.65	104.98	209.55	50.10	18.28	30.37	12.09	39.81	7.62	27.50	
343-7	IVY 3	2.90x6.00	119.19	209.55	56.88	17.35	30.88	13.53	43.81	7.62	27.50	
343-8	IVY 11	2.90x6.00	134.90	284.95	47.34	17.92	42.51	24.59	57.85	11.48	27.50	
TOTAL			928.93	1798.55	51.65	141.85	281.05	139.20	49.53			8.18

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☐ REVIEWED
- ☒ REVIEWED AS NOTED
- ☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017

By: B. GIBSON

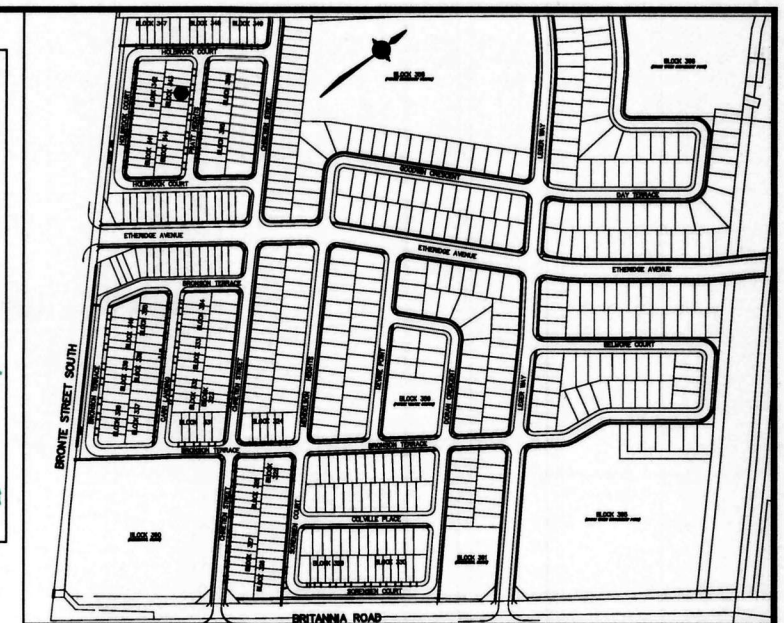
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

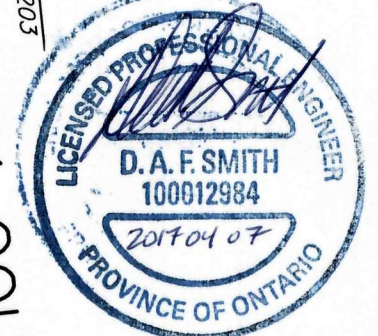
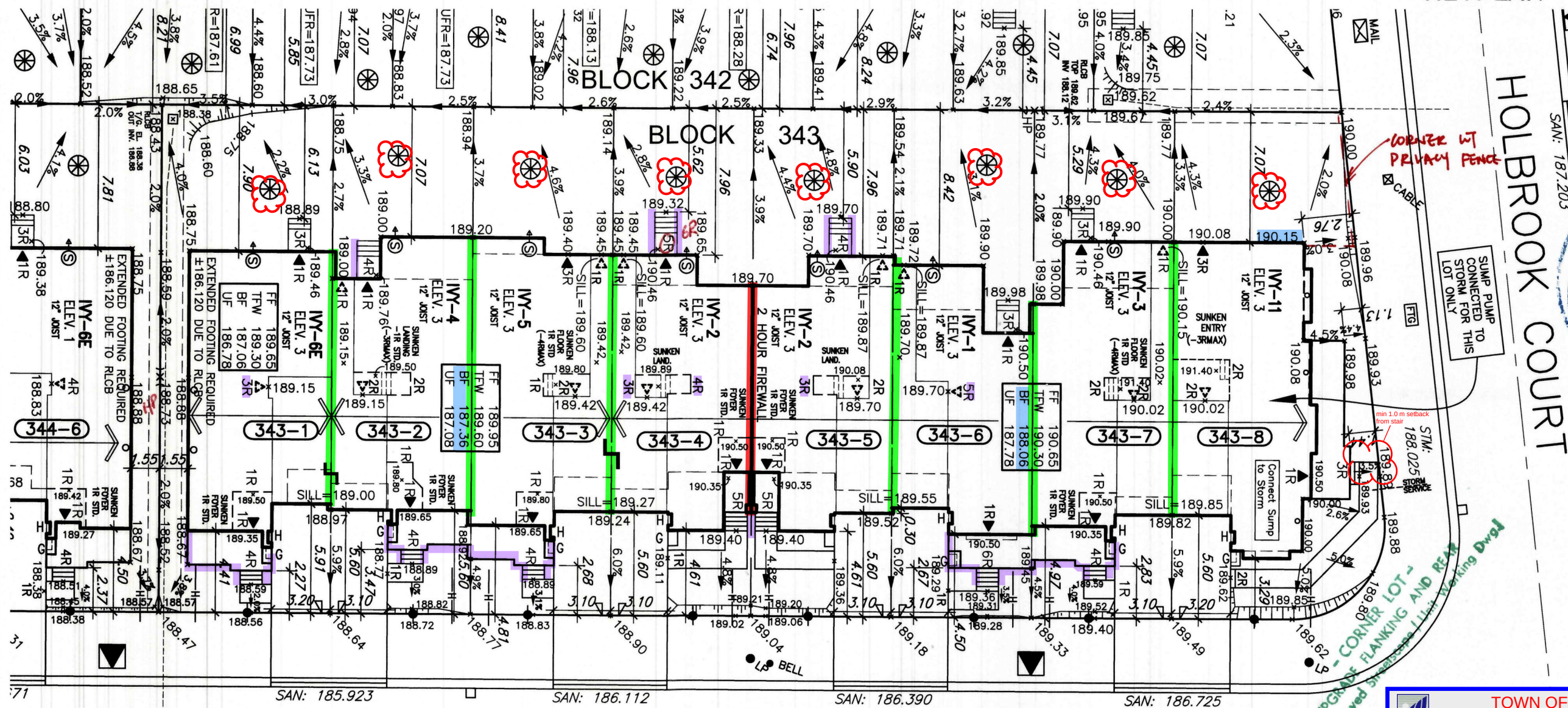
ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



KEYPLAN N.T.S.



RECEIVED
TOWN OF MILTON
APR 12, 2017
17-5327 TO 17-5336
BUILDING DIVISION

- LEGEND**
- 45 Min FRR
 - 45 Min FRR w/NC Cladding
 - 1 Hr Party Wall
 - 2 Hr Firewall (NC)
 - Guard/Handrail as per 9.8.
 - Backfill height as per 9.15.
- Siting to be read in conjunction with reviewed main model drawings

TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE
ZONING: APPROVED
Sherri Jamieson MAY 4, 2017
ZONING OFFICER DATE

PRATT HEIGHTS

1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.
ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

NOTE:
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW 2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW 3 4 5 6		PROPOSED VALVE LP LIGHT POLE HYDRANT TRANSFORMER WATER SERVICE DOUBLE STM./SAN. CONNECTION SINGLE STM./SAN. CONNECTION CATCH BASIN CABLE TELEVISION PEDESTAL BELL PEDESTAL		No. of RISERS FINISHED FLOOR ELEVATION UNDERSIDE FOOTING ELEVATION FIN. BASEMENT FLOOR SLAB TOP OF FOUNDATION WALL UNDERSIDE FOOTING AT REAR UNDERSIDE FOOTING AT FRONT UNDERSIDE FOOTING AT SIDE W.O.D. WALK OUT DECK W.O.B. WALK OUT BASEMENT REVERSE PLAN		STREET SIGN SUPER MAIL BOX RETAINING WALL 1.5m BLACK VINYL CHAIN LINK FENCE ACOUSTICAL FENCE (SEE LANDSCAPE PLAN) WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) HYDRO SERVICE LATERAL SHWLE DIRECTION EMBANKMENT		PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA THIS LOT CONTAINS ENGINEERED FILL AIR CONDITIONER REQUIRED RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) SIDE WINDOW LOCATION EXTERIOR DOOR LOCATION REDUCE SIDE YARD		The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink 24488 signature VA3 Design Inc. 42658 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		Greenpark project name LECCO RIDGE DEV. INC. date NOV. 2016 checked by GW scale 1:250 LOT GRADING 16015-LRD-SP-BASE drawing no. LG21	
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Table with 11 columns: LOT No., Model Type, Garage Dimension W x L (m), Coverage (sq.m.), Lot Area (sq.m.), Coverage (%), Uncovered Driveway Area (m2), Front Yard Area (m2), Front Yard Landscape Area (m2), Front Yard Landscape (%), Lot Frontage (m), Proposed Building Height (m). Rows include lots 343-1 through 343-8 and a TOTAL row.

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

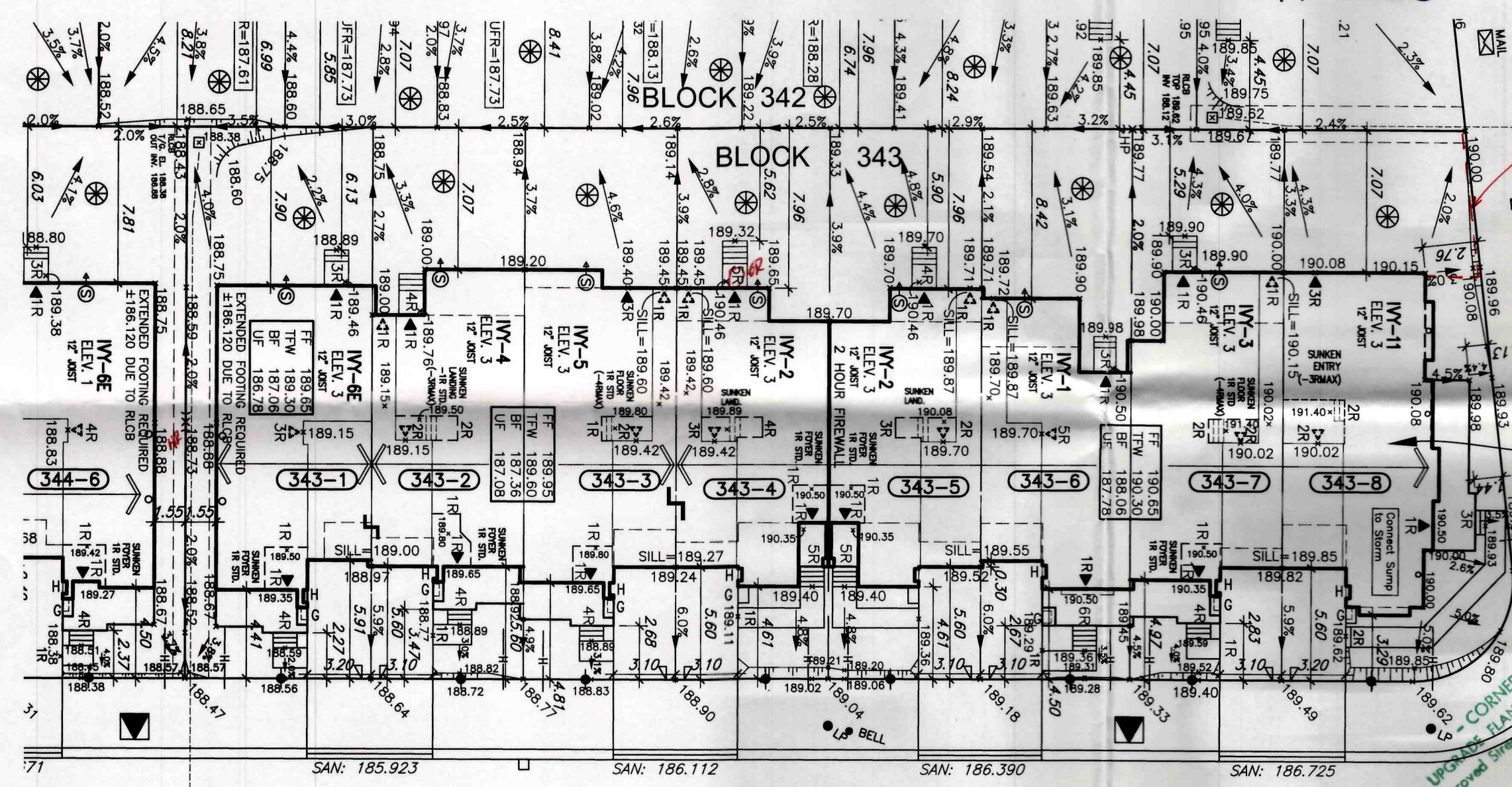
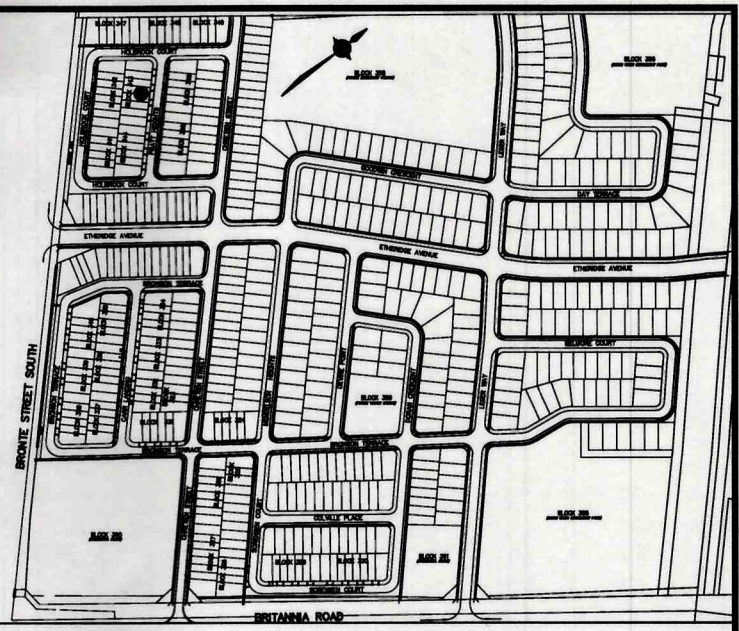
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The MUNICIPAL INFRASTRUCTURE Group Ltd.
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ARCHITECTURAL REVIEW & APPROVAL
MAR 21 2017
John G. Williams Limited, Architect



KEYPLAN N.T.S.

HOLBROOK COURT

PRATT HEIGHTS

LOT GRADING APPROVED

APR 27 2017

Town of Milton - Development Engineering

RECEIVED TOWN OF MILTON

APR 12 2017

BLDG. DIVISION

Professional Engineer Stamp: D.A.F. SMITH, 100012984, 2010/01/07, PROVINCE OF ONTARIO

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6. VAS Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VAS Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

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LEGEND: PROPOSED VALVE, LIGHT POLE, HYDRO, TRANSFORMER, WATER SERVICE, DOUBLE STM/SAN. CONNECTION, SINGLE STM/SAN. CONNECTION, CATCH BASIN, CABLE TELEVISION PEDISTAL, BELL PEDISTAL, NO. OF RISERS, FINISHED FLOOR ELEVATION, UNDERSIDE FLOORING ELEVATION, FIN. BASEMENT FLOOR SLAB, TOP OF FOUNDATION WALL, UNDERSIDE FOOTING AT REAR, UNDERSIDE FOOTING AT FRONT, UNDERSIDE FOOTING AT SIDE, W.O.D. WALK OUT DECK, W.O.D. WALK OUT BASEMENT, REVERSE PLAN, STREET SIGN, SUPER MAIL BOX, RETAINING WALL, 1.5m BLACK VINYL CHAIN LINK FENCE, ACoustical FENCE (SEE LANDSCAPE PLAN), WOOD SCREEN FENCE (SEE LANDSCAPE PLAN), HYDRO SERVICE LATERAL, SINGLE DIRECTION, EMBANKMENT, PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA, THIS LOT CONTAINS ENGINEERED FILL, AIR CONDITIONER REQUIRED, RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD), SIDE WINDOW LOCATION, EXTERIOR DOOR LOCATION, REDUCE SIDE YARD.

Richard Vink, 24488, VAS Design Inc., 42658

Greenpark, 343, LECCO RIDGE DEV. INC., MILTON, 16015

LOT GRADING, NOV. 2016, 1:250, 16015-LRD-SP-BASE, LG21