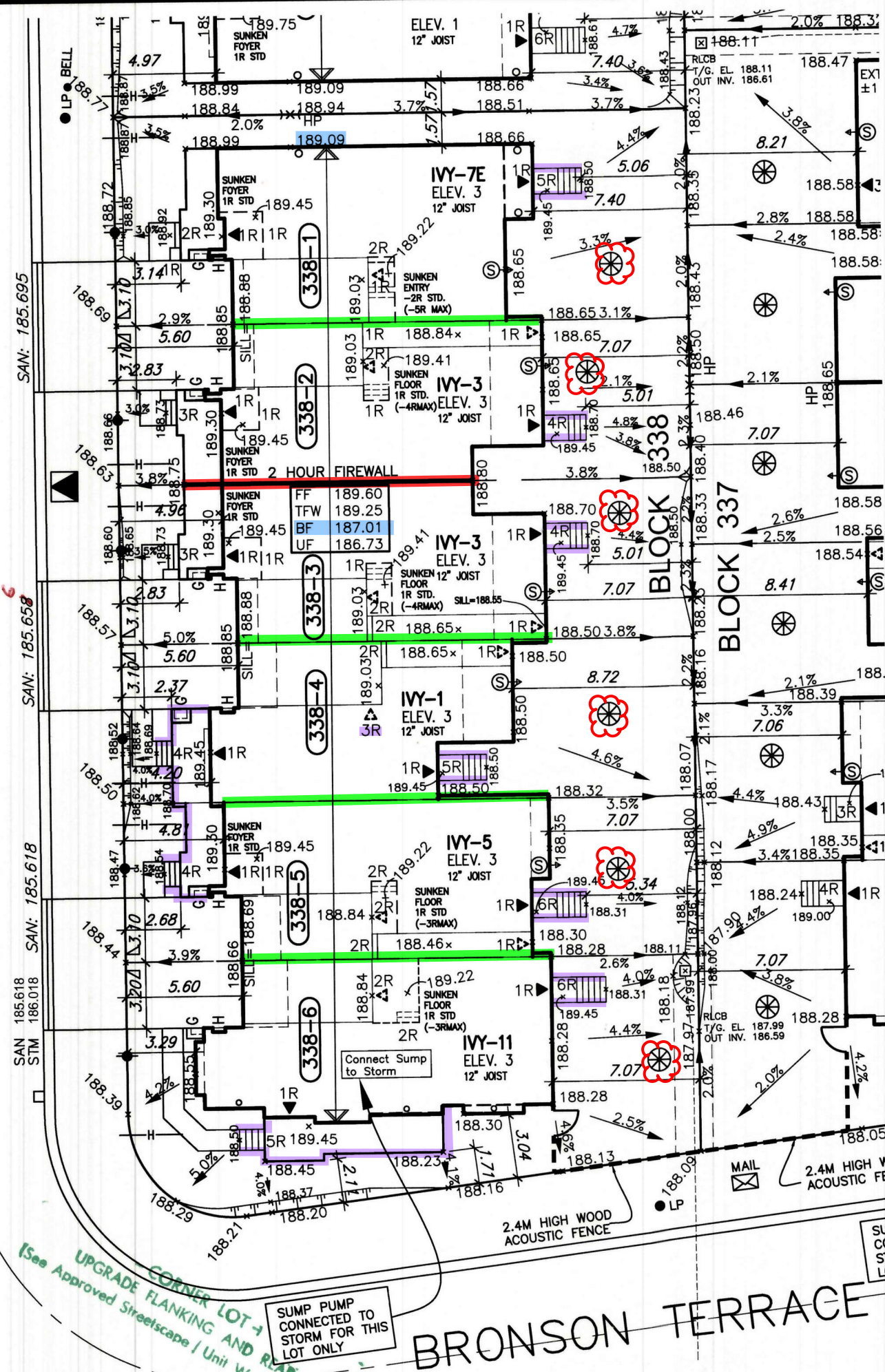


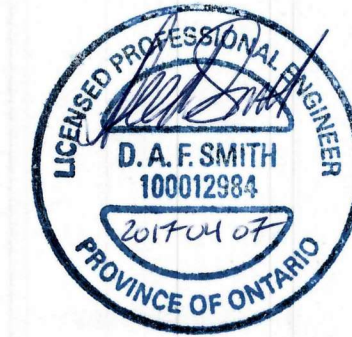
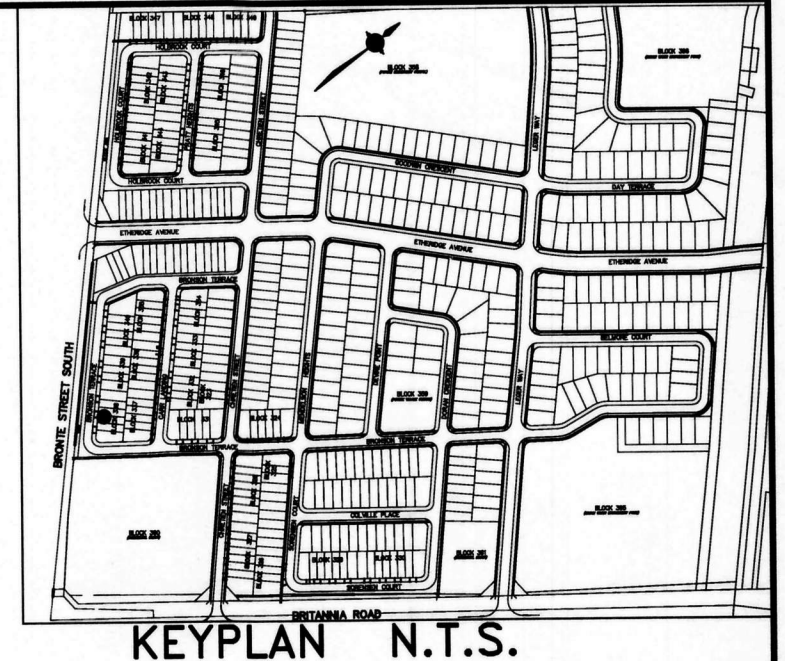
BRONSON TERRACE



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
MAR 21 2017
John G. Williams Limited, Architect



WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

☐ REVIEWED
☒ REVIEWED AS NOTED
☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.
APR 07 2017
DATE: _____ By: B. GIBSON

TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE

ZONING: APPROVED
Sherri Jamieson MAY 2, 2017
ZONING OFFICER DATE

LEGEND

- 45 Min FRR
- 45 Min FRR w/NC Cladding
- 1 Hr Party Wall
- 2 Hr Firewall (NC)
- Guard/Handrail as per 9.8.
- Backfill height as per 9.15.
- 2.08 m

Siting to be read in conjunction with reviewed main model drawings

RECEIVED
TOWN OF MILTON
APR 12, 2017
17-5233 to 17-5238
BUILDING DIVISION

BLOCK 338 - ELEVATION 3										
	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Proposed Building Height (m)
338-1	IVY 7E	2.97x6.30	127.93	275.00	46.52	17.35	40.35	23.00	57.00	29.00
338-2	IVY 3	2.90x6.00	119.19	209.55	56.88	17.35	30.87	13.52	43.80	28.92
338-3	IVY 3	2.90x6.00	119.19	209.55	56.88	17.35	30.87	13.52	43.80	28.78
338-4	IVY 1	2.90x6.65	104.98	209.55	50.10	17.35	28.09	10.74	38.23	28.65
338-5	IVY 5	2.97x6.02	122.26	209.55	58.34	17.35	30.19	12.84	42.53	28.51
338-6	IVY 11	2.90x6.00	134.90	301.43	44.75	17.92	59.84	41.92	70.05	28.51
TOTAL			728.45	1414.63	51.49	104.67	220.21	115.54	52.47	8.15

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.
ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

NOTE:
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW

2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW

3

PROPOSED VALVE
LP LIGHT POLE
HYDRANT
TRANSFORMER
WATER SERVICE
DOUBLE STM/SAN. CONNECTION
SINGLE STM/SAN. CONNECTION
CATCH BASIN
CABLE TELEVISION PEDESTAL
BELL PEDESTAL

NO. OF RISERS
FINISHED FLOOR ELEVATION
UNDERSIDE FLOOR ELEVATION
FIN. BASEMENT FLOOR SLAB
TOP OF FOUNDATION WALL
UNDERSIDE FOOTING AT REAR
UNDERSIDE FOOTING AT FRONT
UNDERSIDE FOOTING AT SIDE
W.O.D. WALK OUT DECK
W.O.B. WALK OUT BASEMENT
REV REVERSE PLAN

STREET SIGN
SUPER MAIL BOX
RETAINING WALL
1.5m BLACK VINYL CHAIN LINK FENCE
ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
HYDRO SERVICE LATERAL
SWALE DIRECTION
EMBANKMENT

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED
RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
SIDE WINDOW LOCATION
EXTERIOR DOOR LOCATION
REDUCE SIDE YARD

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
project name
LECCO RIDGE DEV. INC.
municipality
MILTON

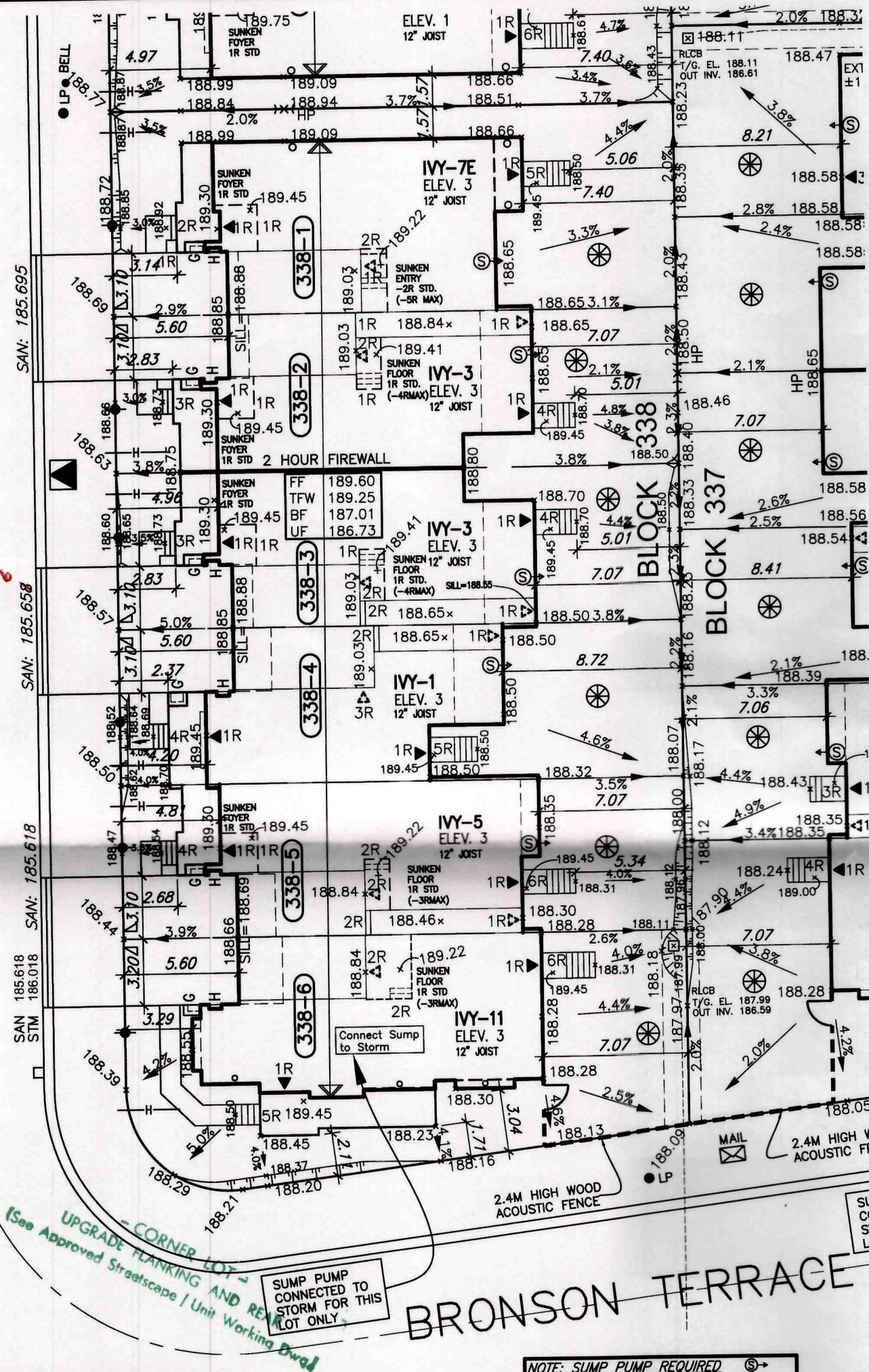
date
NOV. 2016
checked by
scale
1:250

LOT GRADING
drawing no.
LG16

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

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BRONSON TERRACE



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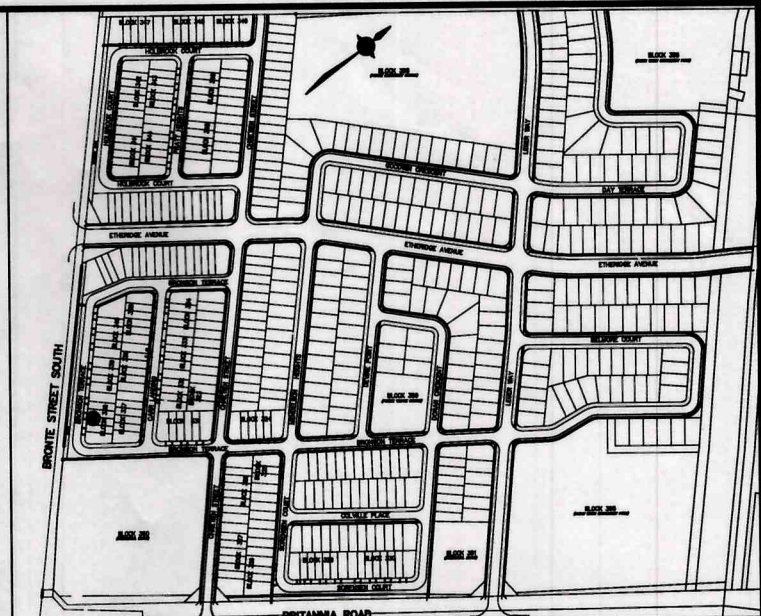
ARCHITECTURAL REVIEW & APPROVAL
MAR 21 2017
John G. Williams Limited, Architect

#17-5233 to #17-5238



LOT GRADING APPROVED
APR 26 2017
Town of Milton - Development Engineering

RECEIVED
TOWN OF MILTON
APR 12 2017
BLDG. DIVISION



KEYPLAN N.T.S.

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☐ REVIEWED
- ☒ REVIEWED AS NOTED
- ☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017

By: B. GIBSON

BLOCK 338 - ELEVATION 3

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VAS Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VAS Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

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1. ISSUED FOR ENG. REVIEW. JAN. 05/17 GW

2. REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW

3.

4.

5.

6.

PROPOSED VALVE

LP LIGHT POLE

HYDRA

TRANSFORMER

WATER SERVICE

DOUBLE STL/SWL CONNECTION

SINGLE STL/SWL CONNECTION

CATCH BASIN

CABLE TELEVISION PEDestal

BEL PEDESTAL

NO. OF RISERS

FINISHED FLOOR ELEVATION

UNDERSIDE FOOTING ELEVATION

FIN. BASEMENT FLOOR SLAB

TOP OF FOUNDATION WALL

UNDERSIDE FOOTING AT REAR

UNDERSIDE FOOTING AT FRONT

UNDERSIDE FOOTING AT SIDE

W.O.D. WALK OUT DECK

W.O.B. WALK OUT BASEMENT

REVERSE PLAN

STREET SIGN

SUPER MAIL BOX

RETAINING WALL

1.5m BLACK VINYL CHAIN LINK FENCE

ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)

WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)

HYDRO SERVICE LATERAL

SWALE DIRECTION

EMBANKMENT

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THIS LOT CONTAINS ENGINEERED FILL

AIR CONDITIONER REQUIRED

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

SIDE WINDOW LOCATION

EXTERIOR DOOR LOCATION

REDUCE SIDE YARD

North arrow

VAS DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

416.630.2255 F 416.630.4782

vasdesign.com

Greenpark

project name

LECCO RIDGE DEV. INC.

project no.

16015

drawing no.

LG16

date

NOV. 2016

checked by

scale

1:250

file name

16015-LRD-SP-BASE

lot/book no.

338

registered plan no.

16015

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