

# BRONSON TERRACE

SUMP PUMP  
CONNECTED TO  
STORM FOR THIS  
LOT ONLY

CORNER W/  
PRIVACY FENCE

WALKWAY  
TO SIDEWALK

UPGRADE FLANKING AND REAR DRIVE  
K&M Approved Streetscape / Drain Working Draft

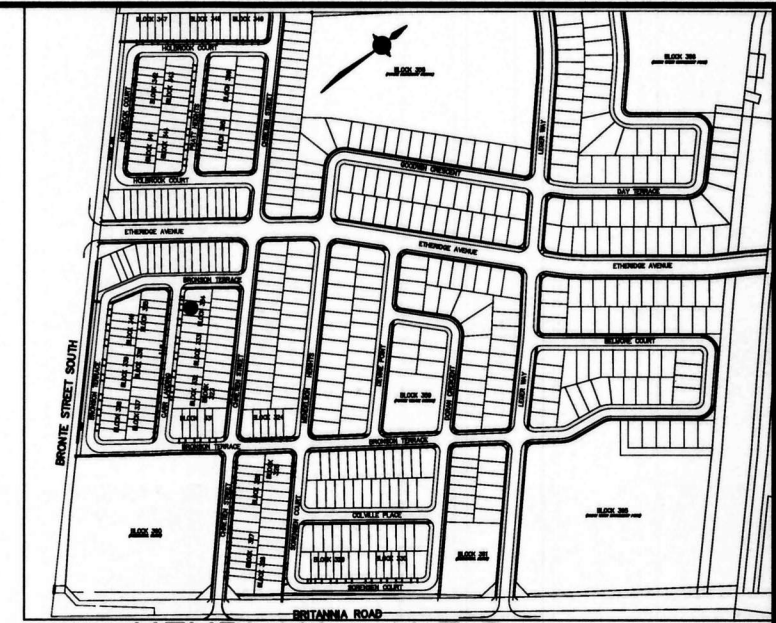
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



KEYPLAN N.T.S.

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☒ REVIEWED
- ☐ REVIEWED AS NOTED
- ☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017 By: B. GIBSON



**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
RMD1\*223 ZONE  
ZONING: APPROVED  
Matthew Seymour MAY 2, 2017  
ZONING OFFICER DATE

**LEGEND**  
 45 Min FRR  
 45 Min FRR w/NC Cladding  
 1 Hr Party Wall  
 2 Hr Firewall (NC)  
 Guard/Handrail as per 9.8.  
 Backfill height as per 9.15.  
 Siting to be read in conjunction with reviewed main model drawings

**RECEIVED**  
TOWN OF MILTON  
APR 12, 2017  
17-5181 TO 17-5185  
BUILDING DIVISION

## BLOCK 334 - ELEVATION 3

|       | Model Type | Garage Dimension W x L (m) | Coverage (sq.m.) | Lot Area (sq.m.) | Coverage (%) | Uncovered Driveway Area (m2) | Front Yard Area (m2) | Front Yard Landscape Area (m2) | Front Yard Landscape (%) | Lot Frontage (m) | Lot Depth (m) | Proposed Building Height (m) |
|-------|------------|----------------------------|------------------|------------------|--------------|------------------------------|----------------------|--------------------------------|--------------------------|------------------|---------------|------------------------------|
| 334-1 | IVY 11     | 2.90x6.00                  | 134.90           | 342.67           | 39.37        | 17.92                        | 54.66                | 36.74                          | 67.22                    | 11.62            | 27.50         |                              |
| 334-2 | IVY 1      | 2.90x6.65                  | 104.98           | 209.55           | 50.10        | 17.35                        | 28.09                | 10.74                          | 38.23                    | 7.62             | 27.50         |                              |
| 334-3 | IVY 3      | 2.90x6.00                  | 119.19           | 209.55           | 56.88        | 17.35                        | 30.87                | 13.52                          | 43.80                    | 7.62             | 27.50         |                              |
| 334-4 | IVY 3      | 2.90x6.00                  | 119.19           | 209.55           | 56.88        | 17.35                        | 30.87                | 13.52                          | 43.80                    | 7.62             | 27.50         |                              |
| 334-5 | IVY 6E     | 3.07x6.65                  | 122.26           | 256.30           | 47.70        | 17.92                        | 31.15                | 13.23                          | 42.47                    | 9.32             | 27.50         |                              |
| TOTAL |            |                            | 600.52           | 1227.62          | 48.92        | 87.89                        | 175.64               | 87.75                          | 49.96                    |                  |               | 8.25                         |

**Grading Notes:**  
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

**NOTE: SUMP PUMP REQUIRED**  
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.

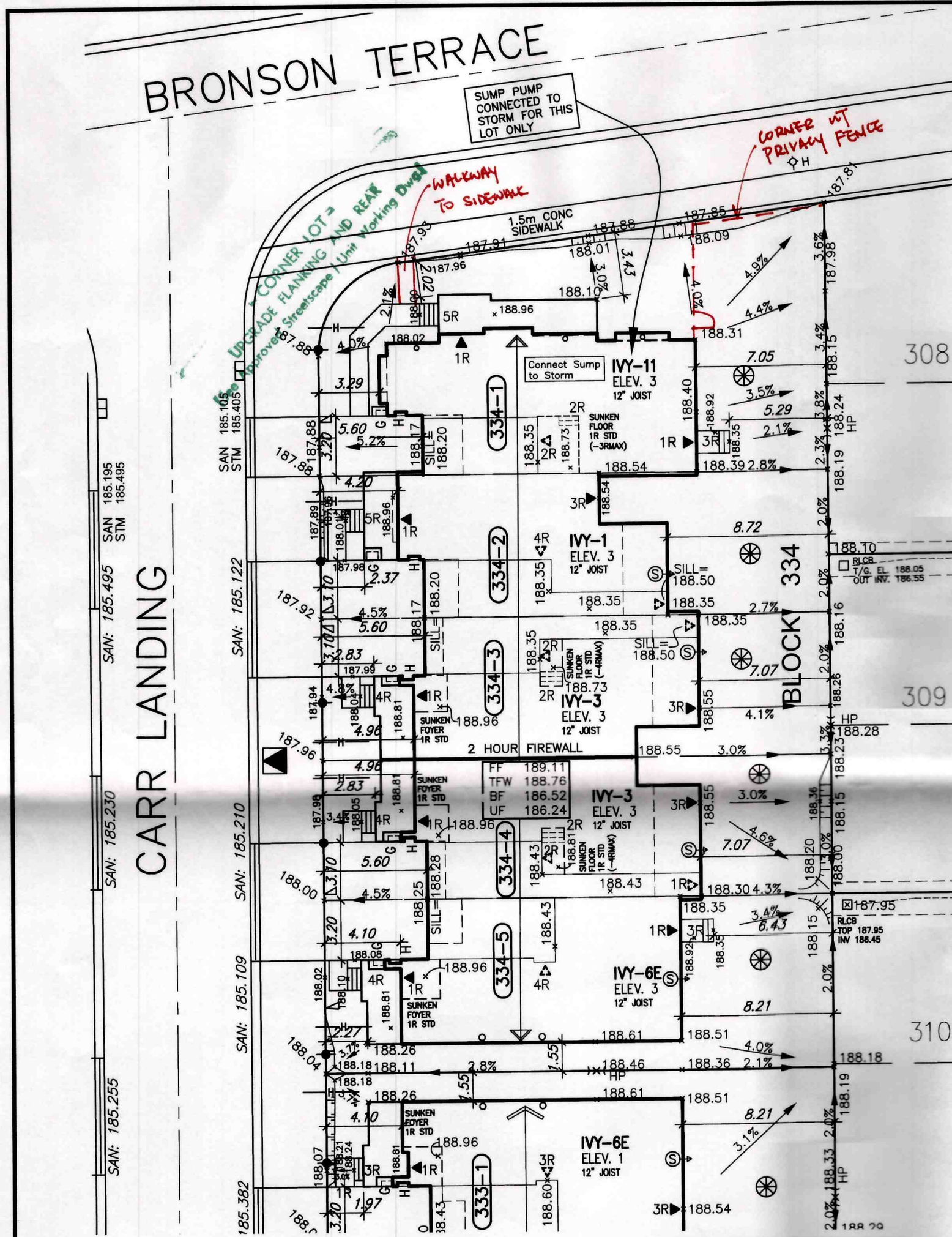
ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

**NOTE:**  
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

**DRAWINGS ARE NOT TO BE SCALED.**

**1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES**  
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

|                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                     |                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                        |   |  |   |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|--|---|--|
| 1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                            | 2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                     | 3                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | 4                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                        | 5 |  | 6 |  |
| <ul style="list-style-type: none"> <li>PROPOSED VALVE</li> <li>LIGHT POLE</li> <li>HYDRO</li> <li>TRANSFORMER</li> <li>WATER SERVICE</li> <li>DOUBLE STM/SAN. CONNECTION</li> <li>SINGLE STM/SAN. CONNECTION</li> <li>CATCH BASIN</li> <li>CABLE TELEVISION PEDISTAL</li> <li>BELL PEDISTAL</li> </ul> | <ul style="list-style-type: none"> <li>JR No. OF RISERS</li> <li>FF FINISHED FLOOR ELEVATION</li> <li>UF UNDERSIDE FOOTING ELEVATION</li> <li>BF FIN. BASEMENT FLOOR SLAB</li> <li>TFW TOP OF FOUNDATION WALL</li> <li>UFFR UNDERSIDE FOOTING AT REAR</li> <li>UFF UNDERSIDE FOOTING AT FRONT</li> <li>UFFS UNDERSIDE FOOTING AT SIDE</li> <li>W.O.D. WALK OUT DECK</li> <li>W.O.B. WALK OUT BASEMENT</li> <li>REV REVERSE PLAN</li> </ul> | <ul style="list-style-type: none"> <li>STREET SIGN</li> <li>SUPER MAIL BOX</li> <li>RETAINING WALL</li> <li>1.5m BLACK VINYL CHAIN LINK FENCE</li> <li>ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)</li> <li>WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)</li> <li>HYDRO SERVICE LATERAL</li> <li>SHWLE DIRECTION</li> <li>EMBANKMENT</li> </ul> | <ul style="list-style-type: none"> <li>PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA</li> <li>THIS LOT CONTAINS ENGINEERED FILL</li> <li>AIR CONDITIONER REQUIRED</li> <li>RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)</li> <li>SIDE WINDOW LOCATION</li> <li>EXTERIOR DOOR LOCATION</li> <li>REDUCE SIDE YARD</li> </ul> | <p>north arrow</p> | <p>The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink 24488 BCN</p> <p>name registration information VA3 Design Inc. 42658</p> <p>Builder to verify location of all hydro, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense. Builder to verify service connection elevations prior to constructing foundations.</p> | <p><b>VA3 DESIGN</b></p> <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p> | <p><b>Greenpark</b></p> <p>project name <b>LECCO RIDGE DEV. INC.</b> municipality <b>MILTON</b></p> <p>date <b>NOV. 2016</b> checked by <b>GW</b> scale <b>1:250</b></p> <p>lot/block no. <b>334</b> registered plan no. <b>16015</b> project no. <b>16015</b> drawing no. <b>LG12</b></p> <p>file name <b>16015-LRD-SP-BASE</b> date <b>Feb 22 2017 - 1:38 PM</b></p> |   |  |   |  |



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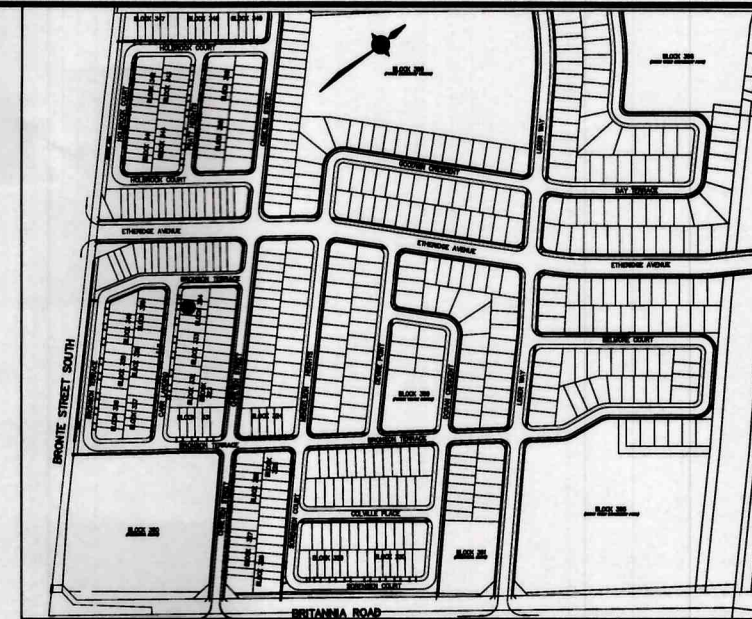
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MAR 21 2017  
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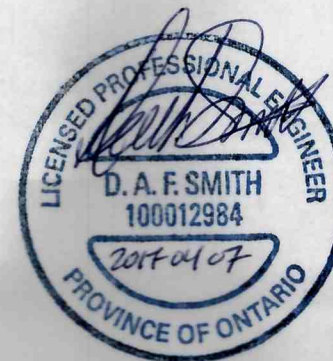
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☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017 By: B. GIBSON



LOT GRADING APPROVED

APR 26 2017

Town of Milton - Development Engineering

RECEIVED  
TOWN OF MILTON

APR 12 2017

BLDG. DIVISION

#17-5181 to #17-5185

BLOCK 334 - ELEVATION 3

|       | Model Type | Garage Dimension W x L (m) | Coverage (sq.m.) | Lot Area (sq.m.) | Coverage (%) | Uncovered Driveway Area (m2) | Front Yard Area (m2) | Front Yard Landscape Area (m2) | Front Yard Landscape (%) | Lot Frontage (m) | Lot Depth (m) | Proposed Building Height (m) |
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1. ISSUED FOR ENG. REVIEW. JAN. 05/17 GW

2. REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW

3.

4.

5.

6.

PROPOSED VALUE

LP LIGHT POLE

H HYDRAUNT

TRANSFORMER

WATER SERVICE

DOUBLE STA./SAL. CONNECTION

SINGLE STA./SAL. CONNECTION

CATCH BASIN

CABLE TELEVISION CONNECTION

BELL PEDESTAL

NO. OF RISERS

FINISHED FLOOR ELEVATION

UNDERGROUND FLOOR ELEVATION

FIN. BASEMENT FLOOR SLAB

TOP OF FOUNDATION WALL

UNDERGROUND FOOTING AT REAR

UNDERGROUND FOOTING AT FRONT

UNDERGROUND FOOTING AT SIDE

W.O.D. WALK OUT DECK

W.O.D. WALK OUT BASEMENT

REV. REVERSE SLATE

STREET SIGN

SUPER MAIL BOX

1.5m BLACK VINYL CHAIN LINK FENCE

ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)

WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)

HYDRO SERVICE LATERAL

SMALL DIRECTION

EMBANKMENT

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA

THIS LOT CONTAINS ENGINEERED FILL

AIR CONDITIONER REQUIRED

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

SIDE WINDOW LOCATION

EXTERIOR DOOR LOCATION

REDUCE SIDE YARD

North arrow

VA3 DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

416.630.2255 / 416.630.4782

va3design.com

Greenpark.

project name

LECCO RIDGE DEV. INC.

municipality

MILTON

date

NOV. 2016

checked by

scale

1:250

drawn by

GW

LOT GRADING

16015-LRD-SP-BASE

drawing no.

LG12

lot/block no.

334

registered plan no.

16015

project no.

16015

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