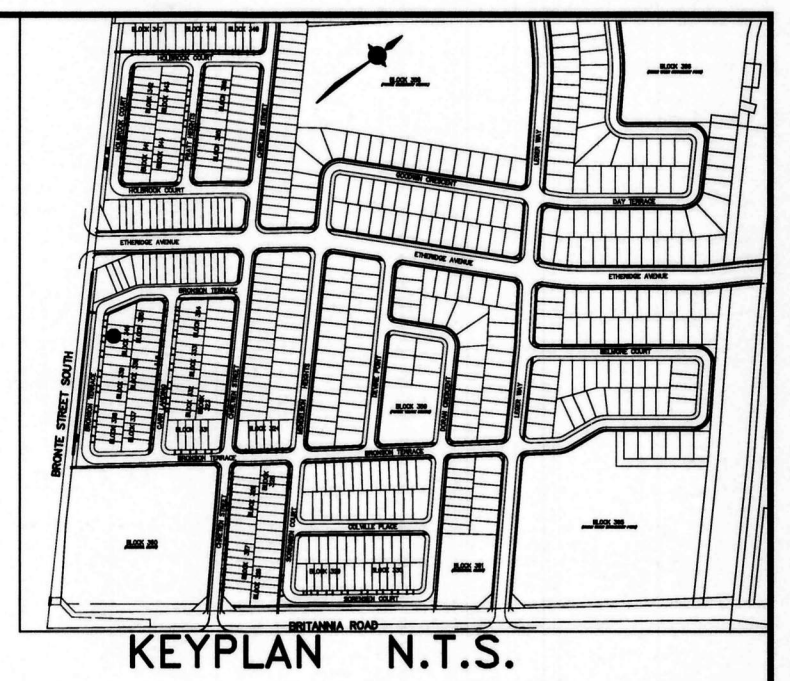


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

ARCHITECTURAL REVIEW & APPROVAL
MAR 2 1/2017
John G. Williams Limited, Architect



RECEIVED
TOWN OF MILTON
APR 12, 2017
17-5246 to 17-5252
BUILDING DIVISION

- LEGEND
- 45 Min FRR
 - 45 Min FRR w/NC Cladding
 - 1 Hr Party Wall
 - 2 Hr Firewall (NC)
 - Guard/Handrail as per 9.8
 - 2.08m Backfill height as per 9.15
- Siting to be read in conjunction with reviewed main model drawings

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

☐ REVIEWED
☒ REVIEWED AS NOTED
☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.
DATE: APR 07 2017 By: B. GIBSON

TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE

ZONING: APPROVED
Sherri Jamieson MAY 2, 2017
ZONING OFFICER DATE

1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED.

NOTE:
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.
ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

BLOCK 340 - ELEVATION 2											
LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)
340-1	IVY 12	2.90x6.00	132.85	456.18	29.12	17.93	38.95	21.02	53.97	12.75	27.50
340-2	IVY 2	2.90x6.00	107.02	209.55	51.07	17.36	33.85	16.49	48.71	7.62	27.50
340-3	IVY 2	2.90x6.00	107.02	209.55	51.07	17.35	37.11	19.76	53.25	7.62	27.50
340-4	IVY 3	2.90x6.00	119.93	209.55	57.23	17.35	37.11	19.76	53.25	7.62	27.50
340-5	IVY 3	2.90x6.00	119.93	209.55	57.23	17.36	33.85	16.49	48.71	7.62	27.50
340-6	IVY 7E	2.97x6.30	128.67	275.00	46.79	17.93	38.95	21.02	53.97	10.00	27.50
TOTAL			715.42	1569.38	45.59	105.28	219.82	114.54	52.11		8.03

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW 2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW 3

4

5

6

PROPOSED VALVE
LP LIGHT POLE
H HYDRANT
TRANSFORMER
WATER SERVICE
DOUBLE STM./SAN. CONNECTION
SINGLE STM./SAN. CONNECTION
CATCH BASIN
CABLE TELEVISION PEDESTAL
BELL PEDESTAL

No. OF RISERS
FF FINISHED FLOOR ELEVATION
UF UNDERSIDE FOOTING ELEVATION
BF FIN. BASEMENT FLOOR SLAB
TPW TOP OF FOUNDATION WALL
UPR UNDERSIDE FOOTING AT REAR
UFF UNDERSIDE FOOTING AT FRONT
UFS UNDERSIDE FOOTING AT SIDE
W.O.D. WALK OUT DECK
W.O.B. WALK OUT BASEMENT
REV REVERSE PLAN

STREET SIGN
SUPER MAIL BOX
RETAINING WALL
1.5m BLACK VINYL CHAIN LINK FENCE
ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
HYDRO SERVICE LATERAL
SMALL DIRECTION
EMBANKMENT

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED
RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
SIDE WINDOW LOCATION
EXTERIOR DOOR LOCATION
REDUCE SIDE YARD

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service connection elevations prior to constructing foundations.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
project name
LECCO RIDGE DEV. INC.
municipality
MILTON

date
NOV. 2016
checked by
GW
scale
1:250

LOT GRADING
16015-LRD-SP-BASE
drawing no.
LG18

lot/block no.
340
registered plan no.
16015

project no.
16015

date
NOV. 2016
checked by
GW
scale
1:250

LOT GRADING
16015-LRD-SP-BASE
drawing no.
LG18

file name
16015-LRD-SP-BASE.dwg
Wed - Feb 22 2017 - 1:39 PM

