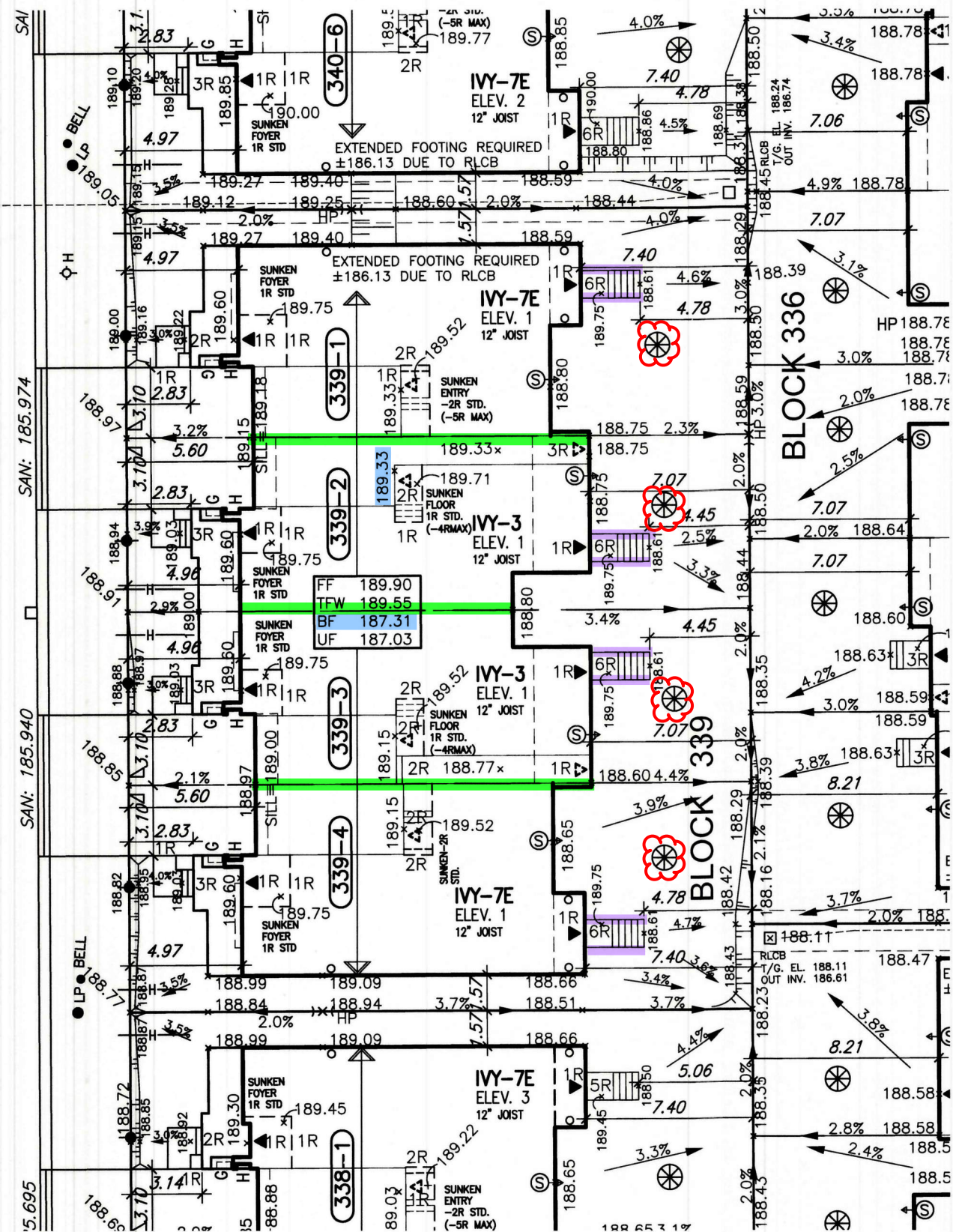


BRONSON TERRACE



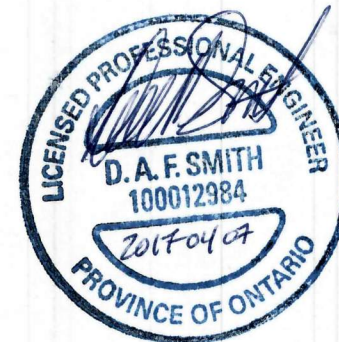
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

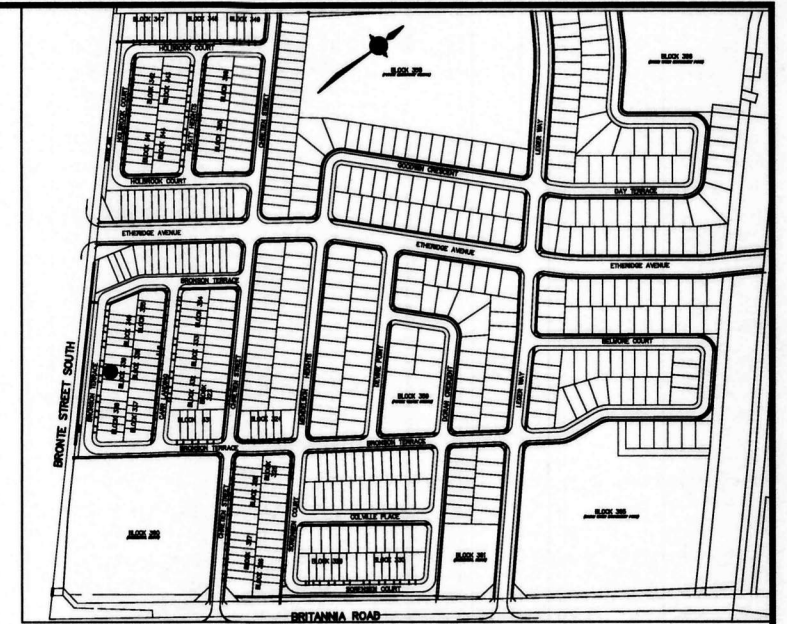
ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE
ZONING: **APPROVED**
Sherri Jamieson MAY 2, 2017
ZONING OFFICER DATE



KEYPLAN N.T.S.

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☒ REVIEWED
- ☐ REVIEWED AS NOTED
- ☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: **APR 07 2017** By: **B. GIBSON**

LEGEND

- 45 Min FRR
- 45 Min FRR w/NC Cladding
- 1 Hr Party Wall
- 2 Hr Firewall (NC)
- Guard/Handrail as per 9.8.
- Backfill height as per 9.15.

Siting to be read in conjunction with reviewed main model drawings

RECEIVED
TOWN OF MILTON
APR 12, 2017
17-5239 to 17-5243
BUILDING DIVISION

BLOCK 339 - ELEVATION 1

LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncover Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
339-1	IVY 7E	2.97x6.30	128.67	275.00	46.79	17.35	39.61	22.26	56.20	10.00	27.50	
339-2	IVY 3	2.90x6.00	119.19	209.55	56.88	17.35	30.87	13.52	43.80	7.62	27.50	
339-3	IVY 3	2.90x6.00	119.19	209.55	56.88	17.35	30.87	13.52	43.80	7.62	27.50	
339-4	IVY 7E	2.97x6.30	128.67	275.00	46.79	17.35	39.61	22.26	56.20	10.00	27.50	
TOTAL			495.72	969.10	51.15	69.40	140.96	71.56	50.77			8.05

NOTE: SUMP PUMP REQUIRED S
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.

ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

NOTE:
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED.

1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW	2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW	3	4	5	6
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LEGEND

- PROPOSED VALVE
- LIGHT POLE
- HYDRANT
- TRANSFORMER
- WATER SERVICE
- DOUBLE STL/SAN. CONNECTION
- SINGLE STL/SAN. CONNECTION
- CATCH BASIN
- CABLE TELEVISION PEDESTAL
- BELL PEDESTAL

LEGEND

- STREET SIGN
- SUPER MAIL BOX
- RETAINING WALL
- 1.5m BLACK VINYL CHAIN LINK FENCE
- ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
- WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
- HYDRO SERVICE LATERAL
- SWALE DIRECTION
- EMBANKMENT

LEGEND

- PROMOTE 3/4" DIA. CLEAR STONE IN THIS AREA
- THIS LOT CONTAINS ENGINEERED FILL
- AIR CONDITIONER REQUIRED
- RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
- SIDE WINDOW LOCATION
- EXTERIOR DOOR LOCATION
- REDUCE SIDE YARD

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: **LECCO RIDGE DEV. INC.**

project no.: **16015**

date: **NOV. 2016**

checked by: **scale 1:250**

file name: **16015-LRD-SP-BASE**

drawing no.: **LG17**

LOT GRADING

16015-LRD-SP-BASE.dwg - Wed - Feb 22 2017 - 1:39 PM

Architectural floor plan showing multiple rooms, corridors, and structural details. The plan includes room labels such as "IVY-7E ELEV. 1", "IVY-3 ELEV. 1", and "IVY-7E ELEV. 2". It also shows various structural elements like "SUNKEN ENTRY", "SUNKEN FLOOR", and "SUNKEN FLOOR 1R STD". The plan is divided into sections labeled "BLOCK 336" and "BLOCK 339". The drawing includes numerous dimensions, elevations, and annotations for construction and grading.

John G. Williams Limited, Architect

Town of Milton - Development Engineering

BLDG. DIVISION

DATE: APR 07 2017 By: B. GIBSON

LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m ²)	Front Yard Area (m ²)	Front Yard Landscape Area (m ²)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
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TOTAL			495.72	969.10	51.15	69.40	140.96	71.56	50.77			8.05

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

6

 Greenpark™	lot/block 33 registered plan	
	project name LECCO RIDGE DEV. INC.	municipality MILTON
date NOV. 2016	LOT GRADING the name 16015-1 RD-SP-RASE	
drawn by GW	checked by -	scale 1:250

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