

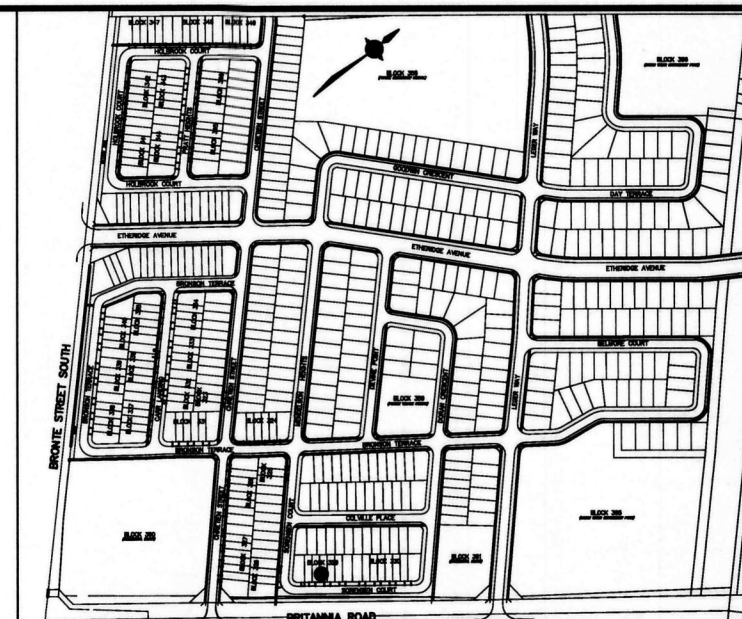
LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncover Driveway Area (m ²)	Front Yard Area (m ²)	Front Yard Landscape Area (m ²)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
329-1	IVY 11	2.90x6.00	130.71	305.27	42.82	17.93	42.59	24.66	57.90	12.04	27.50	8.53
329-2	IVY 5	2.97x6.02	122.91	209.55	58.65	17.35	29.46	12.11	41.11	7.62	27.50	
329-3	IVY 2	2.90x6.00	105.07	209.55	50.14	17.35	39.19	21.84	55.73	7.62	27.50	
329-4	IVY 2	2.90x6.00	105.07	209.55	50.14	17.35	39.19	21.84	55.73	7.62	27.50	
329-5	IVY 1	2.90x6.65	104.98	209.55	50.10	19.71	33.89	14.18	41.84	7.62	27.50	
329-6	IVY 5	2.97x6.02	122.91	209.55	58.65	17.35	29.47	12.12	41.13	7.62	27.50	
329-7	IVY 7E	2.97x6.30	128.67	275.00	46.79	17.35	39.61	22.26	56.20	10.00	27.50	
TOTAL			820.32	1628.02	50.39	124.39	253.40	129.01	50.91			

☒ REVIEWED
☐ REVIEWED AS NOTED
☐ REVISE AND RESUBMIT

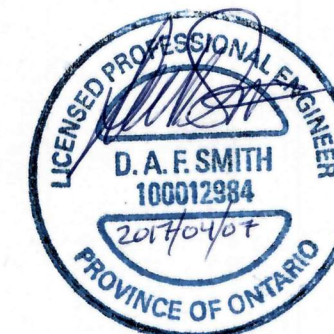
DATE: APR 07 2017 By: B. GIBSON

MAR 21 2017

~~John G. Williams Limited, Architect~~



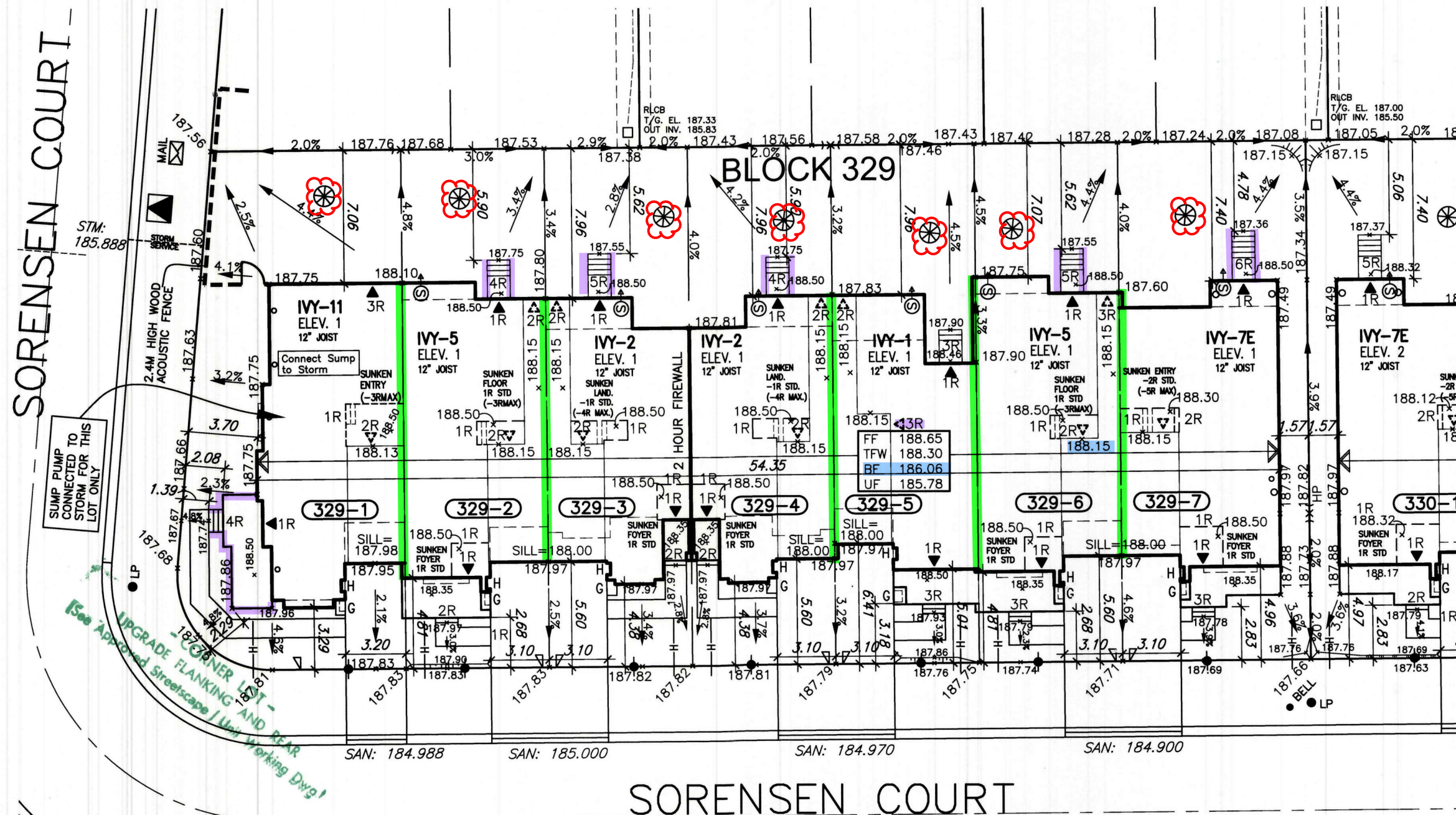
KEYPLAN N.T.S.




TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE
ZONING: APPROVED
Matthew Seymour **MAY 2, 2017**
ZONING OFFICER **DATE**

-  45 Min FRR
-  45 Min FRR w/NC Cladding
-  1 Hr Party Wall
-  2 Hr Firewall (NC)
-  Guard/Handrail as per 9.8
-  2.09 m Backfill height as per 9.15

RECEIVED
TOWN OF MILTON
APR 12, 2017
17-5001
BUILDING DIVISION



1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED

NOTE: SUMP PUMP REQUIRED (S) →
SUMP PUMPS ARE REQUIRED FOR STORM
SERVICE AS PER THE TOWN OF MILTON CRITERIA

ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

NOTE:
DOWNSPOUTS TO BE LOCATED A MINIMUM OF
3.0M FROM THE SUMP PUMP OUTLET AND ONTO
A CONCRETE SPLASH PAD.

Grading Notes:

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR ENG. REVIEW.

OF RISERS
FINISHED FLOOR ELEVATION
UNDERSIDE FOOTING ELEVATION
1. BASEMENT FLOOR SLAB
2. P OF FOUNDATION WALL
UNDERSIDE FOOTING AT REAR
UNDERSIDE FOOTING AT FRONT
UNDERSIDE FOOTING AT SIDE
WALK OUT DECK
WALK OUT BASEMENT
OVERSE PLAN

	STREET SIGN SUPER MAIL BOX
	RETAINING WALL
	1.5m BLACK VINYL CHAIN LINK FENCE
	ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
	WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
	HYDRO SERVICE LATERAL
	SWALE DIRECTION
	DRAINAGE

 PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
 OR  THIS LOT CONTAINS ENGINEERED
 AIR CONDITIONER REQUIRED
 OR  RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
 SIDE WINDOW LOCATION
 EXTERIOR DOOR LOCATION

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	244
name	
signature	
registration information	
VA3 Design Inc.	428
Builder to verify location of all systems, street lights, transformers or other services. If substantial dimensions are not maintained, builder is responsible at his own expense.	
Builder to verify service connection elevations prior to constructing	



VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



Greenpark™

project name	municipality
LECCO RIDGE DEV. INC.	MILTON

date	NOV. 2016	
drawn by	checked by	scale
GW	-	1:250

lot/block no.
329
registered plan no.

project no.
16015

drawing no.
LG7

BLOCK 328 - ELEVATION 1

LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
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328-8	IVY 7E	2.97x6.30	128.67	275.00	46.79	18.30	42.61	24.31	57.05	10.00	27.50	
TOTAL			929.29	1863.95	49.86	141.26	297.93	146.87	50.94			8.03

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☐ REVIEWED
☒ REVIEWED AS NOTED
☐ REVISE AND RESUBMIT

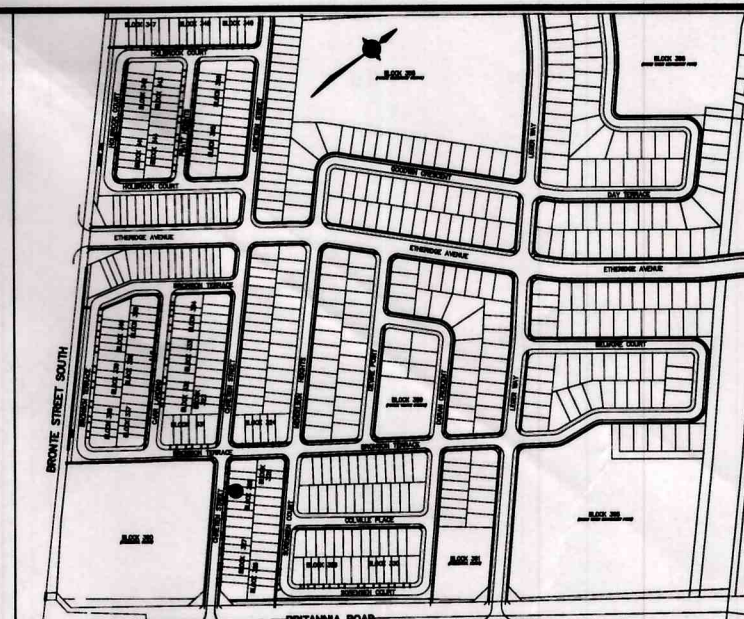
The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017 By: B. GIBSON

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW APPROVAL
 MAR 21 2017
 John G. Williams Limited, Architect



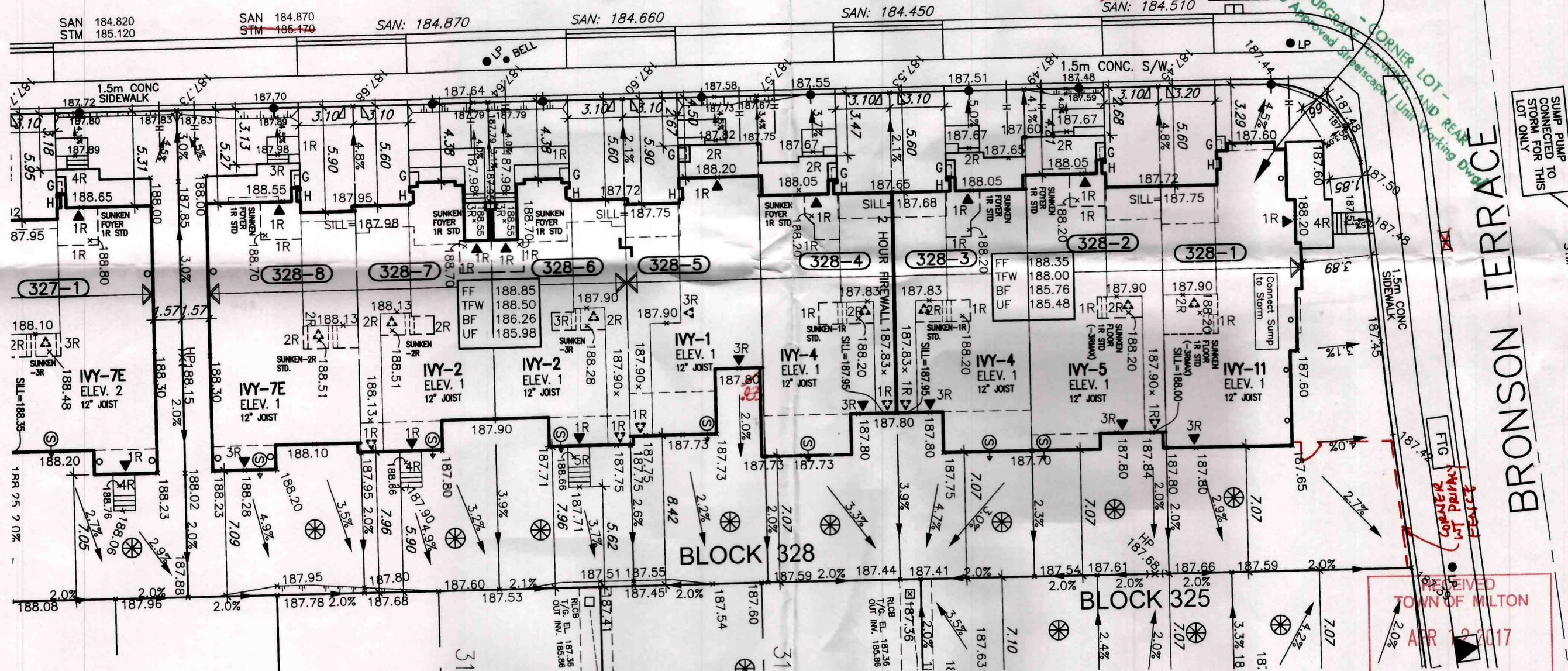
KEYPLAN N.T.S.

#17-5001 to #17-5008



APR 25 2017
 Town of Milton - Development Engineering

CHRETIEEN STREET



1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
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1 ISSUED FOR ENG. REVIEW.	JAN. 05/17 GW	2 REVISED PER ENG. ISSUED FOR PERMIT.	FEB. 22/17 GW	3	4	5	6
- PROPOSED VALVE - LIGHT POLE - HYDRANT - TRANSFORMER - WATER SERVICE - DOUBLE STM./SAN. CONNECTION - SINGLE STM./SAN. CONNECTION - CATCH BASIN - CABLE TELEVISION PEDESTAL - BELL PEDESTAL	- No. of RISERS - FINISHED FLOOR ELEVATION - UNDERSIDE FOOTING ELEVATION - FIN. BASEMENT FLOOR SLAB - TOP OF FOUNDATION WALL - UNDERSIDE FOOTING AT REAR - UNDERSIDE FOOTING AT FRONT - UNDERSIDE FOOTING AT SIDE - W.O.D. WALK OUT DECK - W.O.D. WALK OUT BASEMENT - REVERSE PLAN	- STREET SIGN - SUPER MAIL BOX - RETAINING WALL 1.5m BLACK VINYL CHAIN LINK FENCE - ACOUSTICAL FENCE (SEE LANDSCAPE PLAN) - WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) - HYDRO SERVICE LATERAL - SWALE DIRECTION - EMBANKMENT	- PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA - THIS LOT CONTAINS ENGINEERED FILL - AIR CONDITIONER REQUIRED - RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) - SIDE WINDOW LOCATION - EXTERIOR DOOR LOCATION - REDUCE SIDE YARD	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com	Greenpark LECCO RIDGE DEV. INC. MILTON	328 registered plan no. 16015 project no. 16015 drawing no. LG6	

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