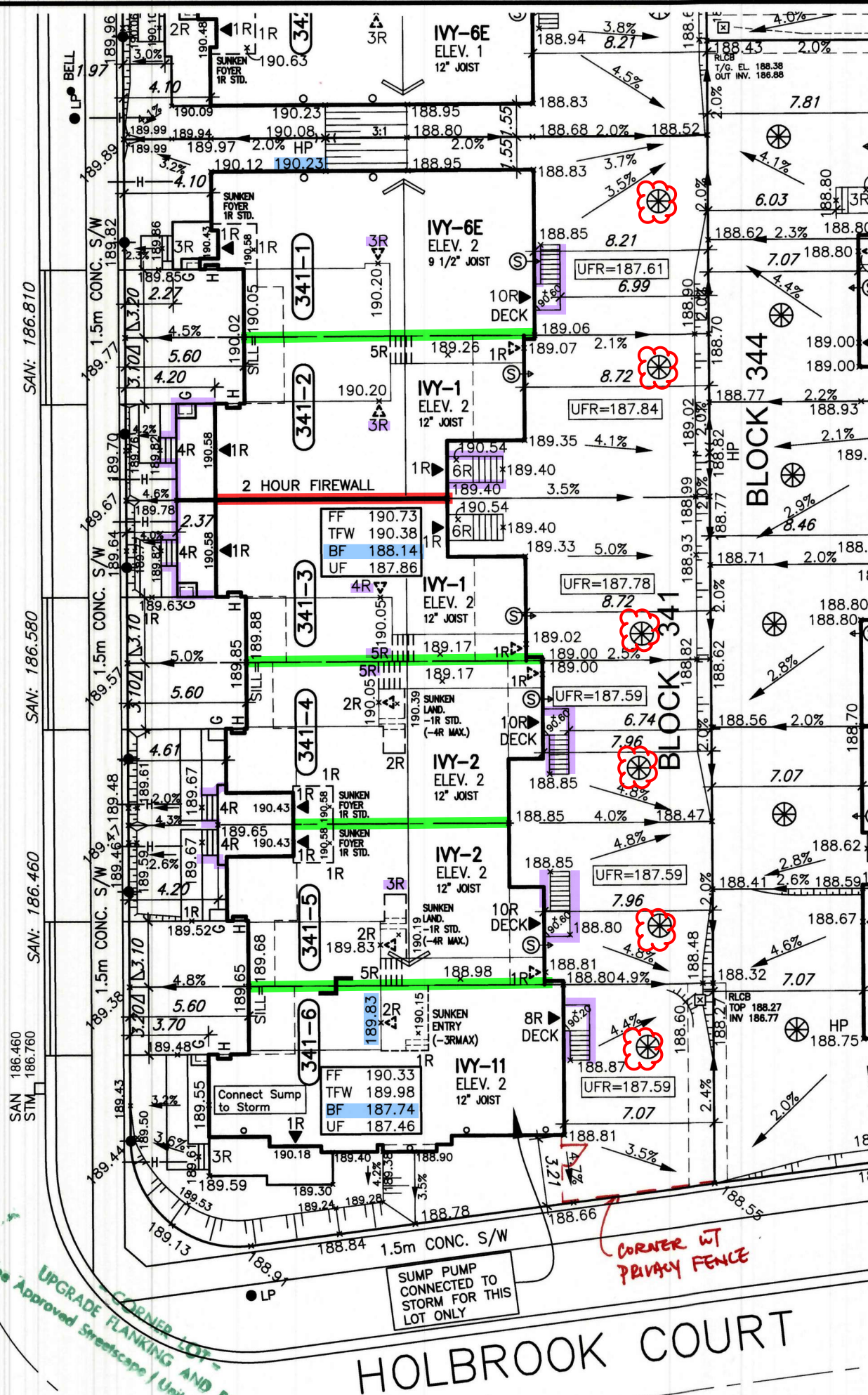


HOLBROOK COURT



HOLBROOK COURT

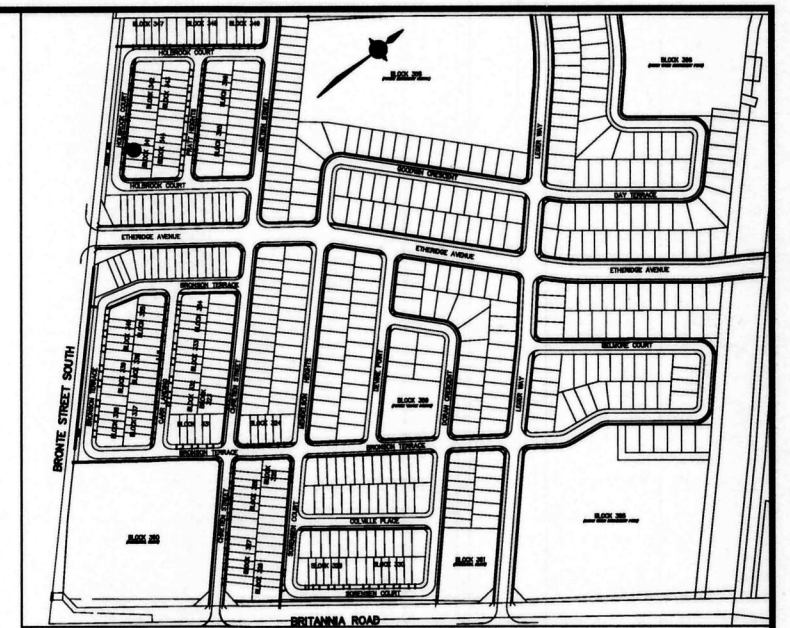
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ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



KEYPLAN N.T.S.

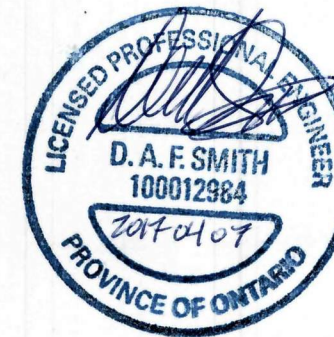
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- ☐ REVIEWED
- ☒ REVIEWED AS NOTED
- ☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

APR 07 2017

DATE: By: B. GIBSON



TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE
ZONING: APPROVED
Sherri Jamieson MAY 3, 2017
ZONING OFFICER DATE

LEGEND
45 Min FRR
45 Min FRR w/NC Cladding
1 Hr Party Wall
2 Hr Firewall (NC)
Guard/Handrail as per 9.8.
Backfill height as per 9.15.
Siting to be read in conjunction with reviewed main model drawings

RECEIVED
TOWN OF MILTON
APR 12, 2017
17-5253 to 17-5258
BUILDING DIVISION

2.09m Backfill height as per 9.15.

BLOCK 341 - ELEVATION 2

LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
341-1	IVY 6E	3.07x6.65	117.33	256.30	45.78	17.92	38.93	21.01	53.97	9.32	27.50	
341-2	IVY 1	2.90x6.65	104.98	209.55	50.10	17.35	28.09	10.74	38.23	7.62	27.50	
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341-4	IVY 2	2.90x6.00	107.02	209.55	51.07	17.35	37.43	20.08	53.65	7.62	27.50	
341-5	IVY 2	2.90x6.00	107.02	209.55	51.07	17.35	37.43	20.08	53.65	7.62	27.50	
341-6	IVY 11	2.90x6.00	128.30	300.05	42.76	17.92	46.05	28.13	61.09	12.15	27.50	
TOTAL			669.63	1394.55	48.02	105.24	216.02	110.78	51.28			8.38

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

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1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW

2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW

3

4

5

6

PROPOSED VALVE

LIGHT POLE

HYDRANT

TRANSFORMER

WATER SERVICE

DOUBLE STL/SAN. CONNECTION

SINGLE STL/SAN. CONNECTION

CATCH BASIN

CABLE TELEVISION PEDESTAL

BELL PEDESTAL

No. OF RISERS

FINISHED FLOOR ELEVATION

UNDERSIDE FLOOR ELEVATION

FIN. BASEMENT FLOOR SLAB

TOP OF FOUNDATION WALL

UFR UNDERSIDE FOOTING AT REAR

UFF UNDERSIDE FOOTING AT FRONT

UFS UNDERSIDE FOOTING AT SIDE

W.O.D. WALK OUT DECK

W.O.B. WALK OUT BASEMENT

REV REVERSE PLAN

STREET SIGN

SUPER MAIL BOX

RETAINING WALL

1.5m BLACK VINYL CHAIN LINK FENCE

ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)

WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)

HYDRO SERVICE LATERAL

SWALE DIRECTION

EMBANKMENT

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA

THIS LOT CONTAINS ENGINEERED FILL

AIR CONDITIONER REQUIRED

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

SIDE WINDOW LOCATION

EXTERIOR DOOR LOCATION

REDUCE SIDE YARD

north arrow

VA3 DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

t 416.630.2255 f 416.630.4782

va3design.com

Greenpark

project name

LECCO RIDGE DEV. INC.

municipality

MILTON

date

NOV. 2016

checked by

scale

1:250

file name

16015-LRD-SP-BASE

drawing no.

LG19

lot/block no.

341

registered plan no.

16015

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24488

signature

BCN

name

VA3 Design Inc.

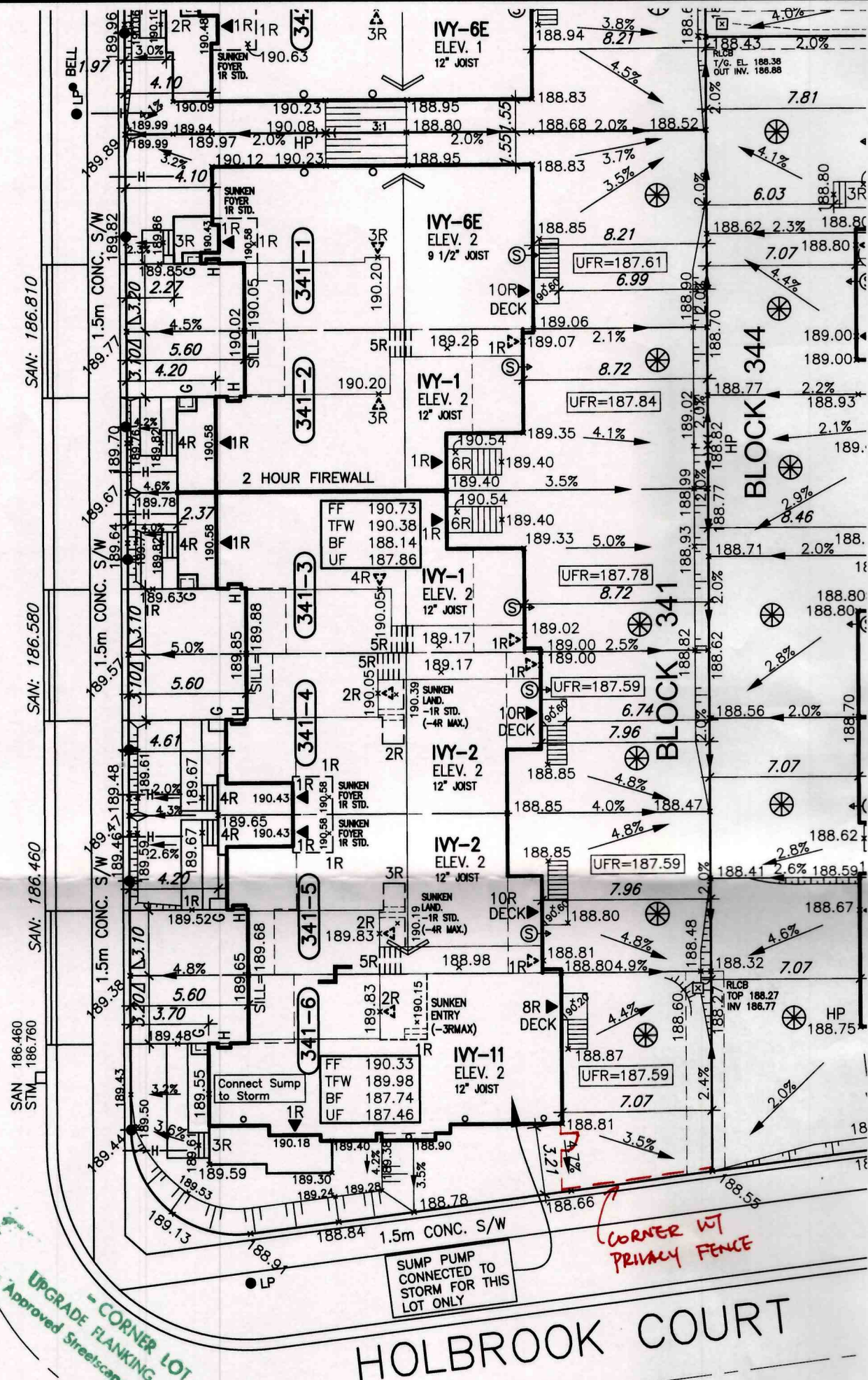
42658

Builder to verify location of all hydro, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.

Builder to verify service connection elevations prior to constructing foundations.

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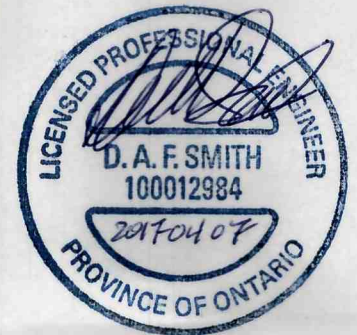
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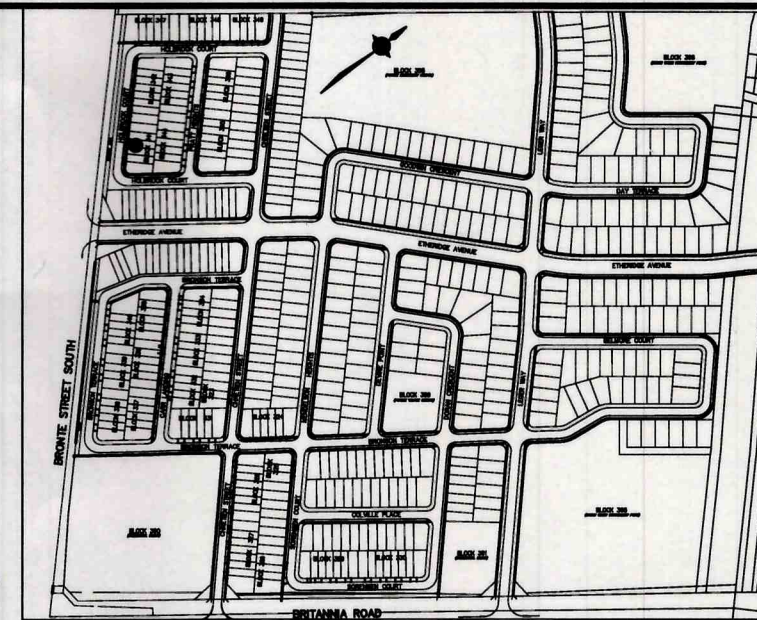
#17-5253 to #17-5258



LOT GRADING APPROVED

APR 26 2017

Town of Milton - Development Engineering



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