

BLOCK 328 – ELEVATION 1

LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
328-1	IVY 11	2.90x6.00	130.71	331.65	39.41	17.92	40.04	22.12	55.24	11.46	27.50	
328-2	IVY 5	2.97x6.02	122.91	209.55	58.65	17.35	29.47	12.12	41.13	7.62	27.50	
328-3	IVY 4	2.97x6.02	115.94	209.55	55.33	17.35	33.75	16.40	48.59	7.62	27.50	
328-4	IVY 4	2.97x6.02	115.94	209.55	55.33	17.35	33.31	15.96	47.91	7.62	27.50	
328-5	IVY 1	2.90x6.65	104.98	209.55	50.10	18.28	30.37	12.09	39.81	7.62	27.50	
328-6	IVY 2	2.90x6.00	105.07	209.55	50.14	17.35	39.19	21.84	55.73	7.62	27.50	
328-7	IVY 2	2.90x6.00	105.07	209.55	50.14	17.36	39.19	21.83	55.70	7.62	27.50	
328-8	IVY 7E	2.97x6.30	128.67	275.00	46.79	18.30	42.61	24.31	57.05	10.00	27.50	
TOTAL			929.29	1863.95	49.86	141.26	287.93	146.67	50.94			8.03

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☐ REVIEWED
☒ REVIEWED AS NOTED
☐ REVISE AND RESUBMIT

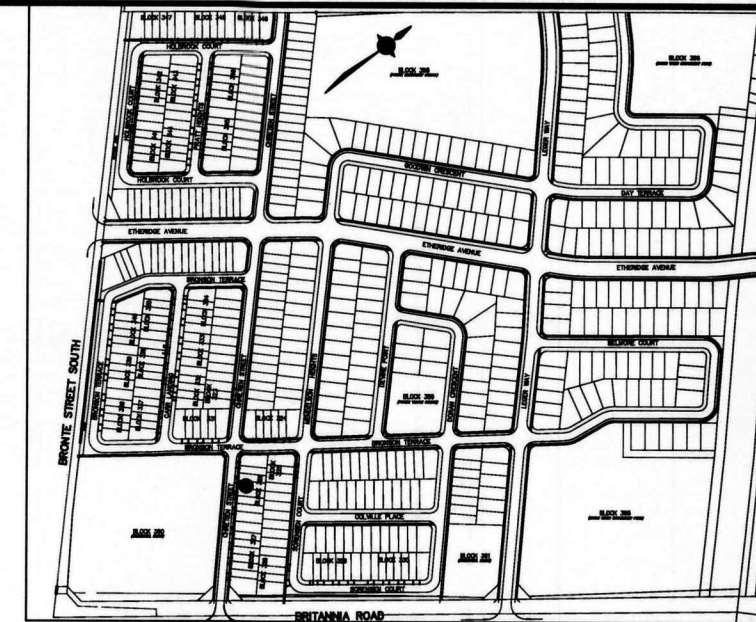
The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017 By: B. GIBSON

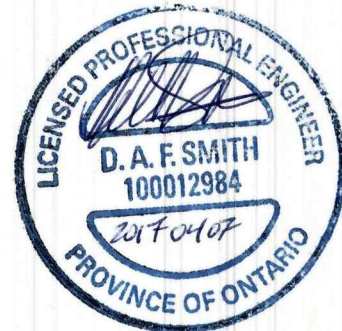
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW APPROVAL
MAR 21 2017
John G. Williams Limited, Architect



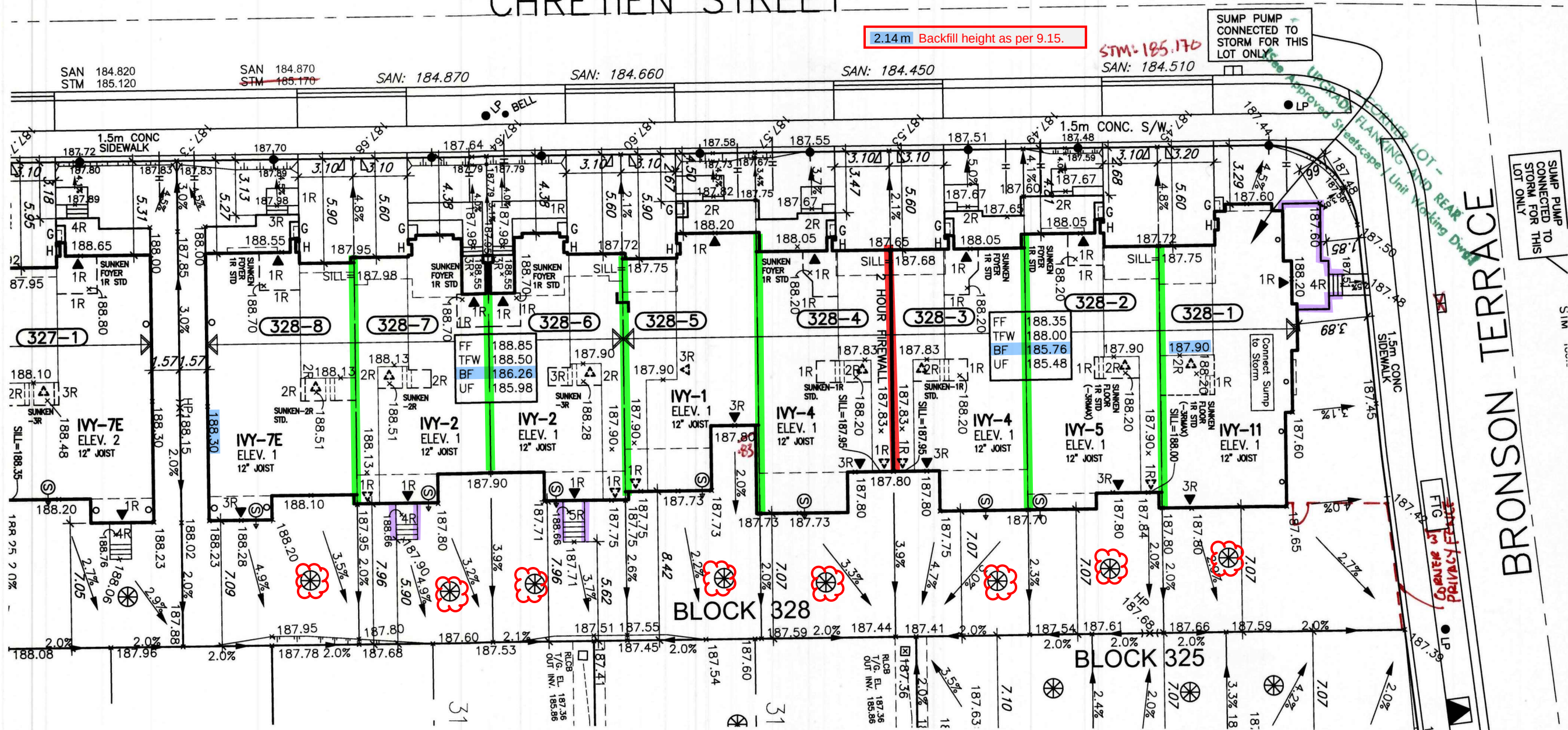
KEYPLAN N.T.S.



TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE
ZONING: APPROVED
Matthew Seymour MAY 1, 2017
ZONING OFFICER DATE

LEGEND
45 Min FRR
45 Min FRR w/NC Cladding
1 Hr Party Wall
2 Hr Firewall (NC)
Guard/Handrail as per 9.8.
2.04m Backfill height as per 9.15.
Siting to be read in conjunction with reviewed main model drawings

RECEIVED
TOWN OF MILTON
APR 12, 2017
17-4990
BUILDING DIVISION



1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.
ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

NOTE: DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VAS Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VAS Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW	2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW	3	4	5	6
- PROPOSED VALVE - LIGHT POLE - HYDRANT - TRANSFORMER - WATER SERVICE - DOUBLE STM/SAN. CONNECTION - SINGLE STM/SAN. CONNECTION - CATCH BASIN - CABLE TELEVISION PEDESTAL - BELL PEDESTAL	- NO. OF RISERS - FRESH FLOOR ELEVATION - UNDERSIDE FOOTING ELEVATION - FIN. BASEMENT FLOOR SLAB - TOP OF FOUNDATION WALL - UNDERSIDE FOOTING AT REAR - UNDERSIDE FOOTING AT FRONT - UNDERSIDE FOOTING AT SIDE - W.A.D. WALK OUT DECK - W.A.D. WALK OUT BASEMENT - REVERSE PLAN	- STREET SIGN - SUPER MAIL BOX - RETAINING WALL 1.5m BLACK VINYL CHAIN LINK FENCE - ACOUSTICAL FENCE (SEE LANDSCAPE PLAN) - WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) - HYDRO SERVICE LATERAL - SINGLE DIRECTION - EMBANKMENT	- PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA - THIS LOT CONTAINS ENGINEERED FILL - AIR CONDITIONER REQUIRED - RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) - SIDE WINDOW LOCATION - EXTERIOR DOOR LOCATION - REDUCE SIDE YARD	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com	Greenpark LECCO RIDGE DEV. INC. MILTON 16015 LOT GRADING 16015-LRD-SP-BASE LG6

LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscaping Area (m2)	Front Yard Landscaping (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
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329-6	IVY 5	2.97x6.02	122.91	209.55	58.65	17.35	29.47	12.12	41.13	7.62	27.50	
329-7	IVY 7E	2.97x6.30	128.67	275.00	46.79	17.35	39.61	22.26	56.20	10.00	27.50	
TOTAL			820.32	1628.02	50.39	124.39	253.40	129.01	50.91			8.53

☒ REVIEWED
☐ REVIEWED AS NOTED
☐ REVISE AND RESUBMIT

DATE: APR 07 2017

B. GIBSON

ARCHITECTURAL REVIEW & APPROVAL

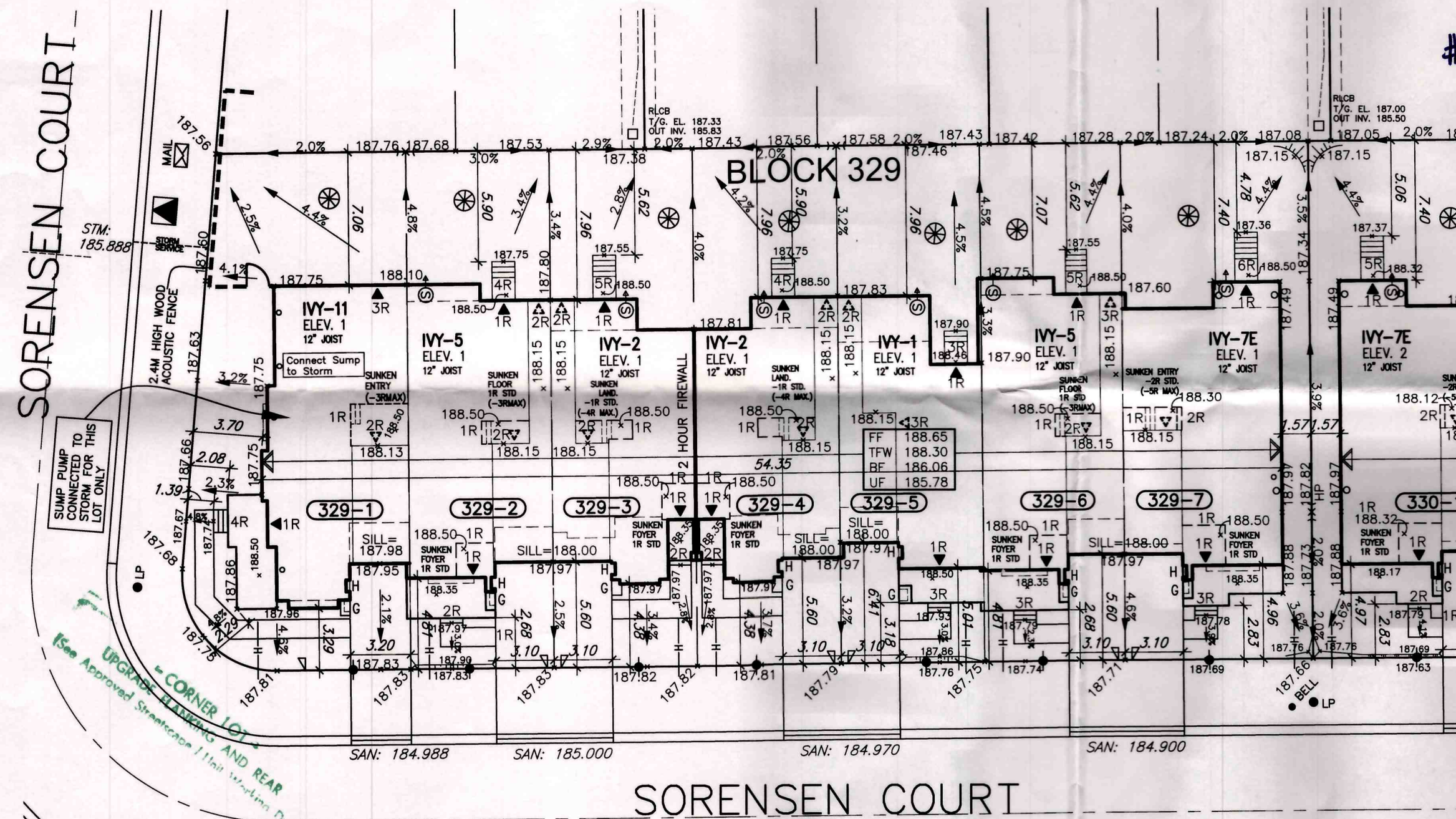
MAR 21 2017

John G. Williams Limited, Architects



APR 25 2017

BLDG. DIVISION



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- | | | | | | | | | | | | | | | | |
|---------------------------|--|---------------|--|---------------------------------------|--|---------------|--|---|--|---|--|---|--|---|--|
| 1 ISSUED FOR ENG. REVIEW. | | JAN. 05/17 GW | | 2 REVISED PER ENG. ISSUED FOR PERMIT. | | FEB. 22/17 GW | | 3 | | 4 | | 5 | | 6 | |
|---------------------------|--|---------------|--|---------------------------------------|--|---------------|--|---|--|---|--|---|--|---|--|

PROPOSED VALVE
FINISHED FLOOR ELEVATION
HYDRANT
TRANSFORMER
WATER SERVICE
DOUBLE STA./S.W. CONNECTION
SINGLE STA./S.W. CONNECTION
CATCH BASIN
CABLE TELEVISION PEDestal
BELL PEDestal

No. OF RISERS
UNDERSIDE FOOTING ELEVATION
FIN. BASEMENT FLOOR SLAB
UNDERSIDE FOOTING AT REAR
UNDERSIDE FOOTING AT FRONT
UNDERSIDE FOOTING AT SIDE
WALK OUT DECK
WALK OUT BASMENT
REVERSE PLAN

STREET SIGN
SUPER MAIL BOX
RETAINING WALL
1.5m BLACK WHYL CHAIN LINK FENCE
ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
HYDRO SERVICE LATERAL
SWALE DIRECTION
EMBANKMENT

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED
RAIN WATER DOWNSPOUT LOCATION (DISCHARGE INTO SPRAWL/GRASS)
SIDE WINDOW LOCATION
EXTERIOR DOOR LOCATION
RENDER SIDE YARD

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 / 416.630.4782
 va3design.com

Greenpark™
 project name: **LECCO RIDGE DEV. INC.**
 municipality: **MILTON**
 project no.: **1601**
 drawing no.: **LG7**

LOT GRADING
 date: **NOV. 2016**
 drawn by: **GW**
 checked by: **-**
 scale: **1:250**
 date: **FEB 22 2017**
 by: **GW**

LEGEND
 (H=ARCHIVE) WORKING (1601) 1601S.GRE.SITE 1601S-LRD-SP-BASE.dwg - Wed - Feb 22 2017 - 1:38 PM

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