

1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.
ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

NOTE:
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

1. ISSUED FOR ENG. REVIEW.

JAN. 05/17

GW

2. REVISED PER ENG. ISSUED FOR PERMIT.

FEB. 22/17

GW

3.

PROPOSED VALVE

LP

HYDRA

TRANSFORMER

WATER SERVICE

DOUBLE STL/SAN. CONNECTION

SINGLE STL/SAN. CONNECTION

CATCH BASIN

CABLE TELEVISION PEDESTAL

BELL PEDESTAL

No. OF RISERS

FINISHED FLOOR ELEVATION

UNDERSIDE FOOTING ELEVATION

FIN. BASEMENT FLOOR SLAB

TOP OF FOUNDATION WALL

UNDERSIDE FOOTING AT REAR

UNDERSIDE FOOTING AT FRONT

UNDERSIDE FOOTING AT SIDE

W.O.D. WALK OUT DECK

W.O.D. WALK OUT BASEMENT

REVERSE PLAN

STREET SIGN

SUPER MAIL BOX

RETAINING WALL

1.5m BLACK VINYL CHAIN LINK FENCE

ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)

WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)

HYDRO SERVICE LATERAL

SWALE DIRECTION

EMBANKMENT

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA

THIS LOT CONTAINS ENGINEERED FILL

AIR CONDITIONER REQUIRED

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

SIDE WINDOW LOCATION

EXTERIOR DOOR LOCATION

REDUCE SIDE YARD



The undersigned has reviewed and taken responsibility for this design and has the qualifications and credentials to be a Designer.

qualification information

Richard Vink

signature

24488

BCN

42658

VA3 Design Inc.

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.

Builder to verify service connection elevations prior to constructing foundations.

VA3 DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

t 416.630.2255 f 416.630.4782

va3design.com

Greenpark

project name

LECCO RIDGE DEV. INC.

municipality

MILTON

date

NOV. 2016

checked by

scale

1:250

LOT GRADING

drawing no.

LG13

335

registered plan no.

16015

project no.

16015-LRD-SP-BASE

file name

16015-LRD-SP-BASE.dwg

date

Feb 22 2017

time

1:38 PM

2.09 m Backfill height as per 9.15.

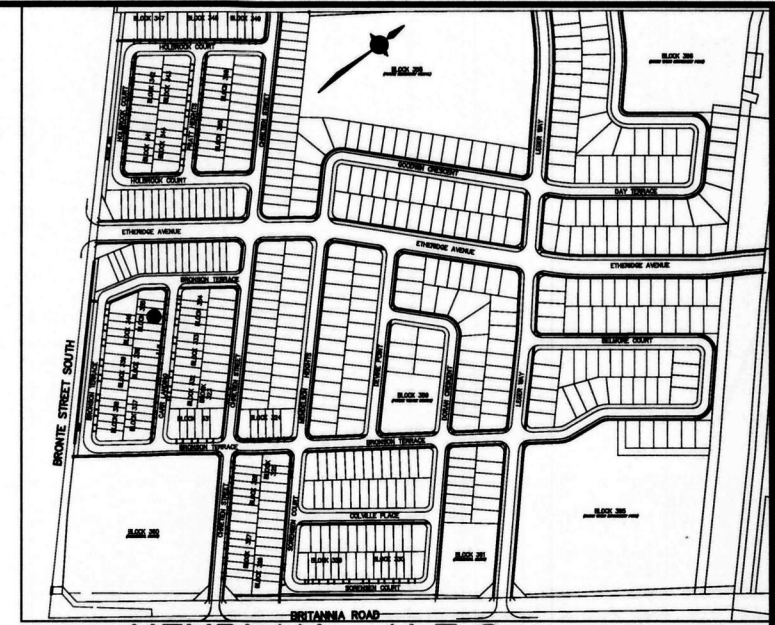
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

☐ REVIEWED

☒ REVIEWED AS NOTED

☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017 By: B. GIBSON

LEGEND

45 Min FRR

45 Min FRR w/NC Cladding

1 Hr Party Wall

2 Hr Firewall (NC)

Guard/Handrail as per 9.8.

Backfill height as per 9.15.

2.11 m

Siting to be read in conjunction with reviewed main model drawings

RECEIVED
TOWN OF MILTON
APR 12, 2017
17-5187 TO 17-5192
BUILDING DIVISION

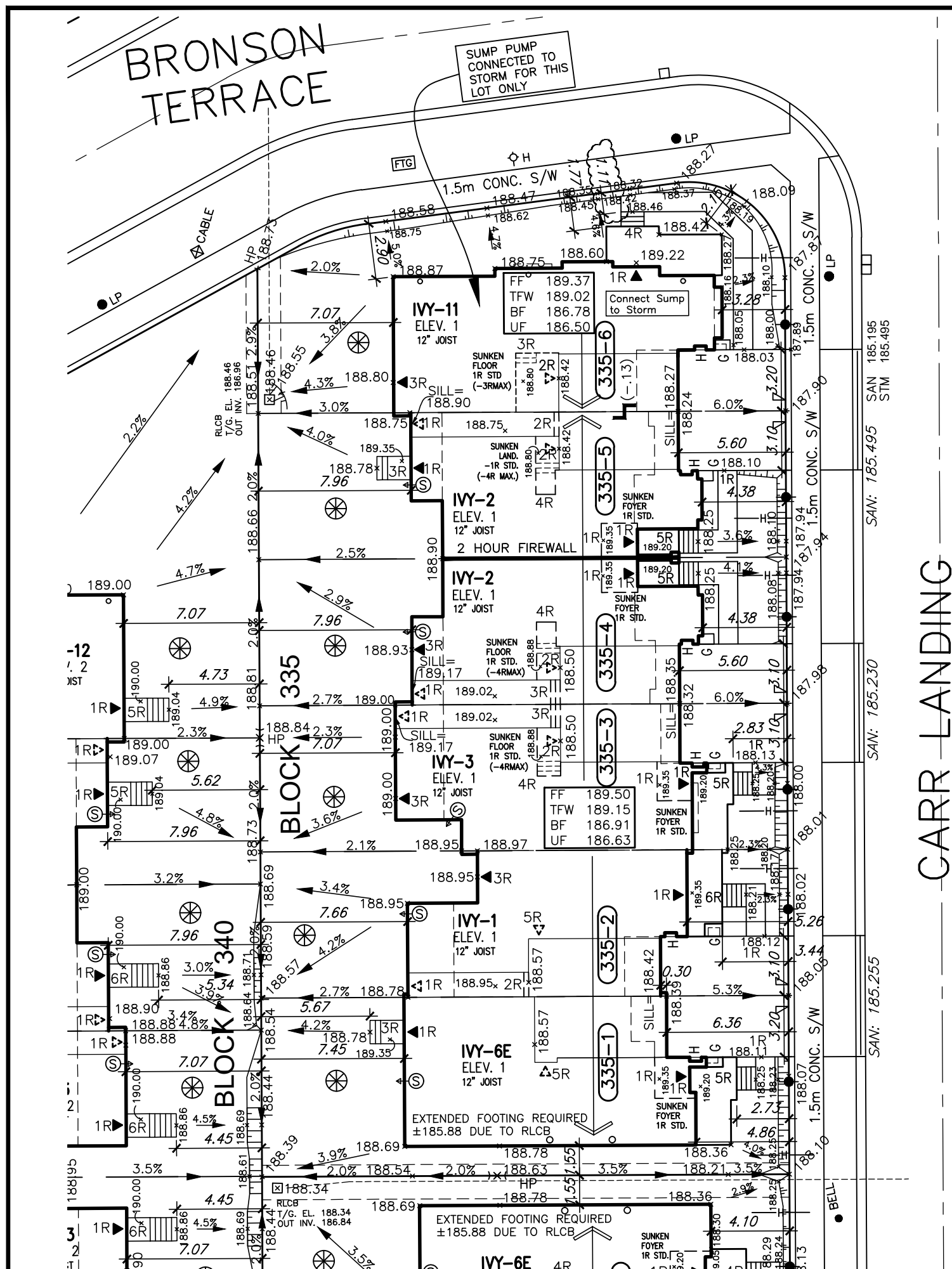


BLOCK 335 - ELEVATION 1											
	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)
335-1	IVY 6E	3.07x6.65	122.26	255.90	47.78	20.36	38.25	17.89	46.77	9.32	27.50
335-2	IVY 1	2.90x6.65	104.98	209.55	50.10	20.64	36.18	15.54	42.95	7.62	27.50
335-3	IVY 3	2.90x6.00	119.19	209.55	56.88	17.35	30.87	13.52	43.80	7.62	27.50
335-4	IVY 2	2.90x6.00	105.07	209.55	50.14	17.35	39.19	21.84	55.73	7.62	27.50
335-5	IVY 2	2.90x6.00	105.07	209.55	50.14	17.35	39.19	21.84	55.73	7.62	27.50
335-6	IVY 11	2.90x6.00	130.71	288.60	45.29	17.90	41.91	24.01	57.29	11.85	27.50
TOTAL			687.28	1382.70	49.71	110.95	225.59	114.64	50.82		8.38

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.



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KEYPLAN N.T.S.

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- ☐ REVIEWED
- ☐ REVIEWED AS NOTED
- ☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: _____ By: _____
B. GIBSON

RECEIVED
TOWN OF MILTON
MAY 3, 2017
17-5187 to 17-5192
BUILDING DIVISION

BLOCK 335 - ELEVATION 1

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qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
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Greenpark
project name
LECCO RIDGE DEV. INC.
municipality
MILTON
date
NOV. 2016
drawn by
checked by
scale
1:250
LOT GRADING
file name
16015-LRD-SP-BASE
drawing no.
16015
LG13

BRONSON
TERRACE

SUMP PUMP
CONNECTED TO
STORM FOR THIS
LOT ONLY

FTG

⊙ H

1.5m CONC. S/W

● LP

⊠ CABLE

HP

● LP

RLCB
T/G. EL. 188.46
OUT INV. 186.96

IVY-11
ELEV. 1
12" JOIST

FF	189.37
TFW	189.02
BF	186.78
UF	186.50

Connect Sump
to Storm

SUNKEN
FLOOR
1R STD
(-3RMAX)

335-6

(-1.13)

1.5m CONC. S/W

● LP

SAN 185.195
STM 185.495

RECEIVED
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MAY 3, 2017
17-5187
BUILDING DIVISION