

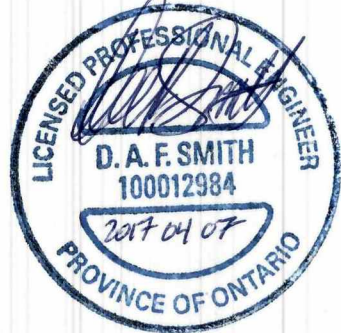
BLOCK 324 - ELEVATION 3

	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncover Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
324-1	IVY 11	2.90x6.00	134.90	337.69	39.95	22.74	67.11	44.37	66.12	12.98	29.00	
324-2	IVY 1	2.90x6.65	104.98	220.85	47.53	22.09	39.50	17.41	44.08	7.62	28.92	
324-3	IVY 1	2.90x6.65	104.98	219.86	47.75	21.47	38.52	17.05	44.26	7.62	28.78	
324-4	IVY 3	2.90x6.00	119.19	218.83	54.47	21.30	40.28	18.98	47.12	7.62	28.65	
324-5	IVY 3	2.90x6.00	119.19	217.80	54.72	20.64	39.25	18.61	47.41	7.62	28.51	
324-6	IVY 12	2.90x6.00	132.57	367.88	36.04	21.13	58.68	37.55	63.99	12.05	28.51	
TOTAL			715.81	1582.91	45.22	129.37	283.34	153.97	54.34			8.18

RECEIVED
TOWN OF MILTON
APR 12, 2017
17-4954 to 17-4960
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
RMD1*223 ZONE
ZONING: **APPROVED**
Matthew Seymour MAY 1, 2017
ZONING OFFICER DATE

LEGEND
45 Min FRR
45 Min FRR w/NC Cladding
1 Hr Party Wall
2 Hr Firewall (NC)
Guard/Handrail as per 9.8.
2.09 m Backfill height as per 9.15.
Siting to be read in conjunction with reviewed main model drawings



WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☒ REVIEWED
☐ REVIEWED AS NOTED
☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017 By: B. GIBSON

NOTE:
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.

ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

DRAWINGS ARE NOT TO BE SCALED.

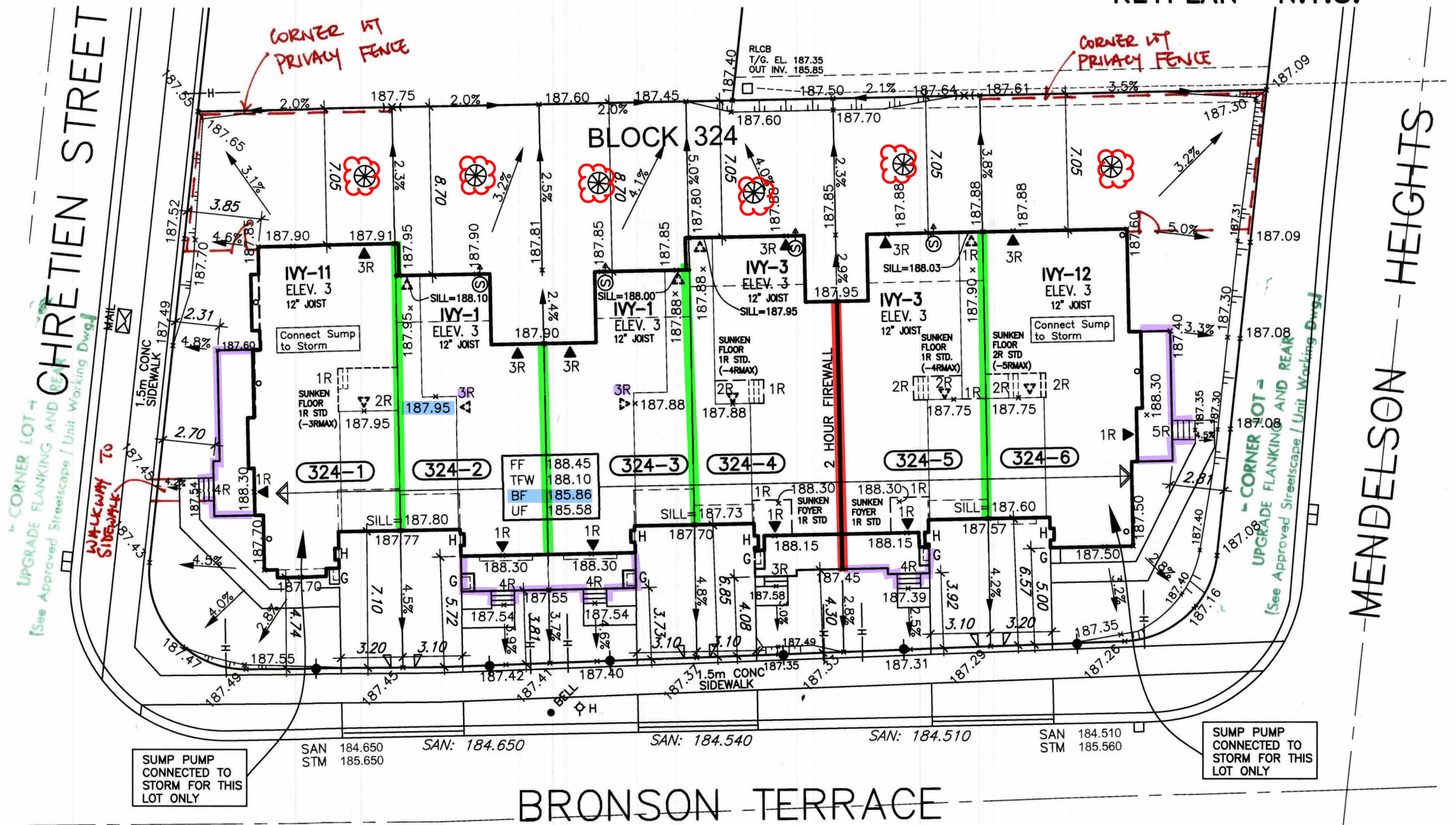
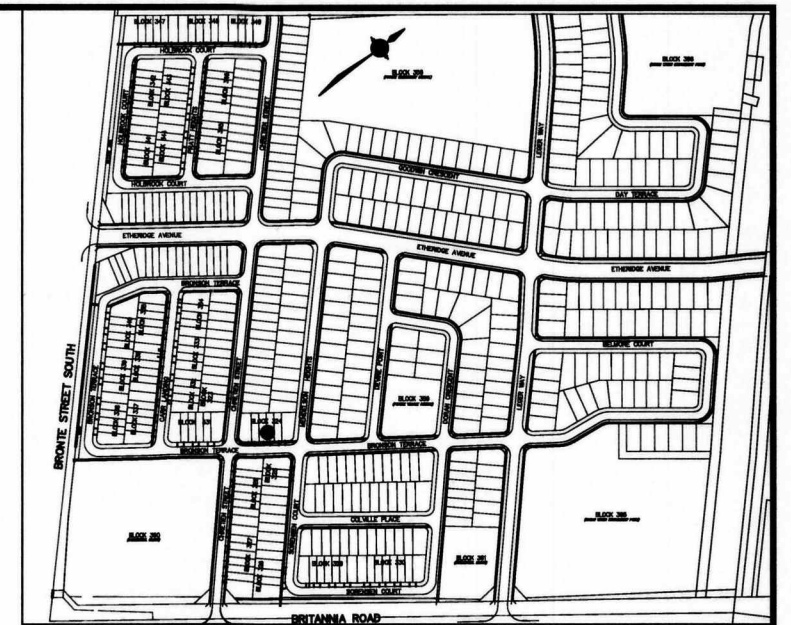
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



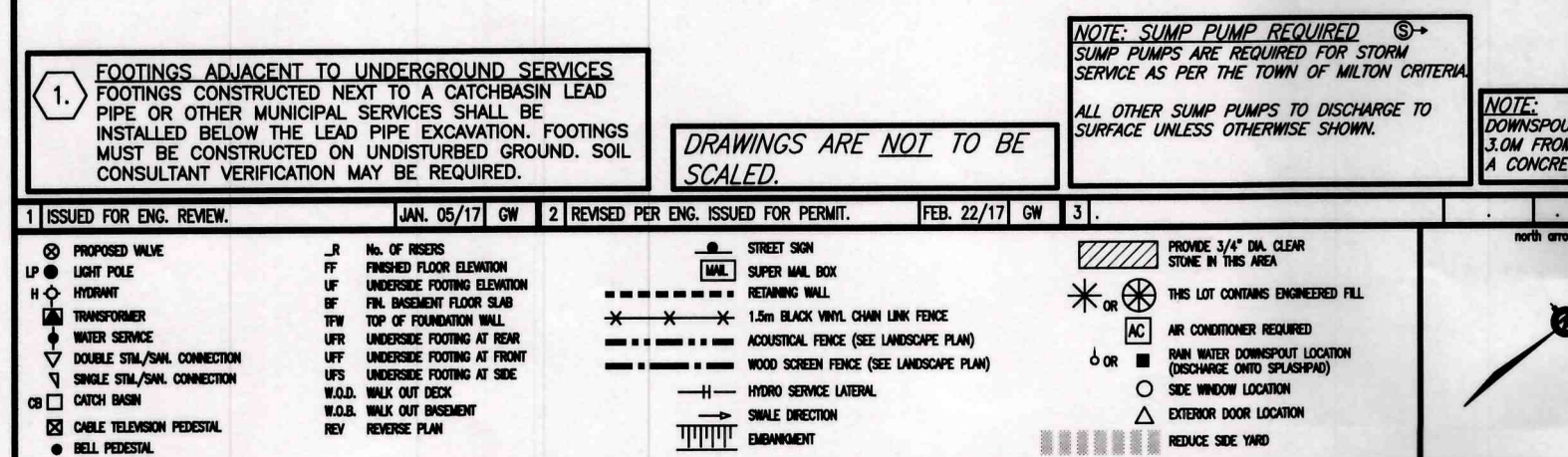
Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

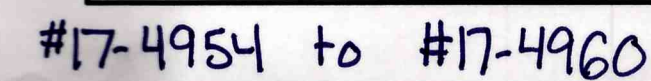
VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW		2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW		3		4		5		6	
- PROPOSED VALVE - LIGHT POLE - HYDRANT - TRANSFORMER - WATER SERVICE - DOUBLE STL/SAN. CONNECTION - SINGLE STL/SAN. CONNECTION - CATCH BASIN - CABLE TELEVISION PEDestal - BELL PEDestal	- FF FINISHED FLOOR ELEVATION - UF UNDERSIDE FOOTING ELEVATION - BF FIN. BASEMENT FLOOR SLAB - TFW TOP OF FOUNDATION WALL - UFR UNDERSIDE FOOTING AT REAR - UFF UNDERSIDE FOOTING AT FRONT - UFS UNDERSIDE FOOTING AT SIDE - W.O.D. WALK OUT DECK - W.O.B. WALK OUT BASEMENT - REV REVERSE PLAN	- STREET SIGN - SUPER MAIL BOX - RETAINING WALL 1.5m BLACK VINYL CHAIN LINK FENCE - ACOUSTICAL FENCE (SEE LANDSCAPE PLAN) - WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) - HYDRO SERVICE LATERAL - SWALE DIRECTION - EMBANKMENT	- PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA - THIS LOT CONTAINS ENGINEERED FILL - AIR CONDITIONER REQUIRED - RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) - SIDE WINDOW LOCATION - EXTERIOR DOOR LOCATION - REDUCE SIDE YARD	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		Greenpark project name LECCO RIDGE DEV. INC. date NOV. 2016 checked by scale 1:250 LOT GRADING drawing no. LG2		lot/block no. 324 registered plan no. 16015 project no. 16015 file name 16015-LRD-SP-BASE date Feb 22 2017 - 1:38 PM			



BLOCK 333 — ELEVATION 1													Proposed Building Height (m)
LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m)	Lot Area (sq.m)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)		
333-1	IVY 6E	3.07x6.65	122.26	256.30	47.70	17.92	31.15	13.23	42.47	9.32	27.50	8.15	
333-2	IVY 5	2.97x6.02	122.91	209.55	58.65	17.35	29.47	12.12	41.13	7.62	27.50		
333-3	IVY 4	2.97x6.02	115.94	209.55	55.33	17.35	33.75	16.40	48.59	7.62	27.50		
333-4	IVY 6E	3.07x6.65	122.26	256.30	47.70	17.92	31.15	13.23	42.47	9.32	27.50		
TOTAL			483.37	931.70	51.88	70.54	125.52	54.98	43.80				



BLDG. DIVISION

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

 VA3 DESIGN		1st block 33 registered plan
project name LECCO RIDGE DEV. INC.	municipality MILTON	project 1601
date NOV. 2016	LOT GRADING	
255 Consumers Rd Suite 120 Toronto ON M2M 1R4 t 416.630.2255 f 416.630.4782 va3design.com	checked by —	scale 1:250
drawn by —	file name 16015-LR0-SP-BASE	
GREG - H:\ARCHIVE\WORKING\2016\16015.GRE\16015-LR0-SP-BASE.dwg	— Wed - Feb 22 2017 - 1:38 PM	