

BLOCK 330 – ELEVATION 2

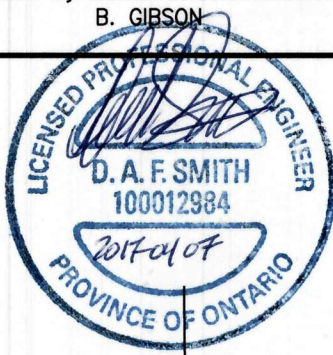
LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
330-1	IVY 7E	2.97x6.30	128.67	275.00	46.79	17.35	39.61	22.26	56.20	10.00	27.50	
330-2	IVY 4	2.97x6.02	112.60	209.55	53.73	17.35	37.11	19.76	53.25	7.62	27.50	
330-3	IVY 1	2.90x6.65	104.98	209.55	50.10	17.35	28.09	10.74	38.23	7.62	27.50	
330-4	IVY 3	2.90x6.00	119.93	209.55	57.23	17.35	30.15	12.80	42.45	7.62	27.50	
330-5	IVY 3	2.90x6.00	119.93	209.55	57.23	17.35	30.15	12.80	42.45	7.62	27.50	
330-6	IVY 4	2.97x6.02	112.60	209.55	53.73	17.35	37.11	19.76	53.25	7.62	27.50	
330-7	IVY 5	2.97x6.02	118.54	209.55	56.57	17.35	33.84	16.49	48.73	7.62	27.50	
330-8	IVY 12	2.90x6.00	132.85	340.13	39.06	17.92	47.29	29.37	62.11	11.82	27.50	
TOTAL			950.10	1872.43	50.74	139.37	283.35	143.98	50.81			8.28

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☒ REVIEWED
☐ REVIEWED AS NOTED
☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

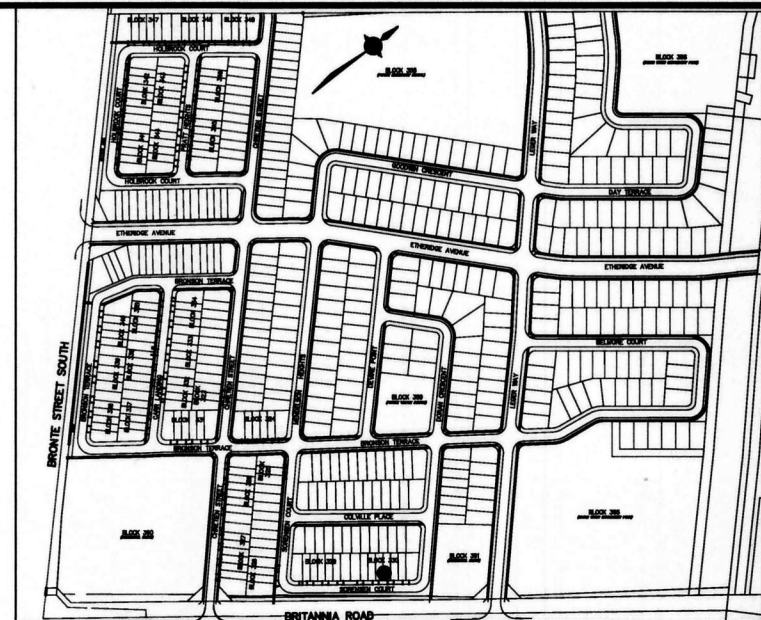
DATE: APR 07 2017 By: B. GIBSON



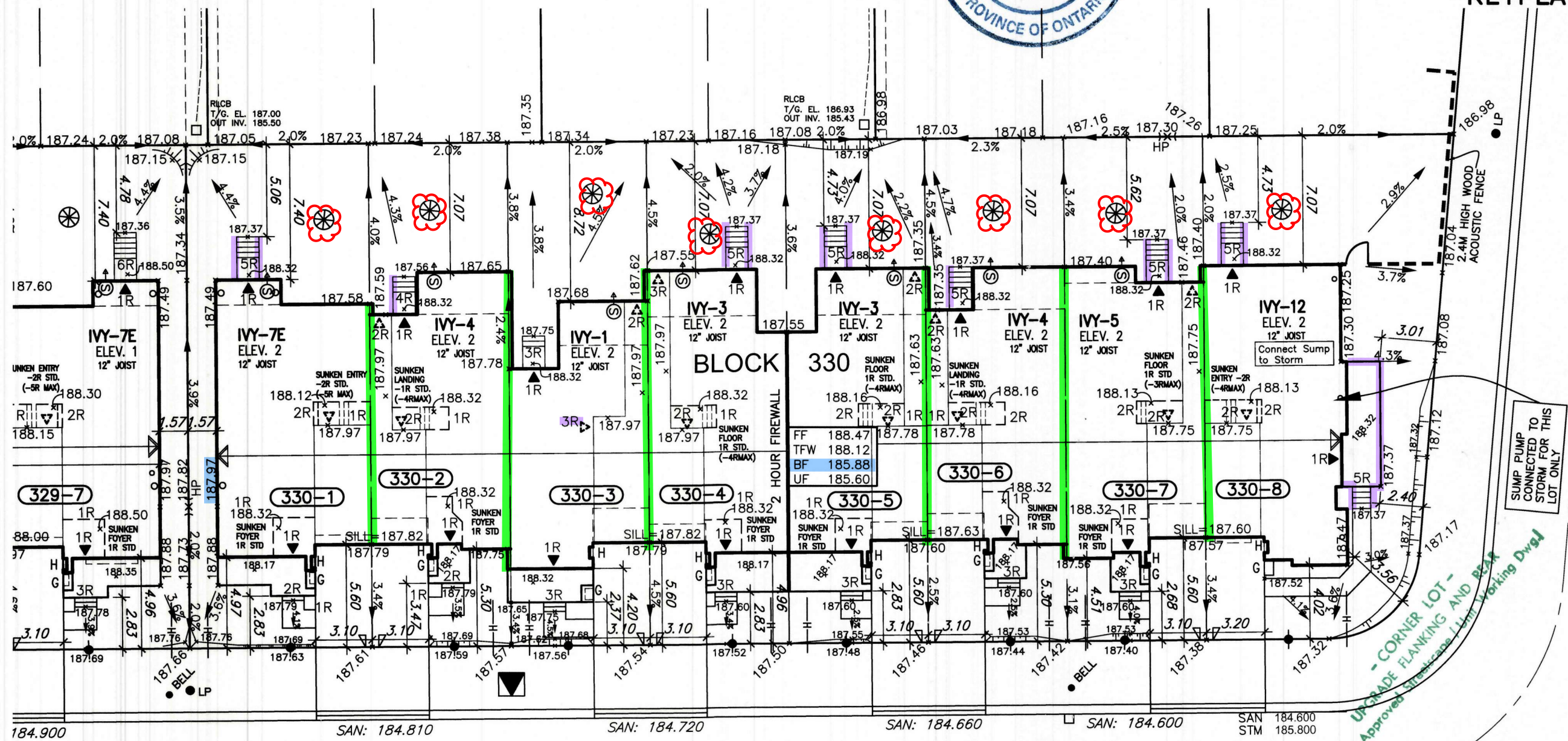
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL
 MAR 21 2017
 John G. Williams Limited, Architect



KEYPLAN N.T.S.



SORENSEN COURT

TOWN OF MILTON
 PLANNING AND DEVELOPMENT
 RMD1*223 ZONE
 ZONING: APPROVED
 Matthew Seymour MAY 1, 2017
 ZONING OFFICER DATE

- LEGEND**
- 45 Min FRR
 - 45 Min FRR w/NC Cladding
 - 1 Hr Party Wall
 - 2 Hr Firewall (NC)
 - Guard/Handrail as per 9.8.
 - Backfill height as per 9.15.
- Siting to be read in conjunction with reviewed main model drawings

RECEIVED
 TOWN OF MILTON
 APR 12, 2017
 17-5010
 BUILDING DIVISION

1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
 FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED.

NOTE: SUMP PUMP REQUIRED
 SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.
 ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

NOTE: DOWNSPUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

Grading Notes:
 It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR ENG. REVIEW JAN. 05/17 GW 2 REVISED PER ENG. ISSUED FOR PERMIT FEB. 22/17 GW	3 4 5 6	PROPOSED VALVE LP LIGHT POLE H HYDRO TRANSFORMER WATER SERVICE DOUBLE STL/SAN. CONNECTION SINGLE STL/SAN. CONNECTION CATCH BASIN CABLE TELEVISION PEDISTAL BELL PEDISTAL	J.R. NO. OF RISERS FINISHED FLOOR ELEVATION UNDERSIDE FOOTING ELEVATION FIN. BASEMENT FLOOR SLAB TOP OF FOUNDATION WALL UNDERSIDE FOOTING AT REAR UNDERSIDE FOOTING AT FRONT UNDERSIDE FOOTING AT SIDE W.O.D. WALK OUT DECK W.O.B. WALK OUT BASEMENT REV. REVERSE PLAN	STREET SIGN SUPER MAIL BOX RETAINING WALL 1.5m BLACK VINYL CHAIN LINK FENCE ACOUSTICAL FENCE (SEE LANDSCAPE PLAN) WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) HYDRO SERVICE LATERAL SHADE DIRECTION EMBARKMENT	PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA THIS LOT CONTAINS ENGINEERED FILL AIR CONDITIONER REQUIRED RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) SIDE WINDOW LOCATION EXTERIOR DOOR LOCATION REDUCE SIDE YARD	North arrow VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	Greenpark. LECCO RIDGE DEV. INC. project name municipality MILTON date NOV. 2016 scale 1:250 drawn by checked by date 16015-LRD-SP-BASE 16015 drawing no. LG8
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Table with 12 columns: LOT No., Model Type, Garage Dimension, Coverage, Lot Area, Uncovered Driveway Area, Front Yard Area, Front Yard Landscape Area, Front Yard Landscape %, Lot Frontage, Lot Depth, Proposed Building Height. Rows include lots 327-1 through 327-8 and a TOTAL row.

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

☐ REVIEWED
☒ REVIEWED AS NOTED
☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.
DATE: APR 07 2017 By: B. GIBSON

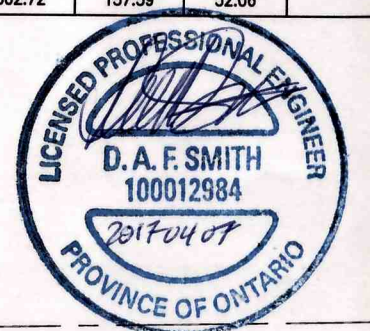
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ARCHITECTURAL REVIEW & APPROVAL
MAR 21 2017
John G. Williams Limited, Architect

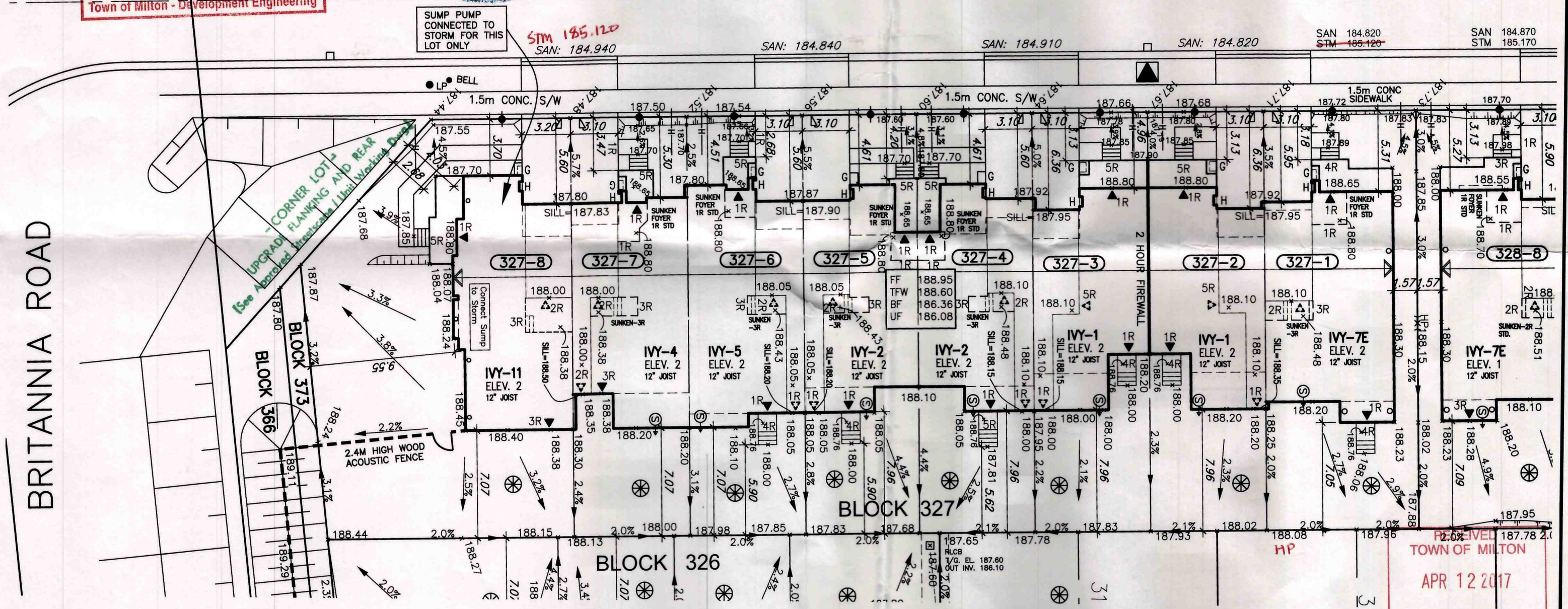


LOT GRADING APPROVED
APR 25 2017
Town of Milton - Development Engineering



CHRETIAN STREET

#17-5010 to #17-5018



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Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

- 1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW
 - 2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW
 - 3
 - 4
 - 5
 - 6
- Legend:
- PROPOSED VALVE
 - FINISHED FLOOR ELEVATION
 - UNDERGRADE FOOTING ELEVATION
 - FIN. DISCREPANT FLOOR SLAB
 - TOP OF FOUNDATION WALL
 - UNDERGRADE FOOTING AT REAR
 - UNDERGRADE FOOTING AT FRONT
 - UNDERGRADE FOOTING AT SIDE
 - W.O.B. WALK OUT DECK
 - W.O.B. WALK OUT BASEMENT
 - REVERSE PLAN
 - STREET SIGN
 - SUPER MAIL BOX
 - RETAINING WALL
 - 1.5m BLACK VINYL CHAIN LINK FENCE
 - ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
 - WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
 - HYDRO SCREEN LATERAL
 - SHADE DIRECTION
 - EMBARKMENT
 - PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
 - THIS LOT CONTAINS ENGINEERED FILL
 - AIR CONDITIONER REQUIRED
 - RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
 - SIDE WINDOW LOCATION
 - EXTERIOR DOOR LOCATION
 - REDUCE SIDE YARD

Richard Vink
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Greenpark.
LECCO RIDGE DEV. INC.
MILTON

16/Block no. 327
registered plan no. 16015
project name LECCO RIDGE DEV. INC.
municipality MILTON
date NOV. 2016
scale 1:250
drawing no. LG5
16015-LRD-SP-BASE
GREG - H:\ARCHIVE\WORKING\2016\16015\GREG\16015-LRD-SP-BASE.dwg - Wed - Feb 22 2017 - 1:38 PM