

CARR LANDING

SAN: 185.382

SAN: 185.334

SAN: 185.338

SAN: 185.254

SAN: 185.390

SAN: 185.350

SAN: 185.279

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

**ARCHITECTURAL REVIEW & APPROVAL**

**MAR 21 2017**

John G. Williams Limited, Architect



**KEYPLAN N.T.S.**

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

REVIEWED

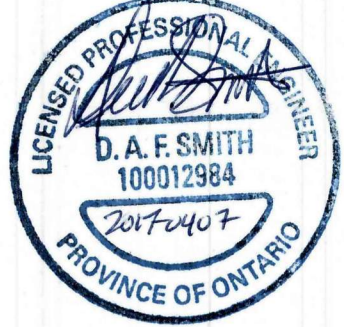
REVIEWED AS NOTED

REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: **APR 07 2017** By: \_\_\_\_\_

B. GIBSON



**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
RMD1\*223 ZONE

**ZONING: APPROVED**

Matthew Seymour MAY 2, 2017  
ZONING OFFICER DATE

**BACKFILL HEIGHT**  
Areas with backfill height exceeding 2.15 m are to have foundation wall thickened to 10" (refer to reviewed block plans)

**LEGEND**

- 45 Min FRR
- 45 Min FRR w/NC Cladding
- 1 Hr Party Wall
- 2 Hr Firewall (NC)
- Guard/Handrail as per 9.8.
- 2.21 m Backfill height as per 9.15.

Siting to be read in conjunction with reviewed main model drawings

**RECEIVED**  
TOWN OF MILTON  
APR 12, 2017  
17-5215 to 17-5222  
BUILDING DIVISION

**BLOCK 336 - ELEVATION 2**

LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
336-1	IVY 6E	3.07x6.65	117.33	256.30	45.78	17.93	38.95	21.02	53.97	9.32	27.50	
336-2	IVY 5	2.97x6.02	118.54	209.55	56.57	17.36	33.85	16.49	48.71	7.62	27.50	
336-3	IVY 4	2.97x6.02	112.60	209.55	53.73	17.35	37.11	19.76	53.25	7.62	27.50	
336-4	IVY 4	2.97x6.02	112.60	209.55	53.73	17.35	37.11	19.76	53.25	7.62	27.50	
336-5	IVY 5	2.97x6.02	118.54	209.55	56.57	17.36	33.85	16.49	48.71	7.62	27.50	
336-6	IVY 6E	3.07x6.65	117.33	256.30	45.78	17.93	38.95	21.02	53.97	9.32	27.50	
<b>TOTAL</b>			<b>696.94</b>	<b>1350.80</b>	<b>51.59</b>	<b>105.28</b>	<b>219.82</b>	<b>114.54</b>	<b>52.11</b>			<b>8.15</b>

**1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES**  
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

**DRAWINGS ARE NOT TO BE SCALED.**

**NOTE: SUMP PUMP REQUIRED**  
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.

ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

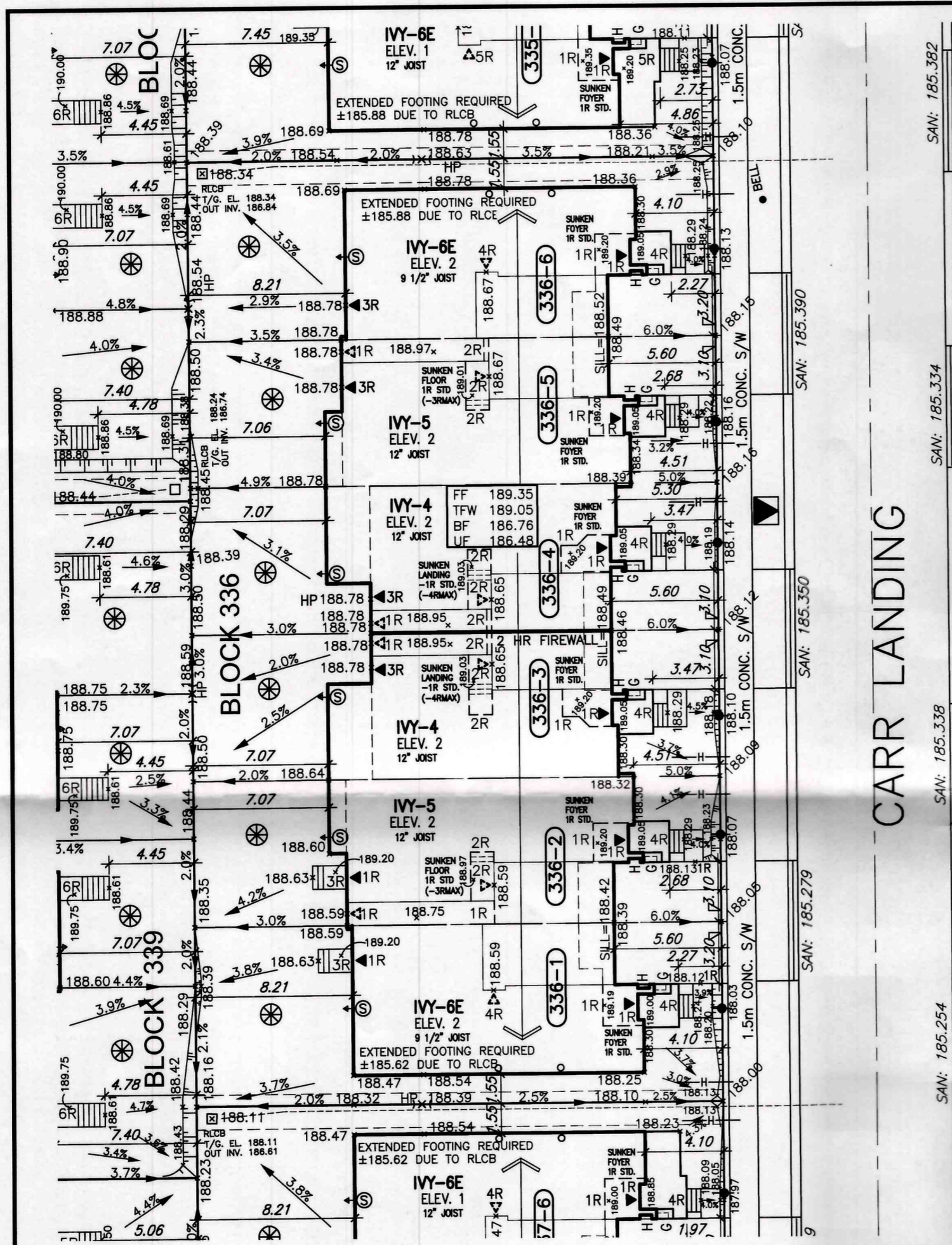
**NOTE:**  
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

**Grading Notes:**  
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW	2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW	3	4	5	6	
<ul style="list-style-type: none"> <li>PROPOSED VALVE</li> <li>LIGHT POLE</li> <li>HYDRANT</li> <li>TRANSFORMER</li> <li>WATER SERVICE</li> <li>DOUBLE STM./S.M. CONNECTION</li> <li>SINGLE STM./S.M. CONNECTION</li> <li>CATCH BASIN</li> <li>CABLE TELEVISION PEDESTAL</li> <li>BELL PEDESTAL</li> </ul>	<ul style="list-style-type: none"> <li>No. of RISERS</li> <li>FINISHED FLOOR ELEVATION</li> <li>UNDERSIDE FOOTING ELEVATION</li> <li>FIN. BASEMENT FLOOR SLAB</li> <li>TOP OF FOUNDATION WALL</li> <li>UNDERSIDE FOOTING AT REAR</li> <li>UNDERSIDE FOOTING AT FRONT</li> <li>UNDERSIDE FOOTING AT SIDE</li> <li>W.O.D. WALK OUT DECK</li> <li>W.O.B. WALK OUT BASEMENT</li> <li>REVERSE PLAN</li> </ul>	<ul style="list-style-type: none"> <li>STREET SIGN</li> <li>SUPER MAIL BOX</li> <li>RETAINING WALL</li> <li>1.5m BLACK VINYL CHAIN LINK FENCE</li> <li>ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)</li> <li>WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)</li> <li>HYDRO SERVICE LATERAL</li> <li>SWALE DIRECTION</li> <li>EMBANKMENT</li> </ul>	<ul style="list-style-type: none"> <li>PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA</li> <li>THIS LOT CONTAINS ENGINEERED FILL</li> <li>AIR CONDITIONER REQUIRED</li> <li>RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)</li> <li>SIDE WINDOW LOCATION</li> <li>SWALE DIRECTION</li> <li>REDUCE SIDE YARD</li> </ul>	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>Richard Vink 24488 signature VA3 Design Inc. 42658</p>	<p><b>VA3 DESIGN</b></p> <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>	<p><b>Greenpark</b></p> <p>project name <b>LECCO RIDGE DEV. INC.</b></p> <p>municipality MILTON</p> <p>date NOV. 2016</p> <p>checked by scale 1:250</p> <p>lot/block no. 336</p> <p>registered plan no. 16015</p> <p>project no. 16015</p> <p>drawing no. <b>LG14</b></p> <p>16015-LRD-SP-BASE</p> <p>GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\SITE\16015-LRD-SP-BASE.dwg - Wed - Feb 22 2017 - 1:39 PM</p>



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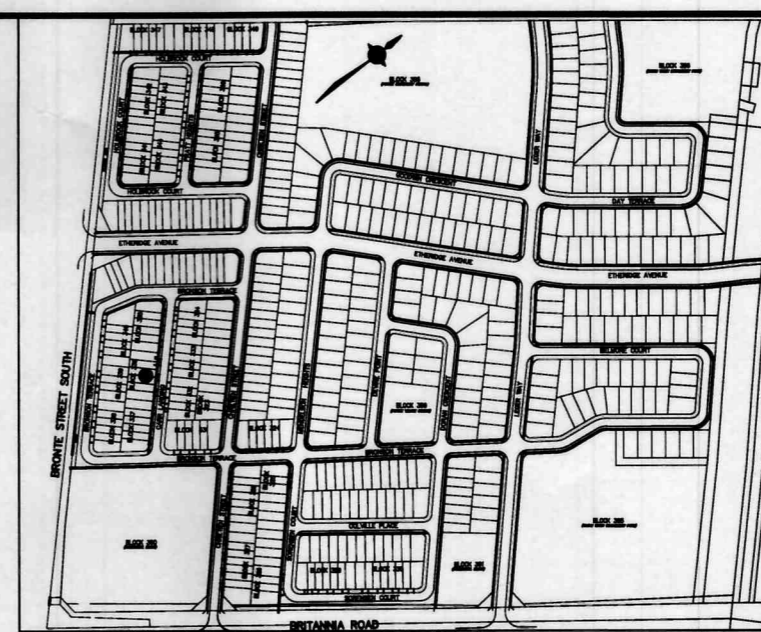
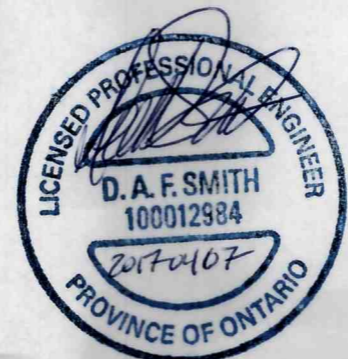
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ARCHITECTURAL REVIEW & APPROVAL  
 MAR 21 2017  
 John G. Williams Limited, Architect

#17-5215 to #17-5222



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The MUNICIPAL INFRASTRUCTURE Group Ltd.  
 DATE: APR 07 2017 By: B. GIBSON

LOT GRADING APPROVED  
 APR 26 2017  
 Town of Milton - Development Engineering

RECEIVED  
 TOWN OF MILTON  
 APR 12 2017  
 BLDG. DIVISION

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