

# BLOCK 326 – ELEVATION 3

| LOT No. | Model Type | Garage Dimension W x L (m) | Coverage (sq.m.) | Lot Area (sq.m.) | Coverage (%) | Uncovered Driveway Area (m2) | Front Yard Area (m2) | Front Yard Landscape Area (m2) | Front Yard Landscape (%) | Lot Frontage (m) | Lot Depth (m) | Proposed Building Height (m) |
|---------|------------|----------------------------|------------------|------------------|--------------|------------------------------|----------------------|--------------------------------|--------------------------|------------------|---------------|------------------------------|
| 326-1   | IVY 12     | 2.90x6.00                  | 132.57           | 382.35           | 34.67        | 17.92                        | 56.73                | 38.81                          | 68.41                    | 13.20            | 27.50         |                              |
| 326-2   | IVY 4      | 2.97x6.02                  | 115.94           | 209.55           | 55.33        | 17.35                        | 33.61                | 16.26                          | 48.38                    | 7.62             | 27.50         |                              |
| 326-3   | IVY 5      | 2.97x6.02                  | 122.26           | 209.55           | 58.34        | 17.35                        | 30.19                | 12.84                          | 42.53                    | 7.62             | 27.50         |                              |
| 326-4   | IVY 7E     | 2.97x6.30                  | 127.93           | 275.00           | 46.52        | 18.23                        | 43.30                | 25.07                          | 57.90                    | 10.00            | 27.50         |                              |
| TOTAL   |            |                            | 498.70           | 1076.45          | 46.33        | 70.85                        | 163.83               | 92.98                          | 56.75                    |                  |               | 8.38                         |

RECEIVED  
TOWN OF MILTON  
APR 12, 2017  
17-4972 TO 17-4975  
BUILDING DIVISION

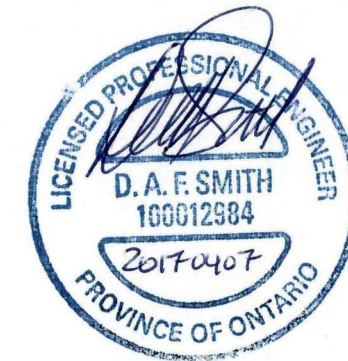
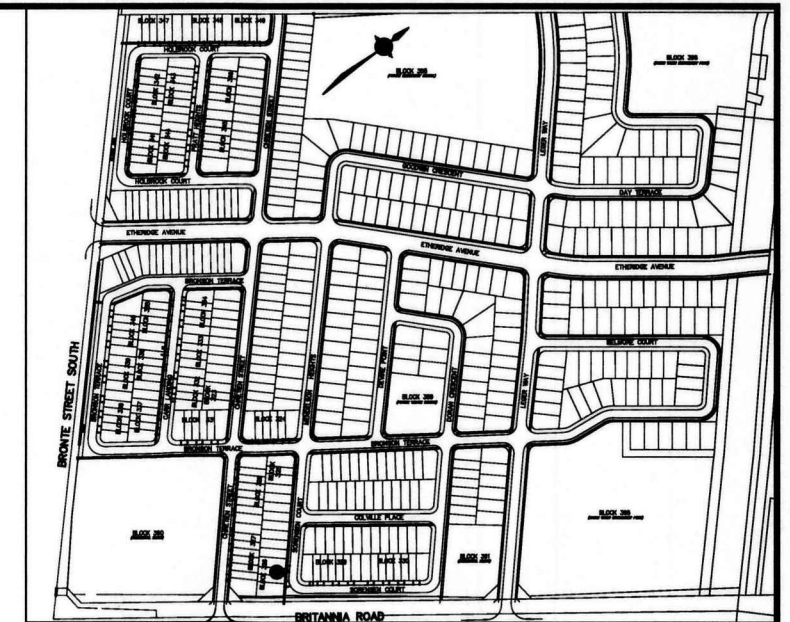
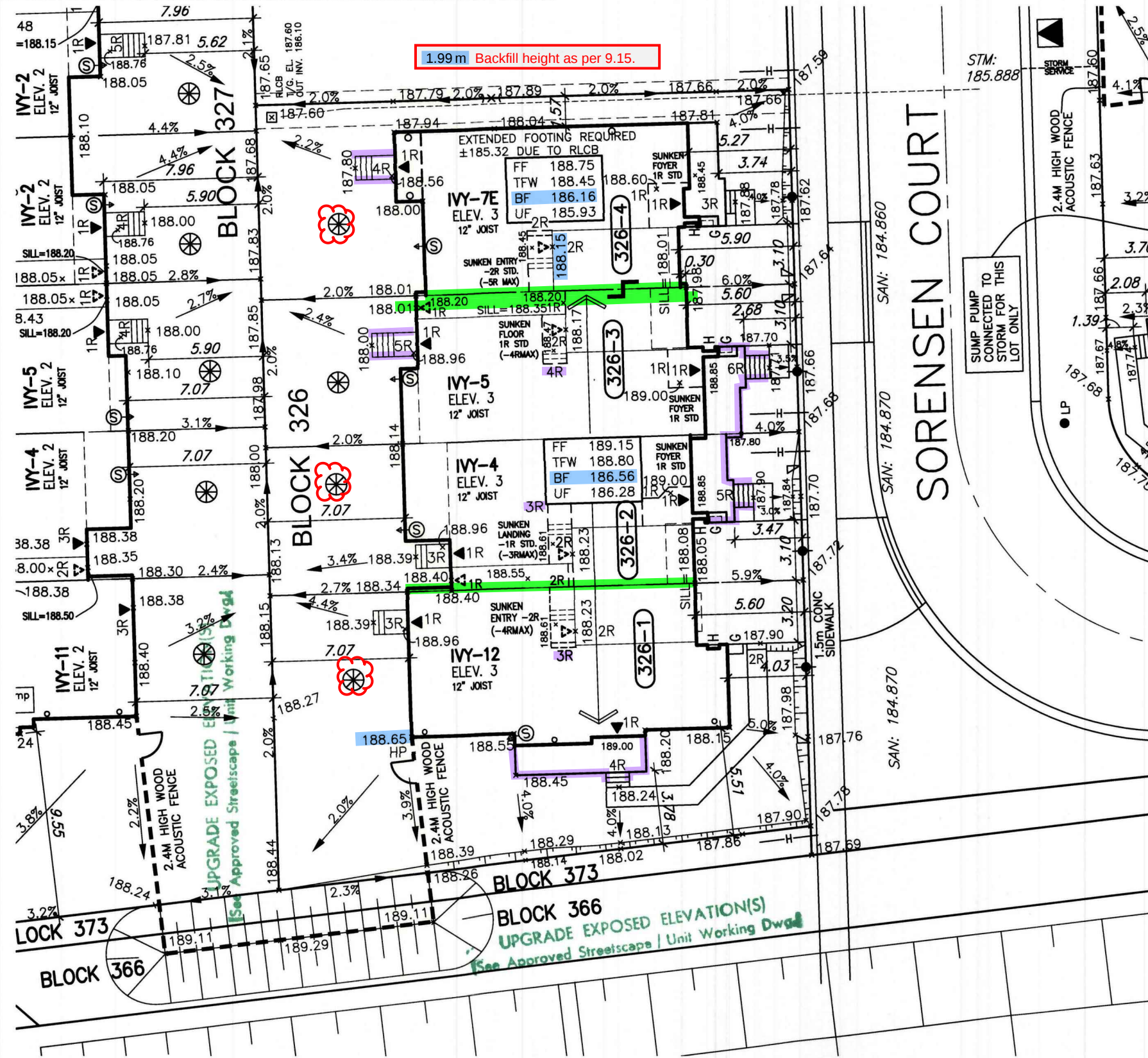
**LEGEND**

- 45 Min FRR
- 45 Min FRR w/NC Cladding
- 1 Hr Party Wall
- 2 Hr Firewall (NC)
- Guard/Handrail as per 9.8.
- Backfill height as per 9.15.

Siting to be read in conjunction with reviewed main model drawings

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
RMD1\*223 ZONE

**ZONING: APPROVED**  
Matthew Seymour MAY 1, 2017  
ZONING OFFICER DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Milton.

**ARCHITECTURAL REVIEW & APPROVAL**  
MAR 21 2017  
John G. Williams Limited, Architect

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

☒ REVIEWED  
☐ REVIEWED AS NOTED  
☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.  
DATE: APR 07 2017 By: B. GIBSON

**NOTE:**  
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

**NOTE: SUMP PUMP REQUIRED**  
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.

ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

**1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES**  
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

**DRAWINGS ARE NOT TO BE SCALED.**

**Grading Notes:**  
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

|                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                               |                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 ISSUED FOR ENG. REVIEW.                                                                                                                                                                                                                                                                                              | JAN. 05/17 GW                                                                                                                                                                                                                                                                                                                                                                                                                                          | 2 REVISED PER ENG. ISSUED FOR PERMIT.                                                                                                                                                                                                                                                                                                    | FEB. 22/17 GW                                                                                                                                                                                                                                                                                                                 | 3                  | 4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | 5                                                                                                                                     | 6                                                                                                                                                                                                                                                                                                                                                                                                                               |
| <p><b>PROPOSED VALVE</b></p> <p><b>LP</b> LIGHT POLE</p> <p><b>H</b> HYDRANT</p> <p><b>TRANSFORMER</b></p> <p><b>WATER SERVICE</b></p> <p><b>DOUBLE STM/SAN. CONNECTION</b></p> <p><b>SINGLE STM/SAN. CONNECTION</b></p> <p><b>CATCH BASIN</b></p> <p><b>CABLE TELEVISION PEDESTAL</b></p> <p><b>BELL PEDESTAL</b></p> | <p><b>JR</b> No. OF RISERS</p> <p><b>FF</b> FINISHED FLOOR ELEVATION</p> <p><b>UF</b> UNDERSIDE FOOTING ELEVATION</p> <p><b>BF</b> FIN. BASEMENT FLOOR SLAB</p> <p><b>TFW</b> TOP OF FOUNDATION WALL</p> <p><b>UFR</b> UNDERSIDE FOOTING AT REAR</p> <p><b>UFS</b> UNDERSIDE FOOTING AT FRONT</p> <p><b>UFS</b> UNDERSIDE FOOTING AT SIDE</p> <p><b>W.O.D.</b> WALK OUT DECK</p> <p><b>W.O.B.</b> WALK OUT BASEMENT</p> <p><b>REV</b> REVERSE PLAN</p> | <p><b>STREET SIGN</b></p> <p><b>SUPER. MAIL BOX</b></p> <p><b>RETAINING WALL</b></p> <p><b>1.5m BLACK VINYL CHAIN LINK FENCE</b></p> <p><b>ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)</b></p> <p><b>WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)</b></p> <p><b>HYDRO SERVICE LATERAL</b></p> <p><b>SHALE DIRECTION</b></p> <p><b>EMBANKMENT</b></p> | <p><b>PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA</b></p> <p><b>THIS LOT CONTAINS ENGINEERED FILL</b></p> <p><b>AIR CONDITIONER REQUIRED</b></p> <p><b>RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)</b></p> <p><b>SIDE WINDOW LOCATION</b></p> <p><b>EXTERIOR DOOR LOCATION</b></p> <p><b>REDUCE SIDE YARD</b></p> | <p>north arrow</p> | <p>The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink 24488</p> <p>name registration information BCN</p> <p>VA3 Design Inc. 42658</p> <p>Builder to verify location of all hydro, street lights, transformers and other services. If minimum dimensions are not indicated, builder is to relocate at his own expense. Builder to verify service connection elevations prior to constructing foundations.</p> | <p><b>VA3 DESIGN</b></p> <p>255 Consumers Rd Suite 120<br/>Toronto ON M2J 1R4<br/>t 416.630.2255 f 416.630.4782<br/>va3design.com</p> | <p><b>Greenpark</b></p> <p>project name<br/><b>LECCO RIDGE DEV. INC.</b></p> <p>date<br/>NOV. 2016</p> <p>drawn by<br/>GW</p> <p>checked by<br/>-</p> <p>scale<br/>1:250</p> <p>project no.<br/>16015</p> <p>lot/block no.<br/>326</p> <p>registered plan no.<br/>-</p> <p>project no.<br/>16015</p> <p>drawing no.<br/>LG4</p> <p>LOT GRADING</p> <p>file name<br/>16015-LRD-SP-BASE</p> <p>date<br/>Feb 22 2017 - 1:38 PM</p> |

# BLOCK 331 - ELEVATION 2

| LOT No. | Model Type | Garage Dimension W x L (m) | Coverage (sq.m.) | Lot Area (sq.m.) | Coverage (%) | Uncovered Driveway Area (m2) | Front Yard Area (m2) | Front Yard Landscape Area (m2) | Front Yard Landscape (%) | Lot Frontage (m) | Lot Depth (m) | Proposed Building Height (m) |
|---------|------------|----------------------------|------------------|------------------|--------------|------------------------------|----------------------|--------------------------------|--------------------------|------------------|---------------|------------------------------|
| 331-1   | IVY 11     | 2.90x6.00                  | 128.30           | 350.04           | 36.85        | 23.61                        | 72.01                | 48.40                          | 67.21                    | 12.94            | 30.00         |                              |
| 331-2   | IVY 5      | 2.97x6.02                  | 118.54           | 228.60           | 51.85        | 22.90                        | 47.38                | 24.48                          | 51.67                    | 7.62             | 30.00         |                              |
| 331-3   | IVY 4      | 2.97x6.02                  | 112.60           | 228.60           | 49.26        | 22.86                        | 50.68                | 27.82                          | 54.89                    | 7.62             | 30.00         |                              |
| 331-4   | IVY 4      | 2.97x6.02                  | 112.60           | 228.60           | 49.26        | 22.86                        | 50.68                | 27.80                          | 54.88                    | 7.62             | 30.00         |                              |
| 331-5   | IVY 5      | 2.97x6.02                  | 118.54           | 228.60           | 51.85        | 22.86                        | 47.38                | 24.52                          | 51.75                    | 7.62             | 30.00         |                              |
| 331-6   | IVY 12     | 2.90x6.00                  | 132.85           | 385.49           | 34.46        | 23.61                        | 68.67                | 45.06                          | 65.62                    | 11.94            | 30.00         |                              |
| TOTAL   |            |                            | 723.43           | 1649.93          | 43.85        | 138.70                       | 336.78               | 198.08                         | 58.82                    |                  |               | 8.28                         |

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☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017

By: B. GIBSON

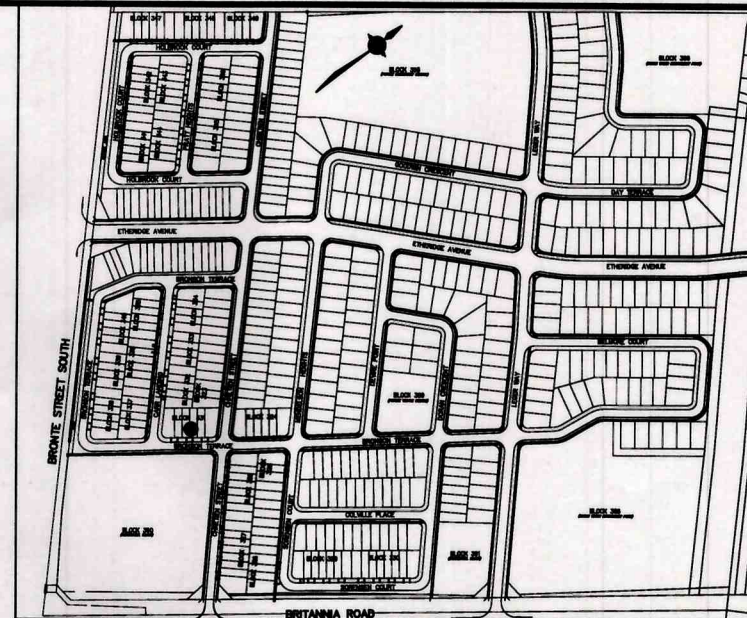
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ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



KEYPLAN N.T.S.

#17-4972 to #17-4975



LOT GRADING APPROVED

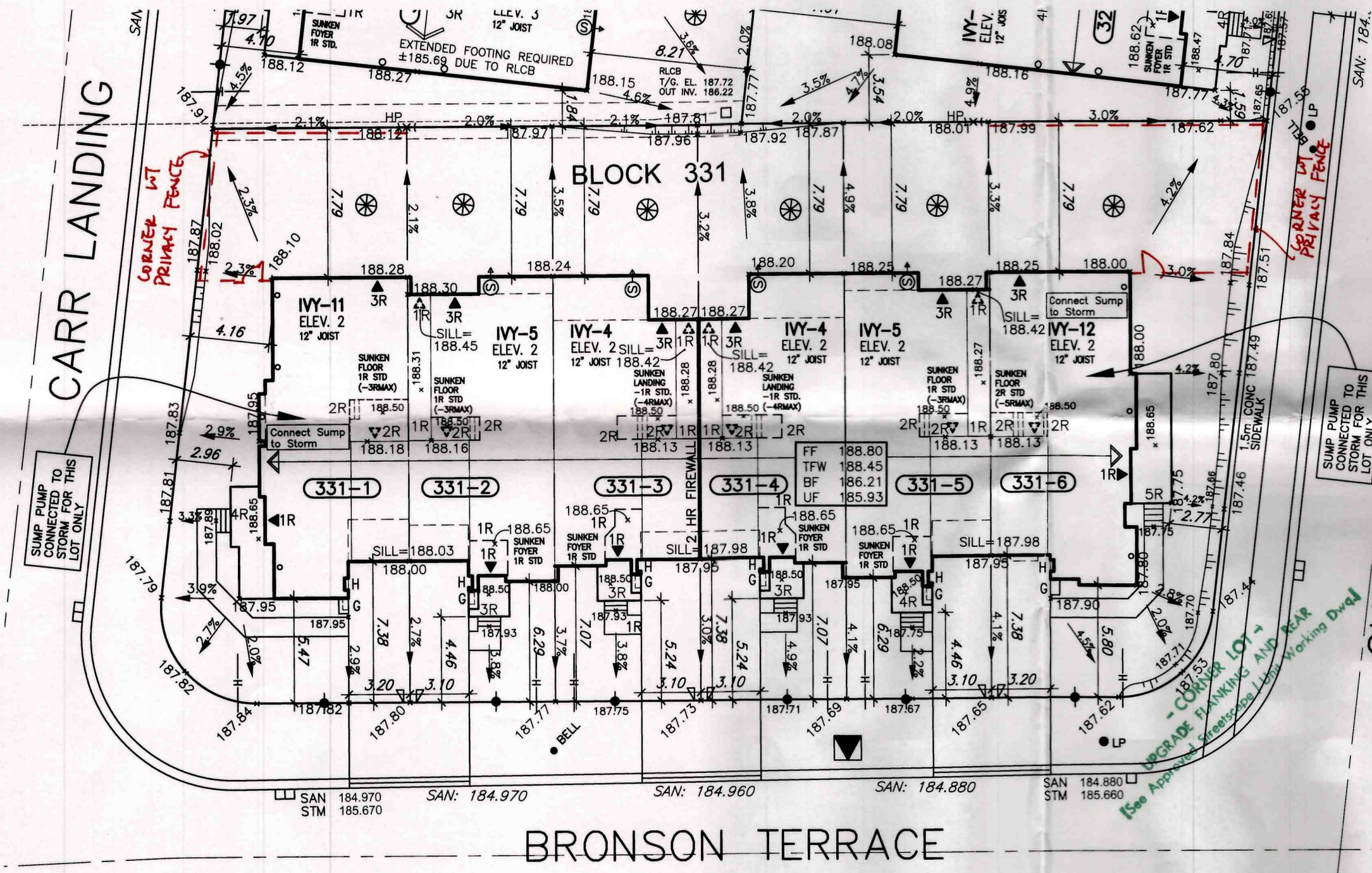
APR 25 2017

Town of Milton - Development Engineering

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APR 12 2017

BLDG. DIVISION



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| <ul style="list-style-type: none"> <li>PROPOSED VALVE</li> <li>LIGHT POLE</li> <li>HYDRANT</li> <li>TRANSFORMER</li> <li>WATER SERVICE</li> <li>DOUBLE STL/SAN. CONNECTION</li> <li>SINGLE STL/SAN. CONNECTION</li> <li>CATCH BASIN</li> <li>CABLE TELEVISION PEDSTAL</li> <li>BELL PEDSTAL</li> </ul> | <ul style="list-style-type: none"> <li>NO. OF RISERS</li> <li>FINISHED FLOOR ELEVATION</li> <li>UNDERSIDE FOOTING ELEVATION</li> <li>FIN. BASEMENT FLOOR SLAB</li> <li>TOP OF FOUNDATION WALL</li> <li>UNDERSIDE FOOTING AT REAR</li> <li>UNDERSIDE FOOTING AT FRONT</li> <li>UNDERSIDE FOOTING AT SIDE</li> <li>W.O.D. WALK OUT DECK</li> <li>W.O.D. WALK OUT ENDEMENT</li> <li>REVERSE PLAN</li> </ul> | <ul style="list-style-type: none"> <li>STREET SIGN</li> <li>SUPER MAIL BOX</li> <li>RETAINING WALL</li> <li>1.5m BLACK VINYL CHAIN LINK FENCE</li> <li>ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)</li> <li>WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)</li> <li>HYDRO SERVICE LATERAL</li> <li>SINGLE DIRECTION EMBANKMENT</li> </ul> | <ul style="list-style-type: none"> <li>PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA</li> <li>THIS LOT CONTAINS ENGINEERED FILL</li> <li>AIR CONDITIONER REQUIRED</li> <li>RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)</li> <li>SIDE WINDOW LOCATION</li> <li>EXTERIOR DOOR LOCATION</li> <li>REDUCE SIDE YARD</li> </ul> | <p>VA3 DESIGN</p> <p>255 Consumers Rd Suite 120<br/>         Toronto ON M2J 1R4<br/>         T 416.630.2255 F 416.630.4782<br/>         va3design.com</p> |  | <p>Greenpark</p> <p>LECCO RIDGE DEV. INC.</p> <p>MILTON</p> |  | <p>LOT GRADING</p> <p>16015-LRD-SP-BASE</p> <p>LG9</p> |  | <p>331</p> <p>16015</p> |  |