

# BLOCK 323 – ELEVATION 1

LOT No.	Model Type	Garage Dimension W x L (m)	Coverage (sq.m.)	Lot Area (sq.m.)	Coverage (%)	Uncovered Driveway Area (m2)	Front Yard Area (m2)	Front Yard Landscape Area (m2)	Front Yard Landscape (%)	Lot Frontage (m)	Lot Depth (m)	Proposed Building Height (m)
323-1	IVY 6E	3.07x6.65	122.26	292.21	41.84	19.84	35.97	16.13	44.84	9.72	27.50	
323-2	IVY 4	2.97x6.02	115.94	209.55	55.33	17.35	33.75	16.40	48.59	7.62	27.50	
323-3	IVY 6E	3.07x6.65	122.26	256.30	47.70	17.92	31.15	13.23	42.47	9.32	27.50	
TOTAL			360.46	758.06	47.55	55.11	100.87	45.76	45.37			8.25

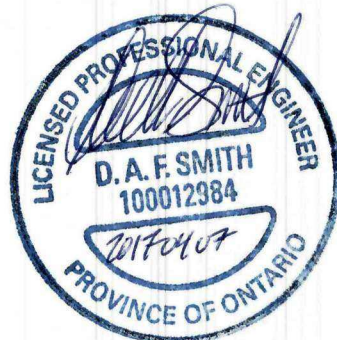
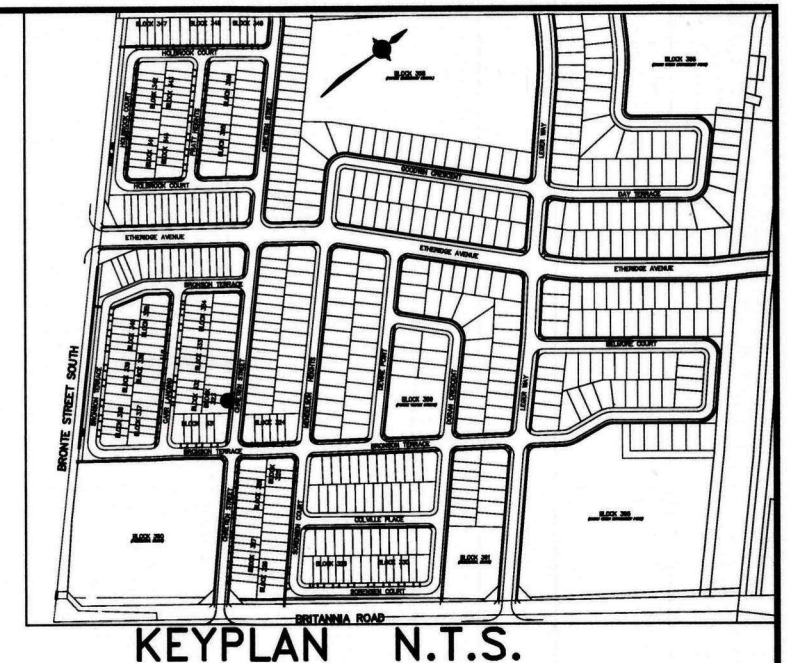
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.

ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



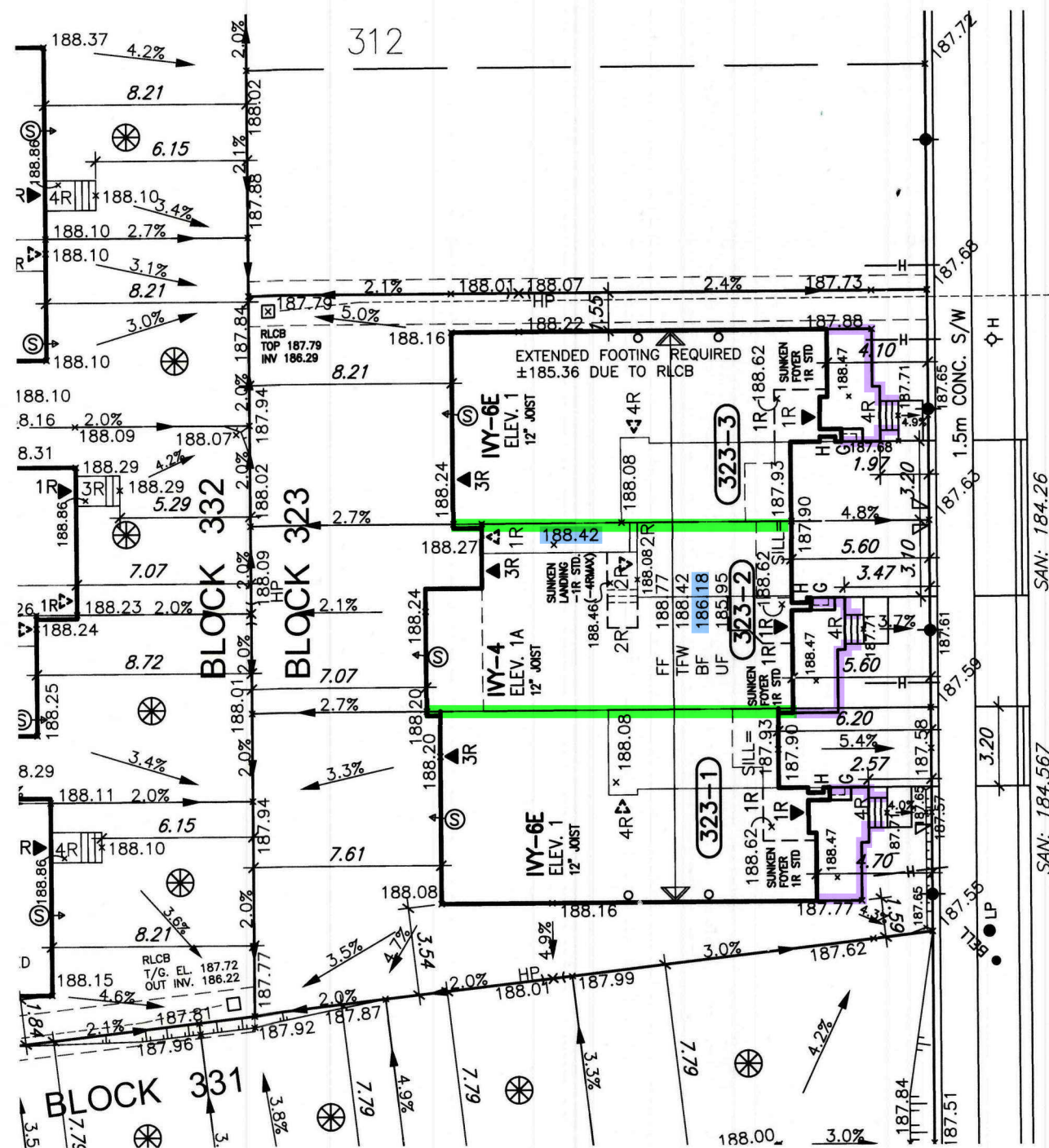
WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☒ REVIEWED
- ☐ REVIEWED AS NOTED
- ☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

DATE: APR 07 2017

By: B. GIBSON



CHRETIEN STREET

**TOWN OF MILTON**  
PLANNING AND DEVELOPMENT  
RMD1\*223 ZONE  
ZONING: APPROVED  
Matthew Seymour MAY 1, 2017  
ZONING OFFICER DATE

**LEGEND**  
45 Min FRR  
45 Min FRR w/NC Cladding  
1 Hr Party Wall  
2 Hr Firewall (NC)  
Guard/Handrail as per 9.8.  
2.24m Backfill height as per 9.15.  
Siting to be read in conjunction with reviewed main model drawings

**RECEIVED**  
TOWN OF MILTON  
APR 12, 2017  
17-4949 TO 17-4953  
BUILDING DIVISION

**NOTE:**  
DOWNSPOUTS TO BE LOCATED A MINIMUM OF 3.0M FROM THE SUMP PUMP OUTLET AND ONTO A CONCRETE SPLASH PAD.

**NOTE: SUMP PUMP REQUIRED**  
SUMP PUMPS ARE REQUIRED FOR STORM SERVICE AS PER THE TOWN OF MILTON CRITERIA.

ALL OTHER SUMP PUMPS TO DISCHARGE TO SURFACE UNLESS OTHERWISE SHOWN.

**1. FOOTINGS ADJACENT TO UNDERGROUND SERVICES**  
FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND. SOIL CONSULTANT VERIFICATION MAY BE REQUIRED.

**DRAWINGS ARE NOT TO BE SCALED.**

## Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW		2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW		3		4		5		6							
<p>PROPOSED VALVE</p> <p>LP LIGHT POLE</p> <p>H HYDRANT</p> <p>TRANSFORMER</p> <p>WATER SERVICE</p> <p>DOUBLE STL/SAN. CONNECTION</p> <p>SINGLE STL/SAN. CONNECTION</p> <p>CATCH BASIN</p> <p>CABLE TELEVISION PEDESTAL</p> <p>BELL PEDESTAL</p>		<p>NO. OF RISERS</p> <p>FF FINISHED FLOOR ELEVATION</p> <p>UF UNDERSIDE FOOTING ELEVATION</p> <p>BF FIN. BASEMENT FLOOR SLAB</p> <p>TFW TOP OF FOUNDATION WALL</p> <p>UFR UNDERSIDE FOOTING AT REAR</p> <p>UFF UNDERSIDE FOOTING AT FRONT</p> <p>UFS UNDERSIDE FOOTING AT SIDE</p> <p>W.O.D. WALK OUT DECK</p> <p>W.O.B. WALK OUT BASEMENT</p> <p>REV REVERSE PLAN</p>		<p>STREET SIGN</p> <p>SUPER MAIL BOX</p> <p>RETAINING WALL</p> <p>1.5m BLACK VINYL CHAIN LINK FENCE</p> <p>ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)</p> <p>WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)</p> <p>HYDRO SERVICE LATERAL</p> <p>SMALL DIRECTION</p> <p>EMBANKMENT</p>		<p>PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA</p> <p>THIS LOT CONTAINS ENGINEERED FILL</p> <p>AIR CONDITIONER REQUIRED</p> <p>RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)</p> <p>SIDE WINDOW LOCATION</p> <p>EXTERIOR DOOR LOCATION</p> <p>REDUCE SIDE YARD</p>		<p>north arrow</p>		<p>The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Richard Vink 24488</p> <p>signature</p> <p>name registration information</p> <p>VA3 Design Inc. 42658</p> <p>Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.</p> <p>Builder to verify service connection elevations prior to constructing foundations.</p>		<p><b>VA3 DESIGN</b></p> <p>255 Consumers Rd Suite 120</p> <p>Toronto ON M2J 1R4</p> <p>t 416.630.2255 f 416.630.4782</p> <p>va3design.com</p>		<p><b>Greenpark</b></p> <p>project name</p> <p>LECCO RIDGE DEV. INC.</p> <p>municipality</p> <p>MILTON</p> <p>date</p> <p>NOV. 2016</p> <p>drawn by</p> <p>checked by</p> <p>scale</p> <p>1:250</p> <p>LOT GRADING</p> <p>16015-LRD-SP-BASE</p> <p>file name</p> <p>16015-LRD-SP-BASE</p> <p>drawing no.</p> <p>LG1</p>		<p>lot/block no.</p> <p>323</p> <p>registered plan no.</p> <p>16015</p>	



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TOTAL			360.46	758.06	47.55	55.11	100.87	45.76	45.37			8.25

LOT GRADING APPROVED

APR 26 2017

Town of Milton - Development Engineering



WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS.

- ☒ REVIEWED
- ☐ REVIEWED AS NOTED
- ☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.  
APR 07 2017

DATE: By: B. GIBSON

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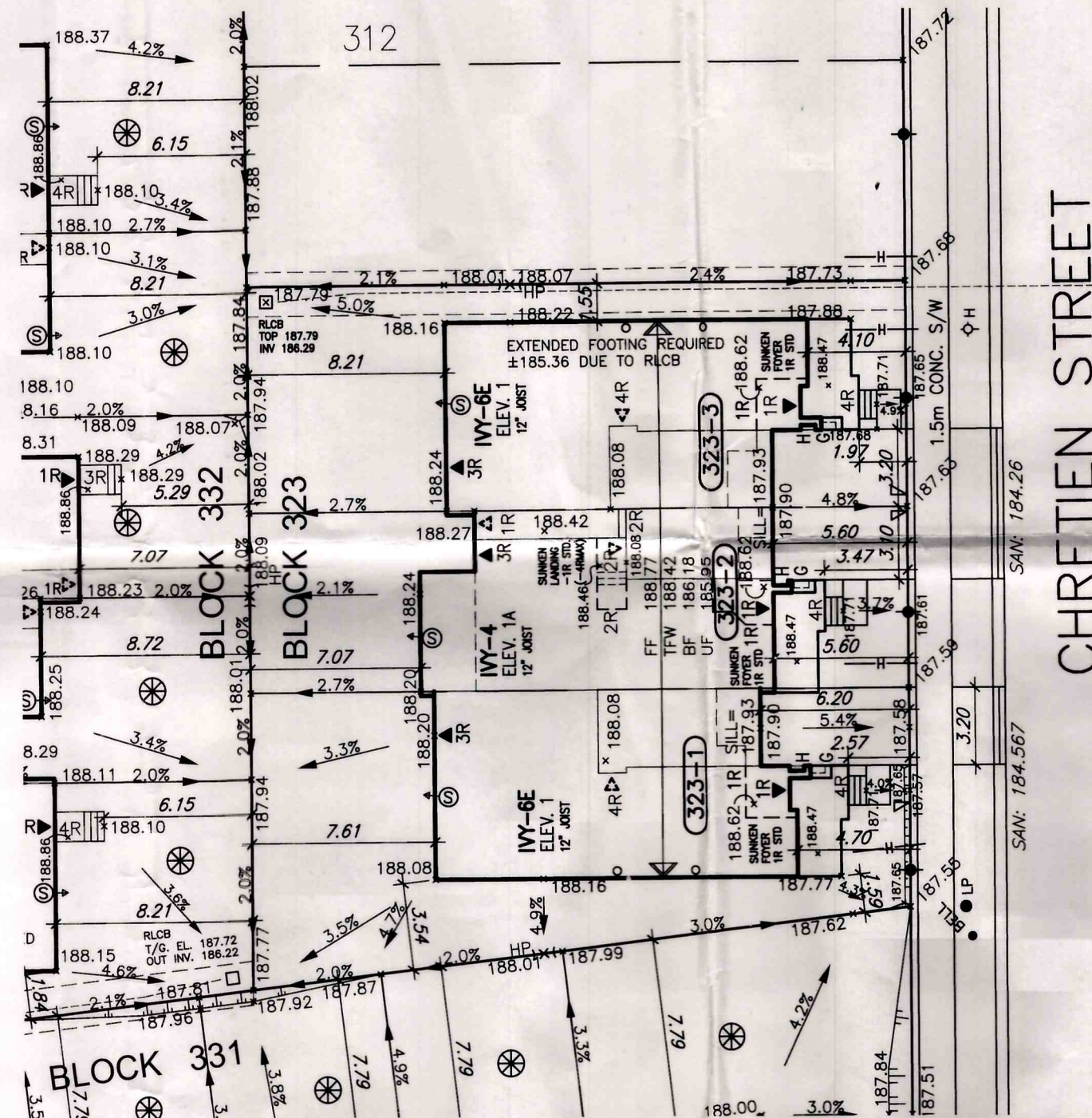
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1 ISSUED FOR ENG. REVIEW. JAN. 05/17 GW 2 REVISED PER ENG. ISSUED FOR PERMIT. FEB. 22/17 GW 3.

<ul style="list-style-type: none"> <li>PROPOSED VALVE</li> <li>UP LIGHT POLE</li> <li>HYDRO</li> <li>TRANSFORMER</li> <li>WATER SERVICE</li> <li>DOUBLE STL/SAN CONNECTION</li> <li>SINGLE STL/SAN CONNECTION</li> <li>CATCH BASIN</li> <li>CABLE TELEVISION PEDESTAL</li> <li>BELL PEDESTAL</li> </ul>	<ul style="list-style-type: none"> <li>JR NO. OF RISERS</li> <li>FF FINISHED FLOOR ELEVATION</li> <li>UF UNDERSIDE FOOTING ELEVATION</li> <li>BF FIN. BASEMENT FLOOR SLAB</li> <li>TFW TOP OF FOUNDATION WALL</li> <li>UFR UNDERSIDE FOOTING AT REAR</li> <li>UFF UNDERSIDE FOOTING AT FRONT</li> <li>UPS UNDERSIDE FOOTING AT SIDE</li> <li>W.O.D. WALK OUT DECK</li> <li>W.O.D. WALK OUT BREAKMENT</li> <li>REV REVERSE PLAN</li> </ul>	<ul style="list-style-type: none"> <li>STREET SIGN</li> <li>SUPER MAIL BOX</li> <li>RETAINING WALL</li> <li>1.5m BLACK VINYL CHAIN LINK FENCE</li> <li>ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)</li> <li>WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)</li> <li>HYDRO SERVICE LATERAL</li> <li>SINGLE DIRECTION EMBANKMENT</li> </ul>	<ul style="list-style-type: none"> <li>PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA</li> <li>THIS LOT CONTAINS ENGINEERED FILL</li> <li>AIR CONDITIONER REQUIRED</li> <li>RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)</li> <li>SIDE WINDOW LOCATION</li> <li>EXTERIOR DOOR LOCATION</li> <li>REDUCE SIDE YARD</li> </ul>
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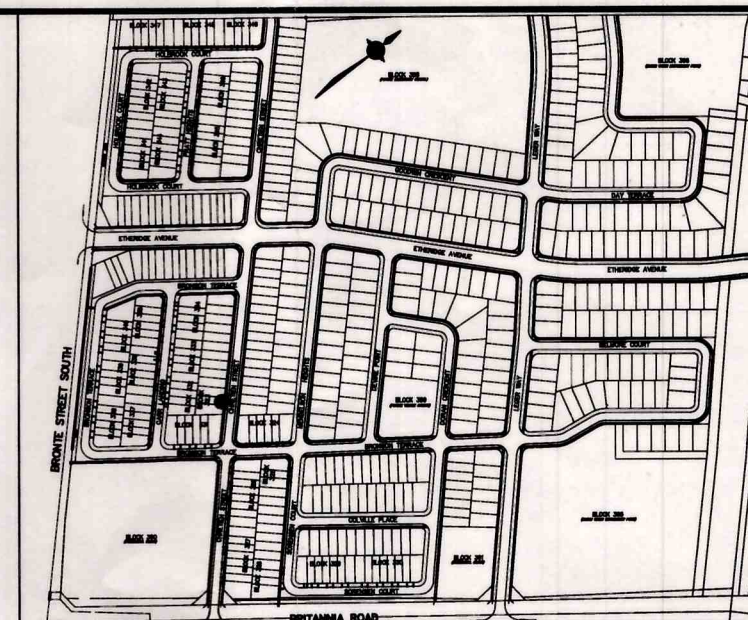
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ARCHITECTURAL REVIEW & APPROVAL

MAR 21 2017

John G. Williams Limited, Architect



KEYPLAN N.T.S.

17-4949 to 17-4953

CHRETIEN STREET

RECEIVED TOWN OF MILTON

APR 12 2017

BLDG. DIVISION

## Grading Notes:

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The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 24488  
name registration information  
VA3 Design Inc. 42658

Builder to verify location of all hydro, storm, gas, sewer and other services. If services shown are not confirmed, builder is to relocate at his own expense.  
Builder to verify service connection conditions prior to constructing foundation.

VA3 DESIGN  
255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

Greenpark  
LECCO RIDGE DEV. INC.  
MILTON

project name  
LECCO RIDGE DEV. INC.  
drawing no.  
16015

LOT GRADING  
date  
NOV. 2016  
checked by  
scale  
1:250  
16015-LRD-SP-BASE  
drawing no.  
LG1

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